

DESIGN REVIEW BOARD

November 14, 2016

Case Number

DRB2016-20

Owner/Applicant

Montana Synod, ELCA

Applicant

Representative

Stephen M. L'Heureux,
LPW Architecture

Property Location

Northeast corner of 24th
St S and 13th Ave S

Requested Action

Design Review for new
construction of an office
building and associated
site work.

Recommendation

Approve the submitted
design with conditions

Project Planner

Erin Borland

MONTANA SYNOD EVANGELICAL LUTHERAN CHURCH OFFICE BUILDING



Project Description

The applicant is proposing construction of a new office building with parking, lighting and landscaping, located on the northeast corner of 24th Street South and 13th Avenue South. The Montana Synod office is the administrative headquarters for 125 Lutheran Churches in Montana. The site consists of seven parcels which are in the process of aggregation. The applicant has also applied for a Conditional Use Permit to allow the use of the construction site for temporary RV parking for Mission Builders. This aspect of the project requires Planning Advisory Board and City Commission review and action.

Background

- Legal Description: Lots 22-28, Block 16, Lincoln Heights Addition, Section 18, Township 20 North, Range 4 East, P.M. MT
- Property Zoning: C-2 General Commercial
- Parcel Area: ±20,958 square feet or ±0.48 acres
- Structure Size: ± 3,800 square feet

New Construction: Exhibit 28-1 Standards and Guidelines for specified projects and buildings

The proposal is in compliance with all requirements of Exhibit 28-1, with the exception of mechanical equipment screening. The exterior of the proposed building will consist of Hardie panel vertical siding, manufactured stone veneer, and exposed glulam beams and columns with black powder coated metal hardware accents. The color pallet contains cool evening blue with the warm tones of glulam beams and the grey stone. The overall design will bring a modern look to the proposed building. All materials and colors are shown on the Exterior Finishes page of the Development Drawings. On the north side of the building, four AC condensers are proposed, as seen in the site plan. As per Exhibit 28-1, the AC Condensers need to be screened with either an architectural element or landscape screening. The trash enclosure is located in the northeast corner of the site. The enclosure will have a 6 foot high black vinyl fence with a gate that will be approximately 8.5 feet by 6.75 feet. The location of the enclosure is shown on the site plan.

Conformance with Title 17 - Land Development Code

The proposed project has been reviewed for initial compliance with the relevant requirements of Title 17 - Land Development Code, of the Official Code of the City of Great Falls (OCCGF), including but not limited to zoning, setbacks, building height and lot coverage.

The site plan includes a new curb cut off of 13th Avenue South which is the main access to the parking lot. The applicant has also proposed a new alley extension to 24th Street South which provides access to the employee parking spaces. The construction of the alley, as well as the driveway curb cut, shall be approved by Public Works prior to the building permit stage. There is an existing curb cut on 24th Street South which the applicant proposes to abandon and reinstall curb, gutter, and sidewalk. Public Works is currently evaluating the existing mountable curb along 24th Street South and 13th Street South to decide if the replacement will constitute the change to standard curb and gutter.

The conceptual parking layout showing 15 parking spaces, one of which will be ADA accessible. This meets the code requirements for office buildings, which requires one parking space per 250 square feet of gross floor area or 1.1 space per employee, whichever is greater. Staff recommends that the applicant provide bicycle parking also, as per the Medical District Master Plan.

The applicant has proposed new sidewalks along both street frontages as well as interior sidewalks for access throughout the site. Due to the fact that 24th Street South has an 80 foot right of way, Public Works is has evaluated the site and a boulevard style sidewalk is required. Per Title 17, sidewalks shall be constructed when necessary to provide safe pedestrian access to and circulation within the project, therefore a 5-foot minimum is required for all sidewalks within the site. The sidewalk adjacent to the AC condensers is proposed at 4 feet. The applicant will revise the plan to show the appropriate size sidewalk. In addition, the sidewalk that fronts the stalls of the parking lot are recommended to be at least 7 feet wide in order to compensate for the possible overhang of a vehicle. An alternative to this would be to install wheel stops in the parking stalls.

The applicant has provided an outdoor lighting plan which requires modification in order to meet the intent of the OCCGF. First, the applicant has proposed lighting in the public right of way. All work proposed in the Public right-of-way must be approved by Public Works and they require these lights be moved out of the right-of-way. Per Exhibit 40-1 in Chapter 40 - Outdoor Lighting of the OCCGF, sidewalks and other pedestrian walkways cannot exceed the average lighting levels of 3.0 foot candles. The photometric plan that has been submitted shows an average of 7.91. Also, the photometric plan is not showing an average for the entry to the buildings. Both of these items are required to be addressed per Title 17. Even though the parking lot average is under the 5.0 foot candle requirement, the plan shows a light level in the parking lot over 30 foot candles. There are several purposes of the lighting chapter of the OCCGF, one of which is to allow appropriate lighting levels to preserve safety, security and nighttime use; but is also looks at reducing light pollution and creating dark sky friendly development. Staff will require that the maximum light levels be reduced. Finally, when a commercial use abuts a public right-of-way or another commercial use the foot candles at the property line cannot exceed 1.0 foot candle. These deficiencies of Title 17 shall be revised on the photometric plan.

The proposed landscaping requires modification to meet the minimum requirements of the OCCGF. Paved or nonliving surfaces are the dominant texture within the interior of the site, with cement walkways accessing the building from the public right-of-way, an asphalt parking lot, a rock swale to convey stormwater, and rock mulch in all landscape beds. The exterior of the site will be significantly improved by landscaping including grass, canopy trees, shrubs, and perennials.

The OCCGF Chapter 44 – Landscaping, requires that 15% of gross property area is required to be landscaped. It further requires a minimum of one (1) tree and seven (7) shrubs planted and maintained per four hundred (400) square feet, or fraction thereof, of required interior landscaping, as well as 1 boulevard tree for each thirty-five (35) lineal feet of street and avenue frontage. For this site, there are 9 boulevard trees, 8 interior trees and 55 shrubs required to be installed. The landscaping plan submitted meets the required rate of planting, but does not meet the required boulevard trees required. Also, due to the requirement of the boulevard-style sidewalks, the placement of boulevard trees will need to be revised. The proposed landscape plan also shows that the site would be seeded with a dryland seed mix instead of turf grass. The OCCGF requires turf grass is to be installed in the right-of-way, Staff recommends that the whole site be installed with turf grass in order to first be consistent with the surrounding properties and second to ensure establishment and prevent erosion on site. Chapter 44 requires that each row of parking in interior parking areas shall be terminated by a landscape island. The parking island located at the end of the parking lot that contains the trash enclosure must also include landscaping instead of all concrete. Finally the OCCGF requires that all commercial buildings shall use at least 50% of the building frontage for foundation plantings as well as at least 20% of the sides of the building. Since the department of Public Works requires that all plantings except for the boulevard trees be moved on-site, this plant material could be relocated as foundation plantings. The landscape plan has been sent to the City Forester for review and any comments will be reflected in the revised landscape plan.

The applicant has shown proposed signage in the rendered elevations. This signage will be submitted under a separate application and will be reviewed at that time.

Title 17 Deficiencies to be Addressed Prior to Building Permit Issuance

- ◆ Applicant shall revise the site plan to show boulevard style sidewalks on 24th Street South.
- ◆ Applicant shall revise the photometric plan to meet the illumination level at the property boundary line.
- ◆ Applicant shall revise the photometric plan so that the maximum average light levels shall comply with Exhibit 40-1.
- ◆ Applicant shall revise all shrubs on the landscape plan to be specified at two gallon container grown or greater.
- ◆ Applicant shall revise the landscape plan to comply with required boulevard tree counts.
- ◆ The applicant shall revise the site plan and landscape plan to show all parking be terminated with a landscape island.
- ◆ Applicant shall revise the landscape plan to show the required foundation plantings.
- ◆ Applicant shall revise the landscape plan to show that turf grass shall be installed in the right of way.

Recommendation

Staff supports this application with the recommendation that the Design Review Board approve the submitted design with conditions.

Suggested Motion

Board Member moves:

“I move that the Design Review Board (approve/approve with conditions/deny) the Design Review Application for the proposed Montana Synod, located at the corner of 24th Street South and 13th Avenue

South, as shown in the conceptual development plans contained within this report and provided by the Applicant, subject to the following conditions:

- A. The proposed project shall be developed consistent with the conditions in this staff report, all codes and ordinances of the City of Great Falls, the State of Montana, and all other applicable regulatory agencies.
- B. If after the approval of the concept development plan as amended by this Board, the owner proposes to expand or modify the conceptual development plans, the Director of the Planning and Community Development Department shall determine in writing if such proposed change would alter the concept for one or more review criteria. If such proposed change would alter the plan, the proposal shall be resubmitted for review as a new application.
- C. The applicant shall amend the site plan to show screening for the AC condensers.
- D. The applicant shall revise the photometric plan to show lower foot candle levels in the parking lot.
- E. The applicant shall evaluate sidewalk widths adjacent to parking as well as evaluate wheel stops.
- F. The applicant shall provide bicycle parking to the site plan.
- G. The applicant shall install turf grass rather than dryland grasses.

- 2. Chairman calls for a second, discussion, inquiries from the public, and calls the vote.

Cc: Dave Dobbs, City Engineering
Patty Cadwell, Neighborhood Council Coordinator
Todd Seymanski, City Forester
Stephen L'Heureux, LPW Architecture, StephenL@lpwarchitecture.com
Maarika Amado-Cattaneo, LPW Architecture, maarikaac@lpwarchitecture.com

EXHIBIT A - APPLICATION

CITY OF GREAT FALLS
 PLANNING & COMMUNITY DEVELOPMENT DEPT.
 P.O. BOX 5021, GREAT FALLS, MT, 59403-5021
 406.455.8430 • WWW.GREATFALLSMT.NET

Submittal Date: October 24, 2016
 Application Number _____

DESIGN REVIEW BOARD APPLICATION

Montana Synod Evangelical Lutheran Church Office Building

Name of Project / Proposed Use:

Montana Synod, ELCA / Jessica Crist, Bishop

Owner Name:

3125 5th Avenue South Great Falls, MT 59405

Mailing Address:

406.453.1461

jcrist@montanasynod.org

Phone:

Email:

Stephen M. L'Heureux, AIA LPW Architecture | Engineering

Representative Name:

15 5th Street South Great Falls, MT 59401

Mailing Address:

406.771.0770

stephenl@lpwarchitecture.com

Phone:

Email:

PROJECT LOCATION:

Corner Lot of 24th Street South & 13th Avenue South Great Falls, MT 59405

Site Address:

20,960 Sq. Ft.

3,800 Sq. Ft.

Sq. Ft. of Property:

Sq. Ft. of Structure:

LEGAL DESCRIPTION

19-28	S18	20N 016	04E
Mark/Lot:	Section:	Township/Block	Range/Addition

I (We), the undersigned, attest that the above information is true and correct to the best of my (our) knowledge. Further, I (We) owner of said property authorize the above listed representative to act as my agent in this application.

Jessica Crist
Property Owner's Signature:

10/24/16
Date:

[Signature]
Representative's Signature:

10/24/16
Date:

EXHIBIT B - PROJECT NARRATIVE

Architectural Narrative:

New Construction

The square footage of the new Montana Synod Evangelical Lutheran Church Office Building is 3,800 sq. ft. located on a corner lot of 24th Street South & 13th Ave. South Great Falls, Montana.

The Montana Synod Office is the administrative headquarters for 125 Lutheran Churches in Montana, along with a dozen additional ministries. For 41 years the headquarters was located in a building built in 1975. Over the years, with changing needs, the staff has outgrown the former building. The proposed new building will have space for offices, small meetings, and files. It will be built with technological capabilities for communication and it will use principles of ecological sustainability.

The new building is designed to help the Synod staff do their work more effectively and more flexibly. It is a hospitable space that is in keeping with the mission of the Montana Synod.

The exterior materials consist of Hardie panel vertical siding in a board and batten profile, manufactured stone veneer, and exposed glulam beams and columns with black powder coated metal hardware accents. The color pallet is a modern, cool evening blue with a contrasting cobble stone neutral to define the building's edges and changing planes. The warm tones of the glulams balance the grey quartzite stone veneer that wraps the building. The vernacular of the building compliments its surrounds and brings a fresh, modern look to the corner lot it's located on.

The landscaping plan takes a beautiful, ecologically sound approach in using stone cover, trees and native plants. The "river-bed" swale mimics a river running through the west and south side of the property; and serves as a dual purpose for water retention and runoff catch basin. The plants will be established via a drip system.

Civil Narrative

The existing topography gently slopes from north to south with a south boundary grading east along the 13th Avenue South curb line. The conceptual grading plan identifies anticipated storm water runoff patterns based on finished site grading.

Generally, impervious surfaces will collect and convey precipitation towards landscape swales and shallow basins to provide natural filtration of the runoff. Landscaped basins will be designed in a tiered configuration to provide retention and associated sediment removal along the primary storm water conveyance routing. Filtered runoff will ultimately discharge to 13th Avenue South through a sidewalk trench drain at a rate consistent with the existing City of Great Falls Storm Drain Design Manual.

EXHIBIT C - AERIAL MAP



-  Montana Synod
-  City Limits
-  Tracts of Land



EXHIBIT D - SITE PHOTOGRAPHS (OCTOBER 2016)



View looking northwest from 13th Ave S at the corner of the lot.



View looking Northeast from the intersection of 24th St S and 13th Ave S.



View looking southwest from the existing alley just off the property.

DEVELOPMENT PLANS:

SITE PLAN

CONCEPTUAL SITE DRAINAGE PLAN

LANDSCAPING PLANS/DETAILS

BUILDING ELEVATIONS

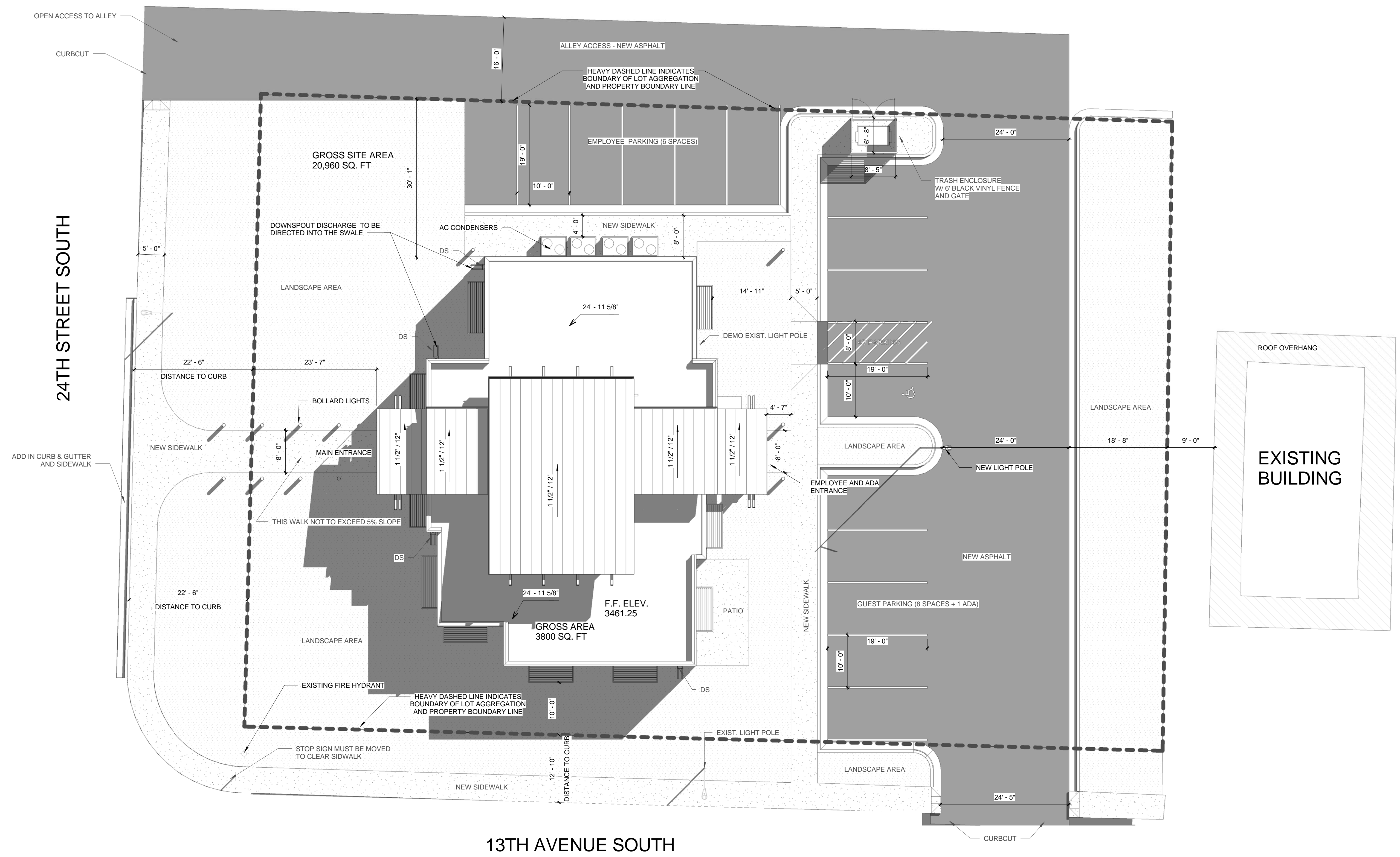
EXTERIOR FINISHES

BUILDING FLOOR PLAN

SITE LIGHTING PHOTOMETRIC PLAN

OLD TD&H BUILDING

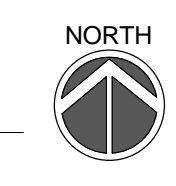
ALLEY BUTTS UP AGAINST AN
EMPTY PAVED LOT



24TH STREET SOUTH

13TH AVENUE SOUTH

1 ARCHITECTURAL SITE PLAN
1" = 10'-0"

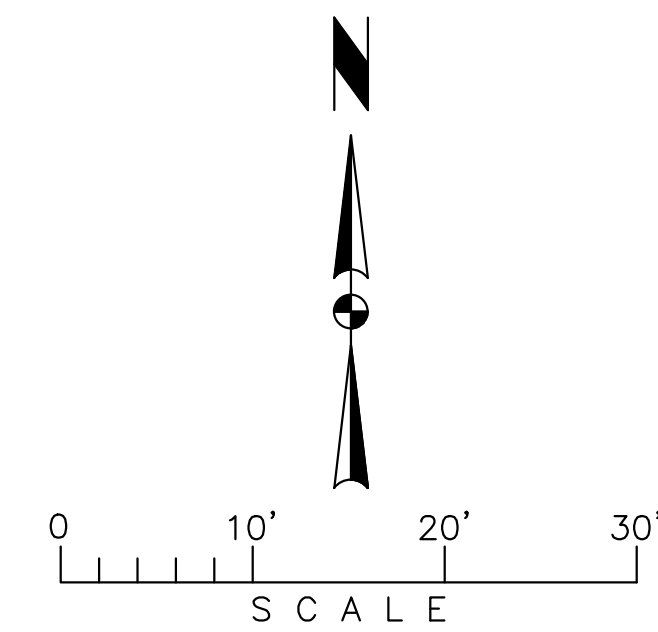
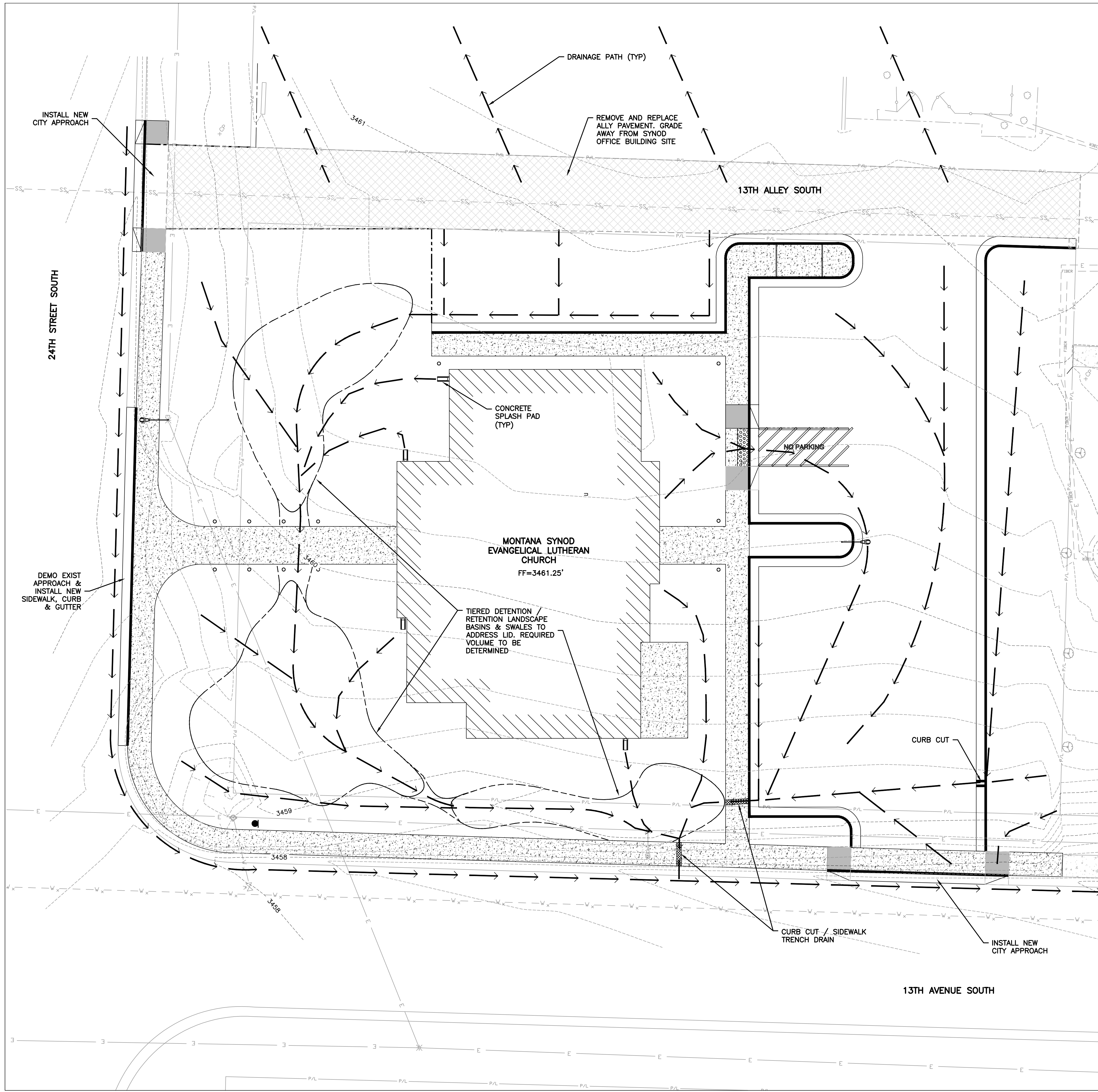


Revision Schedule		
No.	Revision	Date

Submittal Schedule		
No.	Submittal	Date

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DRAWN BY:	MA-C
CHECKED BY:	SML
DATE:	09/16/16
PROJECT NUMBER:	16-022
SHEET NUMBER:	SP1.1



LEGEND

NEW	EXISTING	DESCRIPTION
		BUILDING
		BUSH OR SHRUB
		CONCRETE
		CONTOUR
		CONTROL POINT
		CURB BOX
		CURB & GUTTER
		EDGE OF ASPHALT
		EDGE OF GRAVEL
		ELECTRICAL BOX
		ELECTRICAL OUTLET
		ELECTRIC - OVERHEAD
		ELECTRIC - UNDERGROUND
		FENCE - CHAIN LINK
		FENCE - WOOD
		FIBER-OPTIC - UNDERGROUND
		FIRE HYDRANT
		GAS
		GAS METER
		GUY WIRE
		LIGHT POLE
		PARKING BLOCKS
		POWER POLE
		PROPERTY LINE
		PROPERTY PIN
		ROOF DRAIN
		SANITARY SEWER
		SANITARY SEWER MANHOLE
		TRAFFIC SIGN
		TREE - CONIFEROUS
		TREE - DECIDUOUS
		WALL HYDRANT
		WALL LIGHT
		WATERLINE
		WATER VALVE

Revision Schedule		
No.	Revision	Date

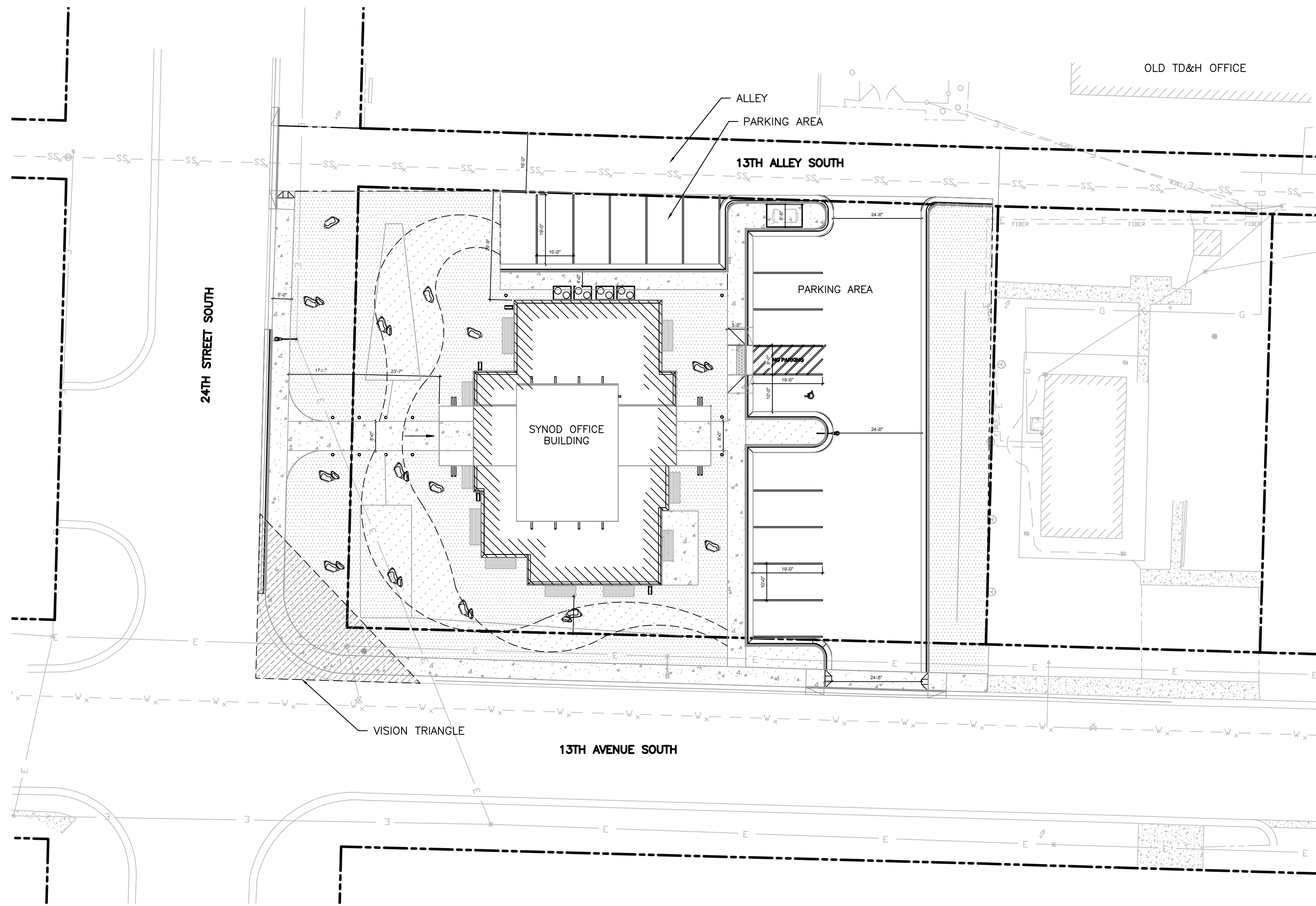
Submitter Schedule		
No.	Submitter	Date

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DRAWN BY: CJS
 CHECKED BY: X
 DATE: 10/24/16
 PROJECT NUMBER: 16-230
 SHEET NUMBER: **C3.1**

J:\2016\16-230 LPW Lutheran Synod Office Bldg\CADD\CIVIL\16-230 C3.X.dwg, 10/21/2016 3:55:46 PM, KBP

SITE PLAN



LEGEND

- DRYLAND GRASS, PER SCHEDULE, OR OTHER MULCH AS APPROVED BY OWNER
 - METAL EDGING - SEE 4/L1.2
 - RIVER BED - SEE 6/L1.2
 - BOULDER - SEE 5/L1.2
- NOTE: SEE CIVIL & ARCH FOR ADDITIONAL LEGEND ITEMS

PLANT SCHEDULE

DRYLAND SLOPE MIX, BY TREASURE STATE SEED (OR APPROVED EQUAL)		
30%	FAIRWAY CRESTED WHEATGRASS	PROVIDE FRESH, CLEAN, AND DRY NEW SEED WITH NOT LESS THAN 80% GERMINATION, NOT LESS THAN 95% PURE SEED, AND NOT MORE THAN 0.5% WEED SEED. APPLY DRYLAND SEED MIXTURE AT A RATE OF 10-12 LBS/ACRE, DRILL SEED.
30%	HARD FESCUE	FERTILIZER FOR DRYLAND SEEDING AREAS SHALL CONSIST OF NITROGEN 11%, PHOSPHATE 55%, POTASH 12%. APPLICATION RATE SHALL BE 200 LBS/ACRE.
15%	SLENDER WHEAT GRASS	
10%	SODAR STREAMBANK WHEATGRASS	
15%	CRITANA THICKSPIKE WHEATGRASS	
5%	BROME	

CODE REVIEW

CODE REQUIREMENT	REQUIRED	PROVIDED
17.44.2.040 - LANDSCAPING FOR BOULEVARD AREAS		
(C)(4) ONE TREE PER 35 LINEAR FEET OF STREET FRONTAGE	121 FT ON 24TH ST. S. 175 FT ON 13TH AVE. S. 296 FT TOTAL/35=9 TREES	9 TREES PROVIDED
17.44.3 DESIGN STANDARDS FOR COMMERCIAL, INSTITUTIONAL AND CIVIC-USE BUILDINGS		
17.44.3.030(A) 15% OF GROSS PROPERTY AREA REQUIRED TO BE LANDSCAPED	GROSS PROPERTY AREA: 20,958 LANDSCAPE AREA REQUIRED: 3,144 SQ. FT.	±8,500 SQ. FT. PROVIDED
17.44.3.030(B) 10% OF VEHICULAR USE AREAS, MUST BE LANDSCAPED	VEHICULAR USE AREA=7,100 X 10%= 710 SQ. FT.	±2,200 SQ. FT. PROVIDED
17.44.3.030(F) RATE OF PLANTINGS: 1 TREE AND 7 SHRUBS PER 400 SQUARE FEET OF LANDSCAPE AREA	8 TREES REQUIRED 55 SHRUBS REQUIRED	8 TREES PROVIDED (2 IN BLVD) 147 SHRUBS PROVIDED

MASTER PLANT SCHEDULE

SYM	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	ROOT	NOTES	MATURE HEIGHT	MATURE WIDTH
DECIDUOUS TREES								
AT	7	ACER TATARICUM	TATARIAN MAPLE	2.25" CAL	B & B		15-20'	15-20'
GT	9	GLEDITSIA TRIACANTHOS 'SKYCOLE'	SKYLINE HONEYLOCUST	2.25" CAL	B & B		40-50'	30-35'
DECIDUOUS SHRUBS								
AR	12	ARTEMISIA TRIDENTATA	BIG SAGEBRUSH	2 GAL.	CONTAINER		3-4'	3-4'
CS	20	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	1 GAL.	CONTAINER	PINK FLOWER	3-4'	3-4'
PF	8	POTENTILLA FRUTICOSA	GOLDFINGER POTENTILLA	1 GAL.	CONTAINER		3-4'	3-4'
SP	19	SALIX PURPUREA 'GRACILIS'	COMPACT PURPLE WILLOW	1 GAL.	CONTAINER		5-6'	6-8'
CONIFEROUS SHRUBS								
JS	4	JUNIPERUS SABINA 'MONNA'	CALGARY CARPET JUNIPER	2 GAL.	CONTAINER	SPREADING	12"	3-6'
PM	14	PINUS MUGO 'PUMILLO'	DWARF MUGO PINE	2 GAL.	CONTAINER	DWARF	3-5'	3-6'
PERENNIALS								
AM	14	ACHILLEA MILLEFOLIUM 'PAPRIKA'	PAPRIKA YARROW	4.5" POT	CONTAINER	ORANGE/YELLOW	24-36"	12-24"
PA	22	PERVOSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	1 GAL.	CONTAINER	PURPLE FLOWER	36-42"	36"
SS	31	SCHIZACHYRIUM SCOPARIUM 'MINNBLUEA'	BLUE HEAVEN LITTLE BLUESTEM	1 GAL.	CONTAINER		24-36"	24-36"
YG	20	YUCCA GLAUCA	YUCCA	1 GAL.	CONTAINER	PURPLE FLOWER	18-24"	24-36"

- NOTES:
- PLANTS IN LEGEND NOT SHOWN TO SCALE.
 - SEE SHEET L1.2 FOR PLANTING DETAILS.
 - SEE SHEET L1.2 FOR PLANTING DETAILS.
 - SEE CIVIL & ARCHITECTURAL PLANS FOR ADDITIONAL LEGEND ITEMS.

GENERAL NOTES

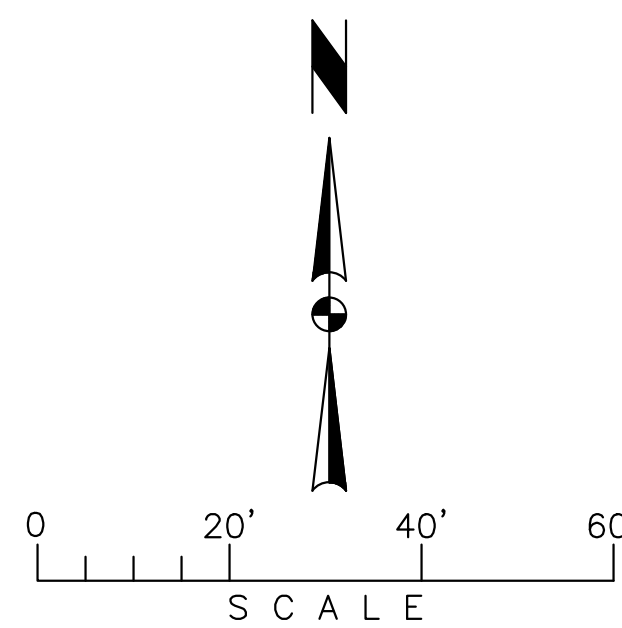
- ALL WORK SHALL BE CONTAINED WITHIN THE SUBJECT PROPERTY BOUNDARY LINES AND ADJACENT RIGHT-OF-WAY. PERMISSION TO ENTER ADJACENT PRIVATE PROPERTY, IF NEEDED, IS THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL WORK WITHIN CITY RIGHT-OF-WAY WITH THE CITY.
- IN ORDER TO PREVENT DAMAGE TO BOTH VEGETATION AND PUBLIC UTILITY LINES, ALL TREES AND OTHER LARGE VEGETATION SHALL BE PLANTED NO CLOSER THAN THE MINIMUM DISTANCE SPECIFIED BY THE LOCAL JURISDICTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DISTANCE FROM ALL UTILITIES AT TIME OF INSTALLATION.
- ANY DAMAGE TO UTILITY LINES, RESULTING FROM THE ACTIONS OF THE CONTRACTOR IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF CONTRACTOR TO CORRECT. VERIFY WITH THE PROJECT MANAGER AND UTILITY COMPANIES THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START. REPAIR ANY DAMAGE TO EXISTING UTILITIES, CURBS, PAVEMENTS AND STRUCTURES WHICH OCCUR DURING THE CONSTRUCTION OF THE PROJECT OR AS A RESULT OF THE CONTRACTOR'S ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER.
- SAFEGUARD ALL BUILDING SURFACES, EQUIPMENT AND FURNISHINGS. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE IN THE EXECUTION OF THE WORK.
- REFER TO ARCHITECTURAL AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION, IF CONFLICTS EXIST CONTRACTOR SHALL BRING THESE TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- ALL CHANGES TO THE APPROVED LANDSCAPING PLAN MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND LOCAL JURISDICTION PRIOR TO INSTALL.

LANDSCAPE SHEET INDEX

- L1.0 LANDSCAPE COVER SHEET
- L1.1 PLANTING PLAN
- L1.2 PLANTING DETAILS

PLANTING NOTES

- COORDINATE WITH ARCHITECTURE/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH GRADING, SURFACE AND UNDERGROUND CONDITIONS AND UTILITIES.
- ALL GRADES, DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON-SITE BEFORE CONSTRUCTION BEGINS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- ONE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF BOTH THE PLANTING AND IRRIGATION INSTALLATION, UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
- COORDINATE WITH OTHER CONTRACTORS, AS NECESSARY, REGARDING LOCATION AND TIMING OF INSTALLATION OF PLANT MATERIALS.
- PLANT MATERIALS SHALL BE FURNISHED IN THE QUANTITIES AND/OR SPACINGS AS SHOWN OR NOTED. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT SCHEDULE, THE PLAN SHALL DICTATE.
- PLANT MATERIALS ARE DRAWN AT OR NEAR THEIR MATURE SIZE. UTILIZE THE CENTER POINT OF THE SYMBOL TO DETERMINE PROPER PLANT LAYOUT AND PLACEMENT, PLANT TREES WITHIN 5- FEET OF LOCATION SHOWN ON PLANS, PLANT SHRUBS WITHIN 1-FOOT OF LOCATION SHOWN ON PLANS, UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
- ALL PLANTS ARE TO MEET OR EXCEED 'AMERICAN STANDARDS FOR NURSERY STOCK', CURRENT EDITION, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION. ALL PLANTS SHALL BE NURSERY-GROWN UNLESS OTHERWISE NOTED.
- PROVIDE A 3'-0" DIA. BED AROUND ALL TREES LOCATED IN LAWNS. MULCH WITH CLEAN BARK MULCH. NO EDGING OR WEED BARRIER REQUIRED, SEE DETAILS.
- ALL SHRUB BEDS TO BE MULCHED WITH 1.5" WASHED RIVER ROCK MULCH AS SHOWN ON PLANS AND PER DETAILS, 3" MINIMUM DEPTH.
- COORDINATE THE PLANTING WITH IRRIGATION SYSTEM. THE OWNER IS NOT RESPONSIBLE FOR DAMAGE CAUSED BY OTHER TRADES WHILE COMPLETING THIS WORK.
- ALL SUBSTITUTIONS AND PLAN CHANGES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER'S REPRESENTATIVE.
- ANY WORK OR MATERIAL WHICH IN THE OPINION OF THE OWNER'S REPRESENTATIVE DOES NOT MEET THE REQUIREMENTS OF THE PLANS WILL BE CAUSE FOR REJECTION. ALL REJECTED WORK AND MATERIALS SHALL BE IMMEDIATELY REMOVED, DISPOSED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- BEGIN MAINTENANCE AFTER EACH PLANT HAS BEEN INSTALLED AND CONTINUE UNTIL FINAL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, MULCHING, REPLACEMENT OF SICK OR DEAD PLANTS AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT STOCK.
- DURING THE COURSE OF THIS WORK, REMOVE EXCESS WASTE MATERIAL DAILY FROM THE SITE AND UPON COMPLETION OF ALL WORK.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITIES SHALL BE CONSERVED FOR LATER USE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED. ORGANIC AMENDMENTS SUCH AS COMPOST, FEAT OR AGED MANURE SHALL BE THOROUGHLY INCORPORATED.
- UPON COMPLETION OF ALL LANDSCAPING, A SUBSTANTIAL COMPLETION WALK-THROUGH OF THE WORK WILL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR SCHEDULING THE WALK-THROUGH AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED DATE.
- WARRANTY ALL PLANT STOCK AND WORKMANSHIP FOR 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE. REPLACEMENT PLANTS SHALL BE WARRANTED FOR AN ADDITIONAL 90 DAYS.
- SOD ALL AREAS NOT INCLUDED IN PLANTING BEDS WITH A KENTUCKY BLUEGRASS, PER PLANS. SOD SHALL BE FROM A COMMERCIAL SOD FARM LOCATED IN MONTANA. SOD TYPE, CONDITION AND SOURCE SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE.

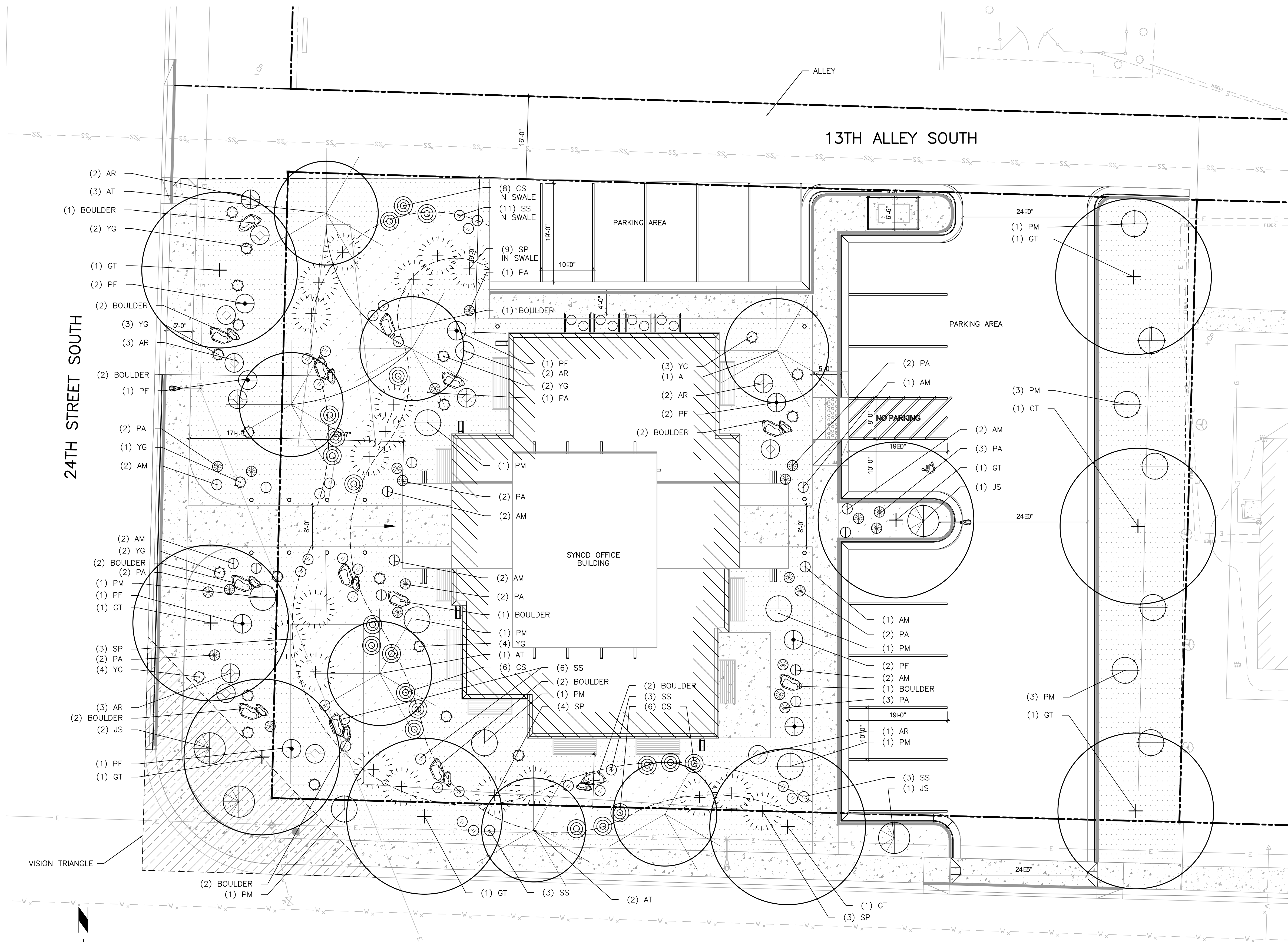


Revision Schedule		
No.	Revision	Date

Submitter Schedule		
No.	Submitter	Date
1	DBS Submitter	10/24/16

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DRAWN BY: JCC
CHECKED BY:
DATE: 10/24/16
PROJECT NUMBER: 16-230
SHEET NUMBER: 1

PLANTING PLAN



MASTER PLANT SCHEDULE

SYM	BOTANICAL NAME	COMMON NAME
DECIDUOUS TREES		
AT	ACER TATARICUM	TATARIAN MAPLE
GT	GLEDITSIA TRIACANTHOS 'SKYCOLE'	SKYLINE HONEYLOCUST
DECIDUOUS SHRUBS		
AR	ARTEMISIA TRIDENTATA	BIG SAGEBRUSH
CS	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD
PF	POTENTILLA FRUTICOSA	GOLDFINGER POTENTILLA
SP	SALIX PURPUREA 'GRACILIS'	COMPACT PURPLE WILLOW
CONIFEROUS SHRUBS		
JS	JUNIPERUS SABINA 'MONNA'	CALGARY CARPET JUNIPER
PM	PINUS MUGO 'PUMILLO'	DWARF MUGO PINE
PERENNIALS		
AM	ACHILLEA MILLEFOLIUM 'PAPRIKA'	PAPRIKA YARROW
PA	PERVOSKIA ATRIPLICIFOLIA	RUSSIAN SAGE
SS	SCHIZACHYRIUM SCOPARIUM 'MINNBLUEA'	BLUE HEAVEN LITTLE BLUESTEM
YG	YUCCA GLAUCA	YUCCA

NOTES:
 1. PLANTS IN LEGEND NOT SHOWN TO SCALE.
 2. SEE SHEET L1.2 FOR PLANTING DETAILS.
 3. SEE CIVIL & ARCHITECTURAL PLANS FOR ADDITIONAL LEGEND ITEMS.

PLANT SCHEDULE

DRYLAND SLOPE MIX, BY TREASURE STATE SEED (OR APPROVED EQUAL)	
30%	FAIRWAY CRESTED WHEATGRASS
30%	HARD FESCUE
15%	SLENDER WHEAT GRASS
10%	SODAR STREAMBANK WHEATGRASS
15%	CRITANA THICKSPIKE WHEATGRASS
5%	BROME

PROVIDE FRESH, CLEAN, AND DRY NEW SEED WITH NOT LESS THAN 80% GERMINATION, NOT LESS THAN 95% PURE SEED, AND NOT MORE THAN 0.5% WEED SEED. APPLY DRYLAND SEED MIXTURE AT A RATE OF 10-12 LBS/ACRE, DRILL SEED. FERTILIZER FOR DRYLAND SEEDED AREAS SHALL CONSIST OF NITROGEN 11%, PHOSPHATE 55%, POTASH 12%. APPLICATION RATE SHALL BE 200 LBS/ACRE.

LEGEND

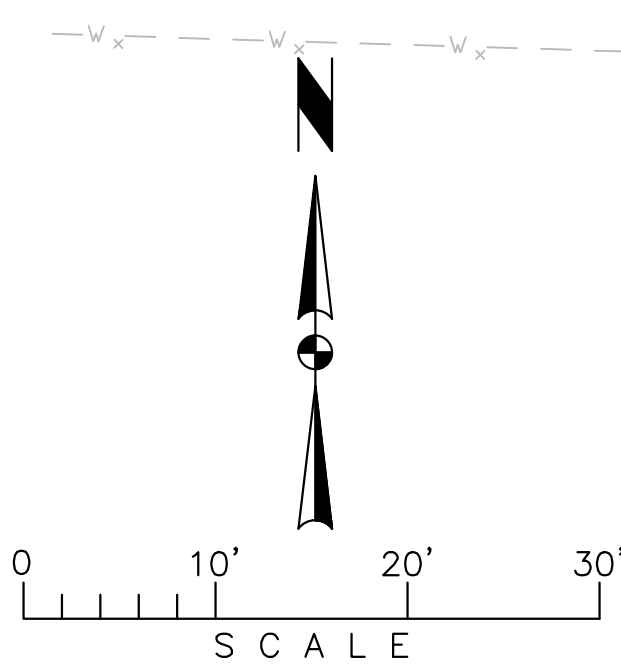
- DRYLAND GRASS, PER SCHEDULE, OR OTHER MULCH AS APPROVED BY OWNER
 - RIVER BED - SEE 6/L1.2
 - PROPERTY LINE
 - METAL EDGING - SEE 4/L1.2
 - BOULDER - SEE 5/L1.2
- NOTE: SEE CIVIL & ARCH FOR ADDITIONAL LEGEND ITEMS

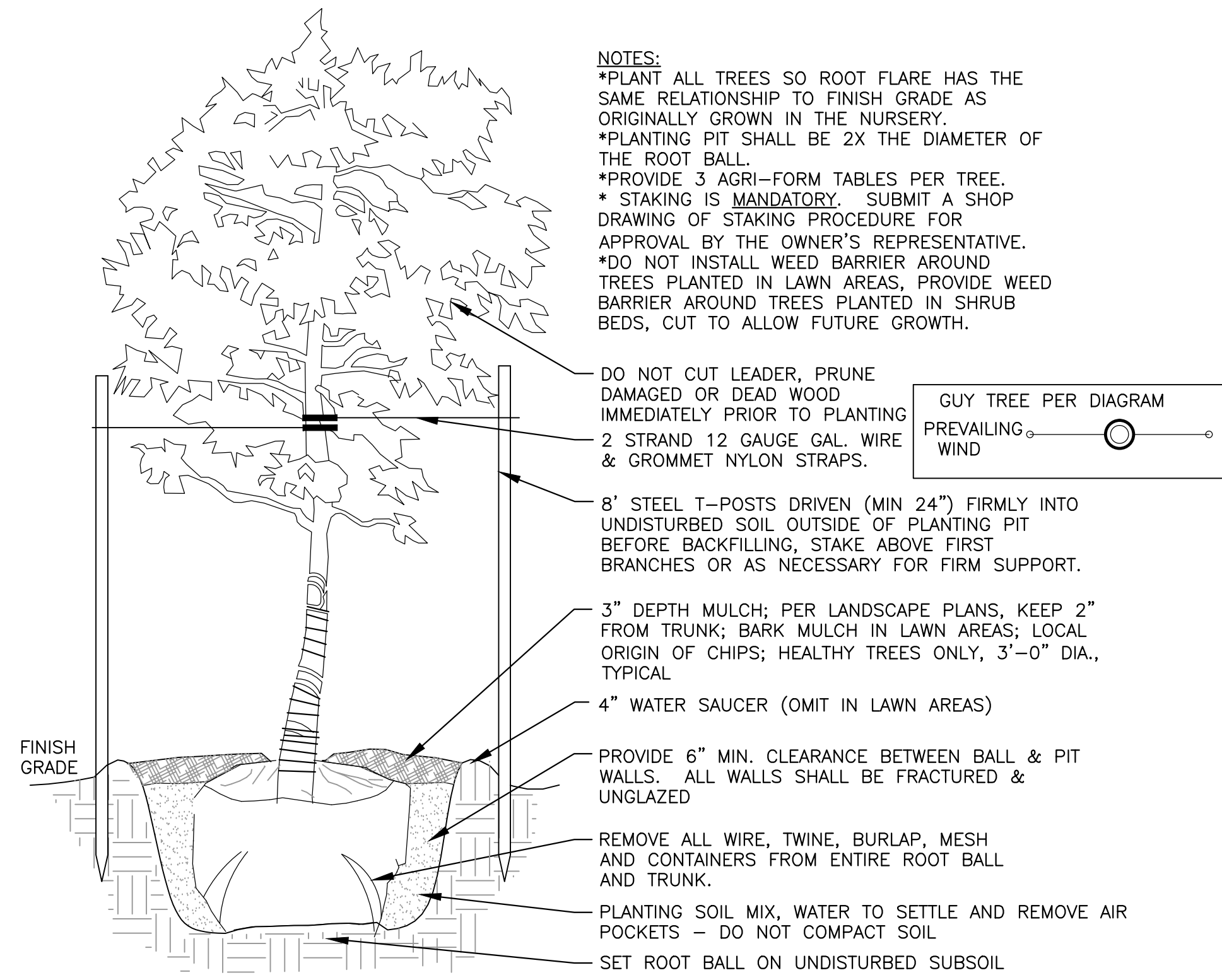
Revision Schedule		
No.	Revision	Date

Submitter Schedule		
No.	Submitter	Date
1	DBS Submitter	10/24/16

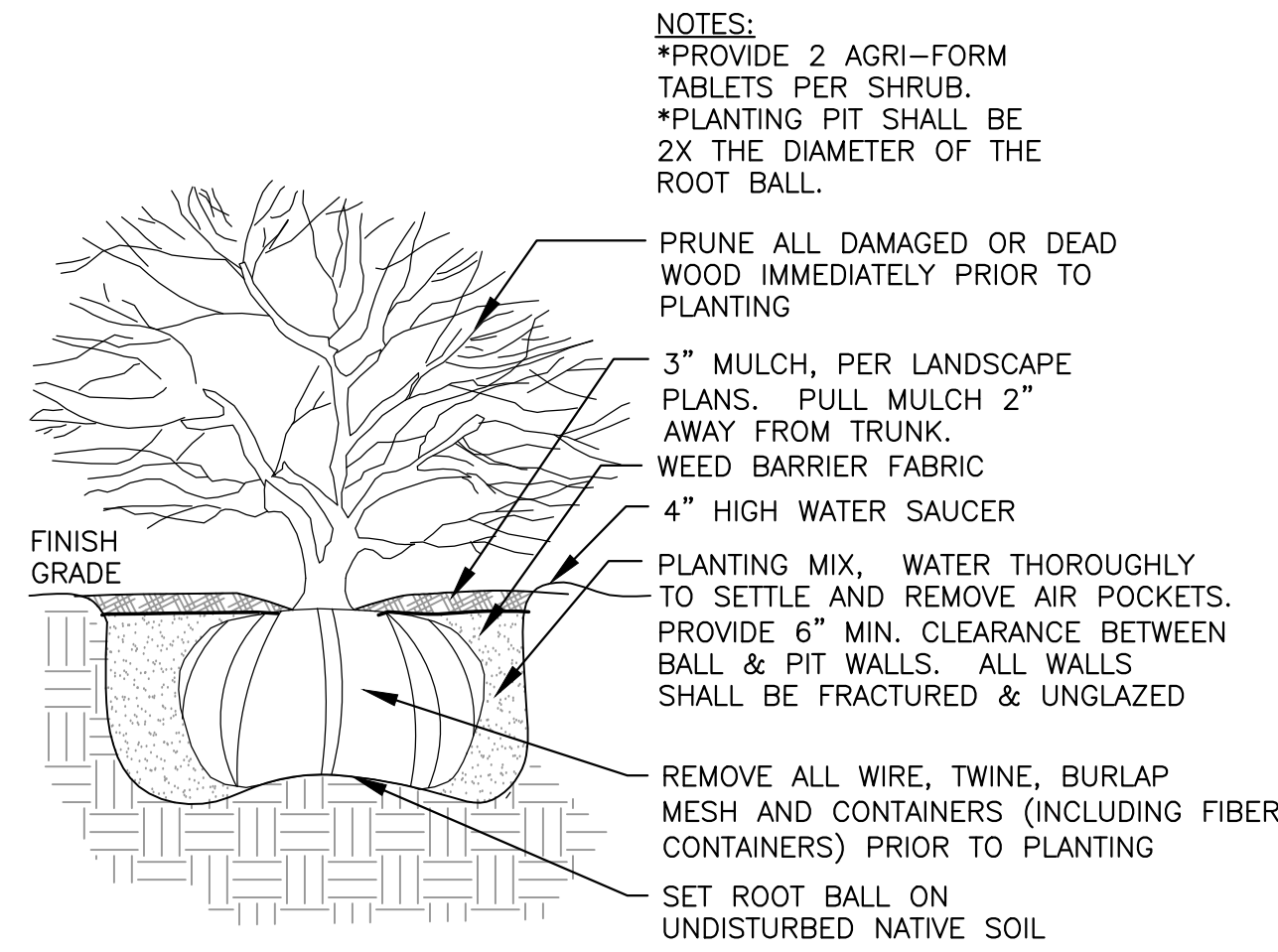
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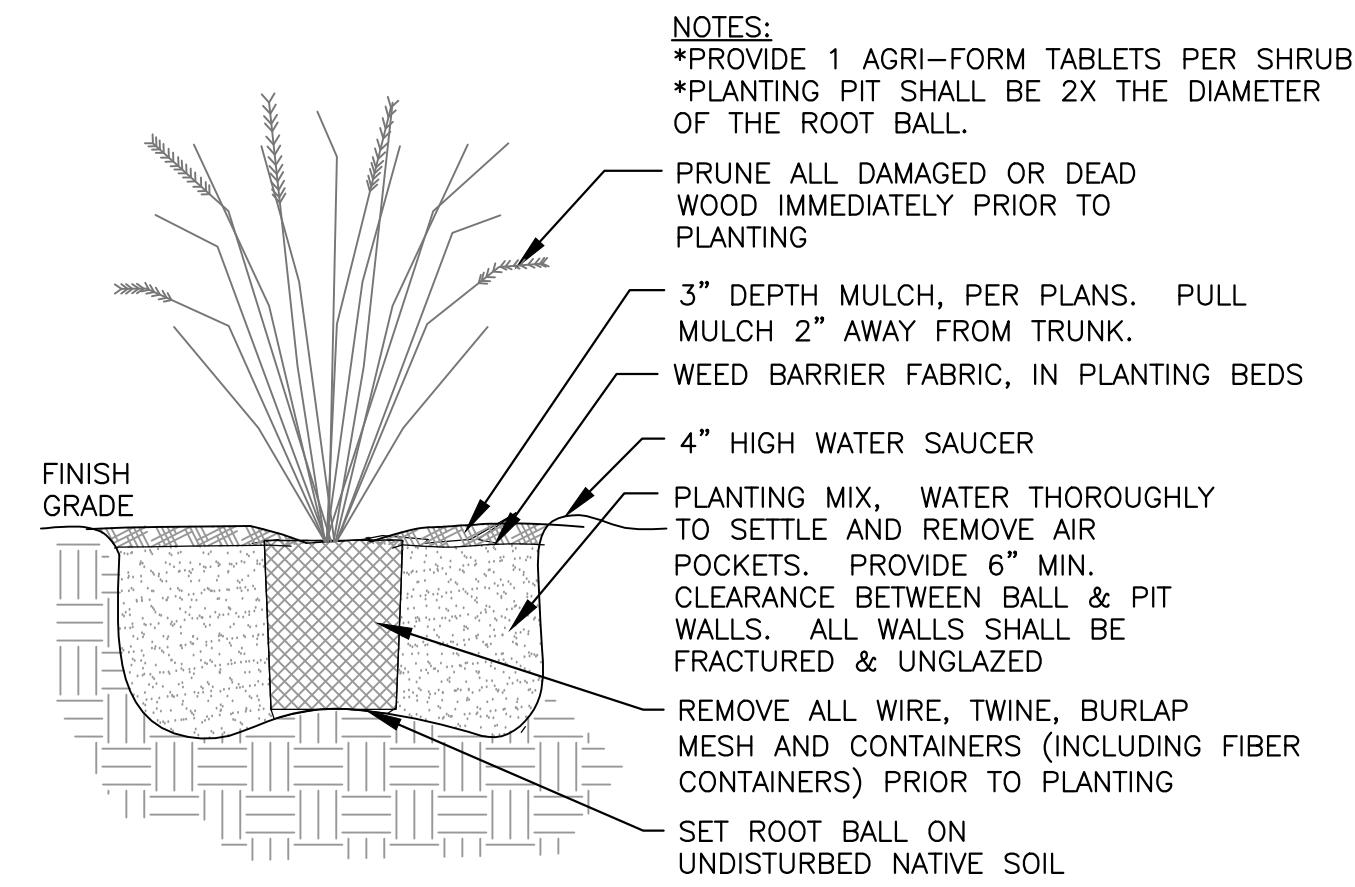




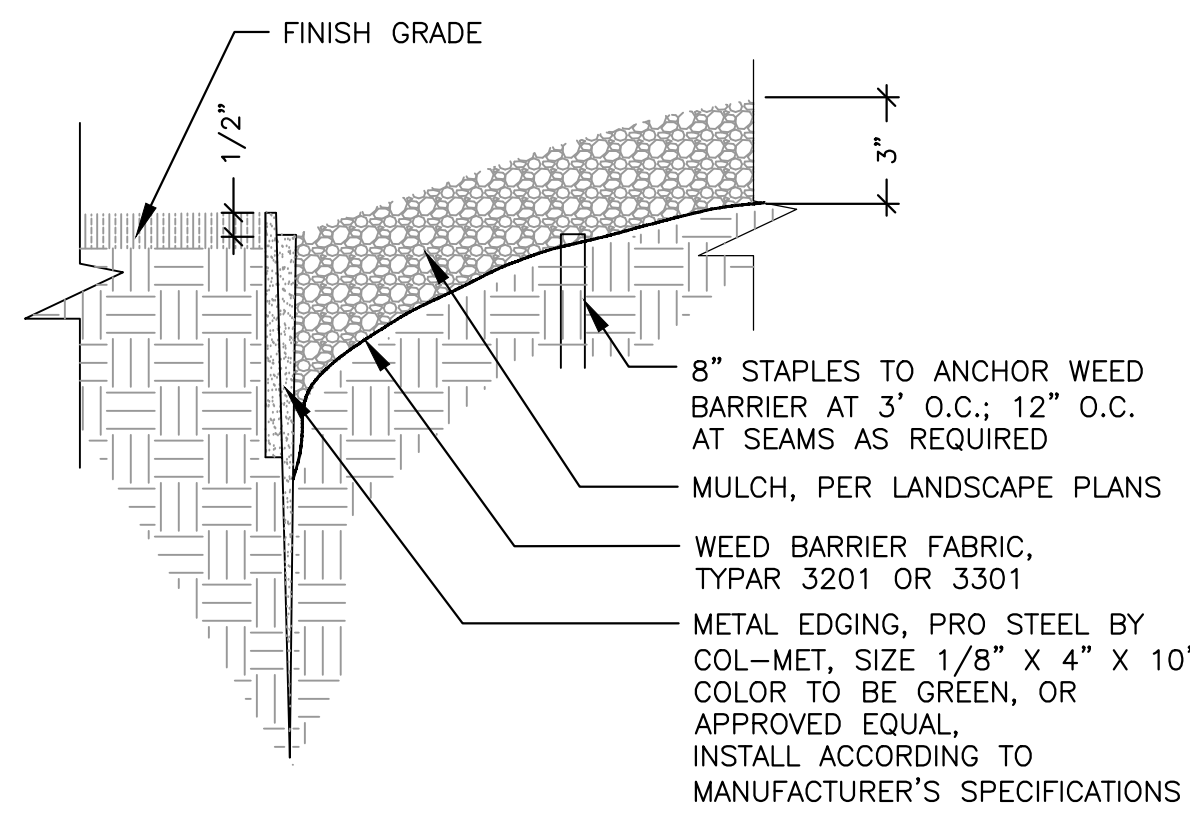
1 DECIDUOUS TREE NOT TO SCALE



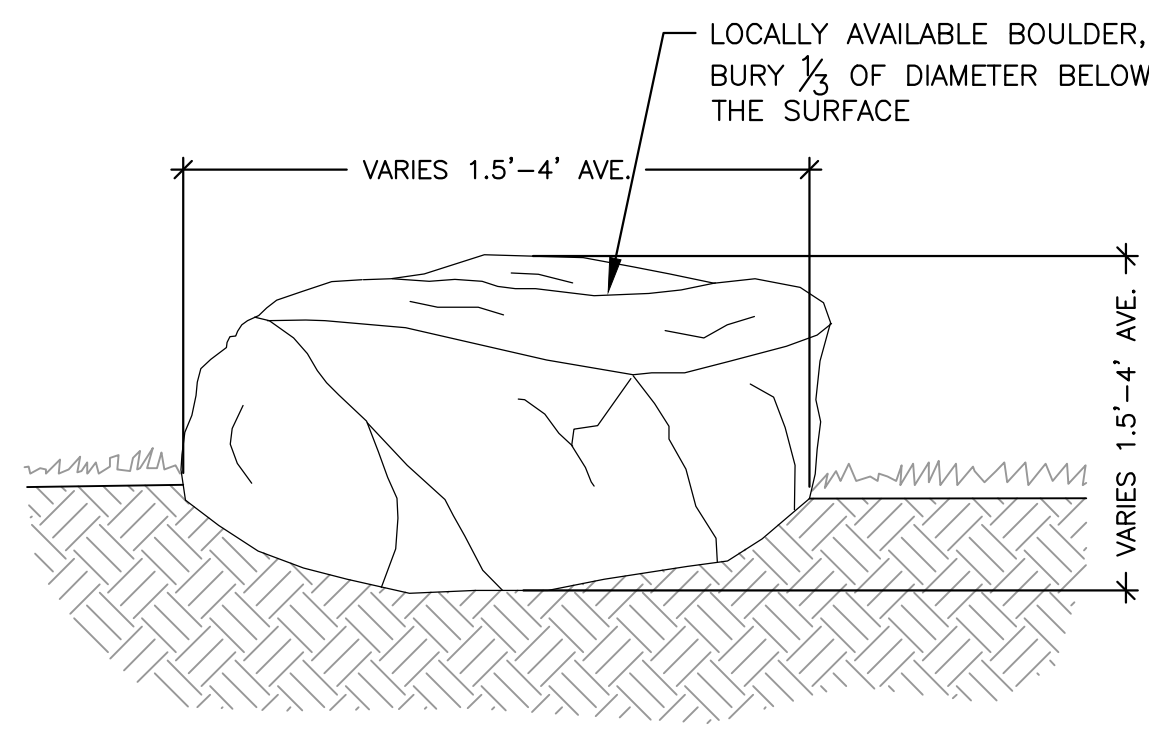
2 SHRUB PLANTING NOT TO SCALE



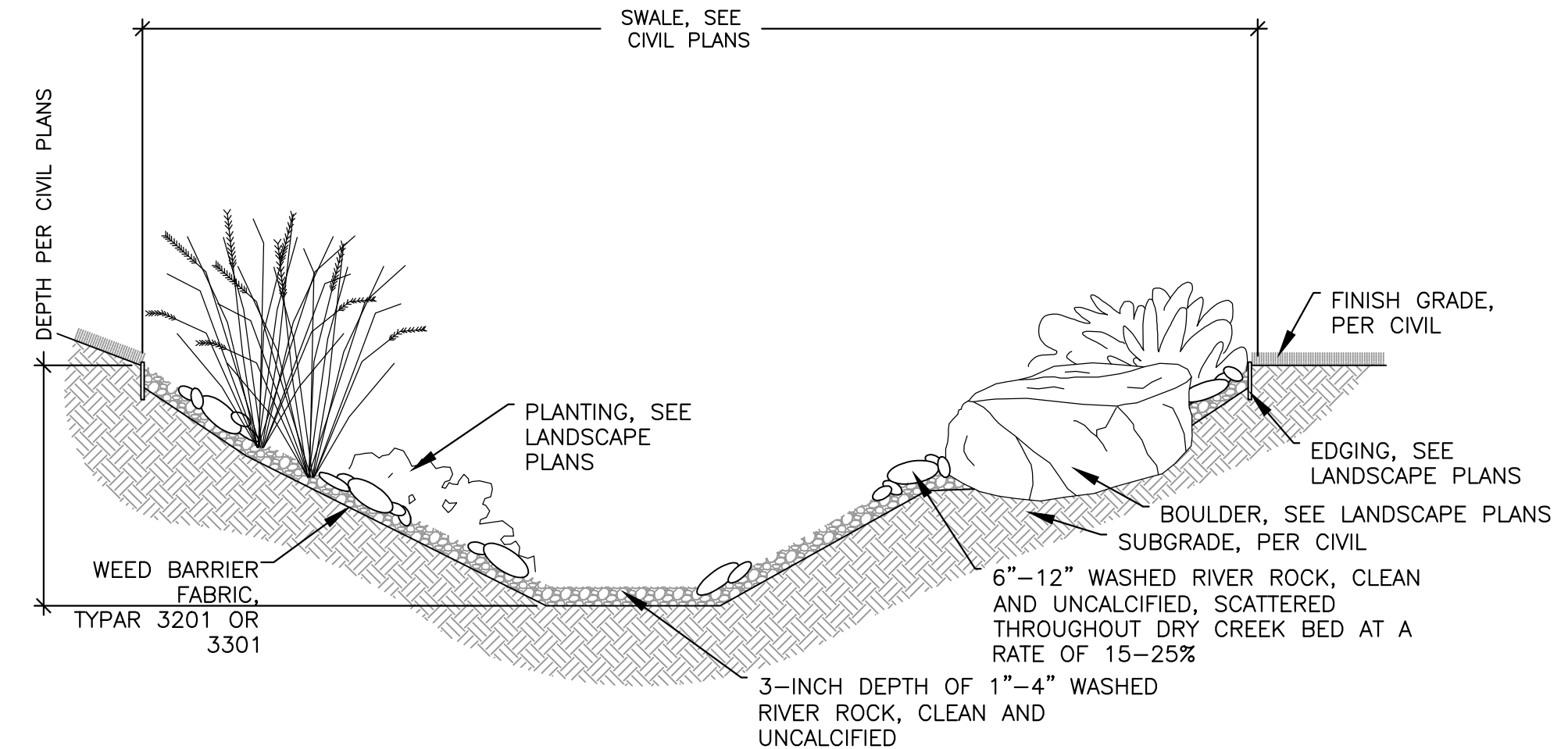
3 ORNAMENTAL GRASS PERENNIAL PLANTING NOT TO SCALE



4 METAL EDGING DETAIL NOT TO SCALE



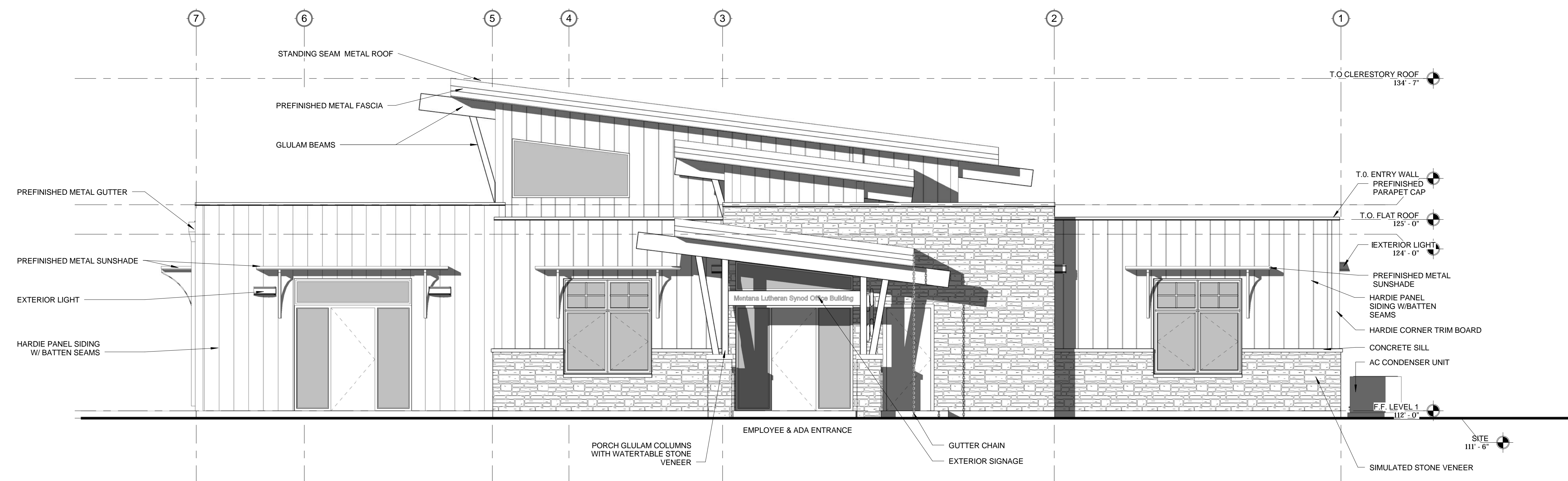
5 BOULDER PLACEMENT NOT TO SCALE



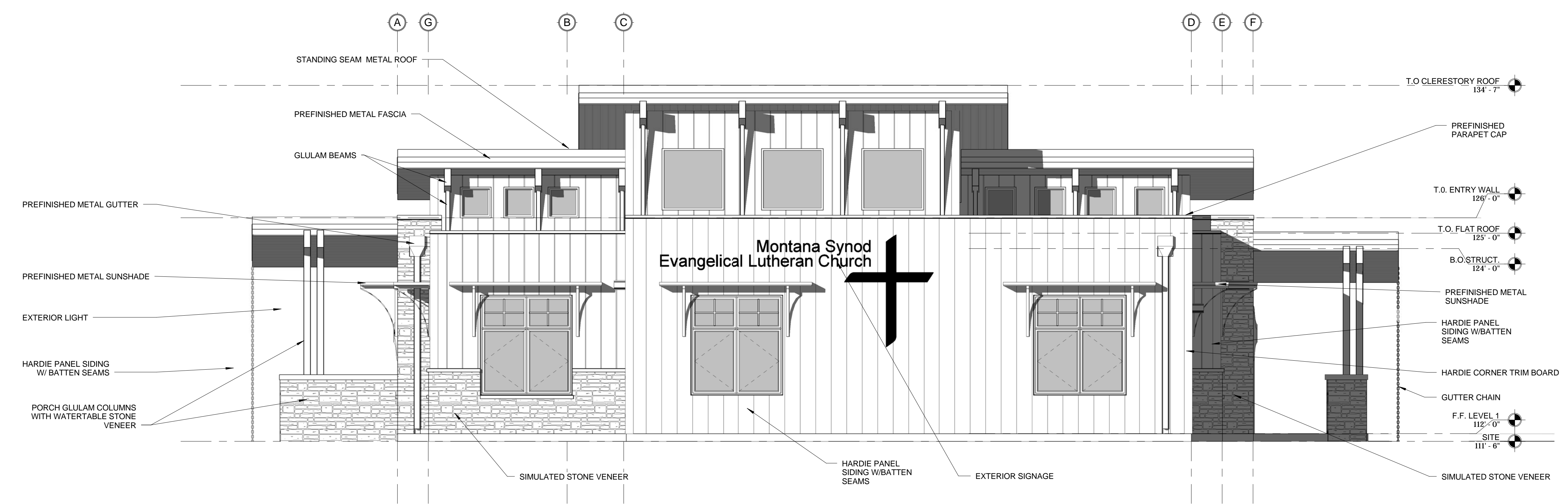
6 ROCK LINED SWALE NOT TO SCALE

Revision Schedule		
No.	Revision	Date

Submitter Schedule		
No.	Submitter	Date
1	DBS Submitter	10/24/16



1 EXTERIOR ELEVATION - EAST
 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
 1/4" = 1'-0"

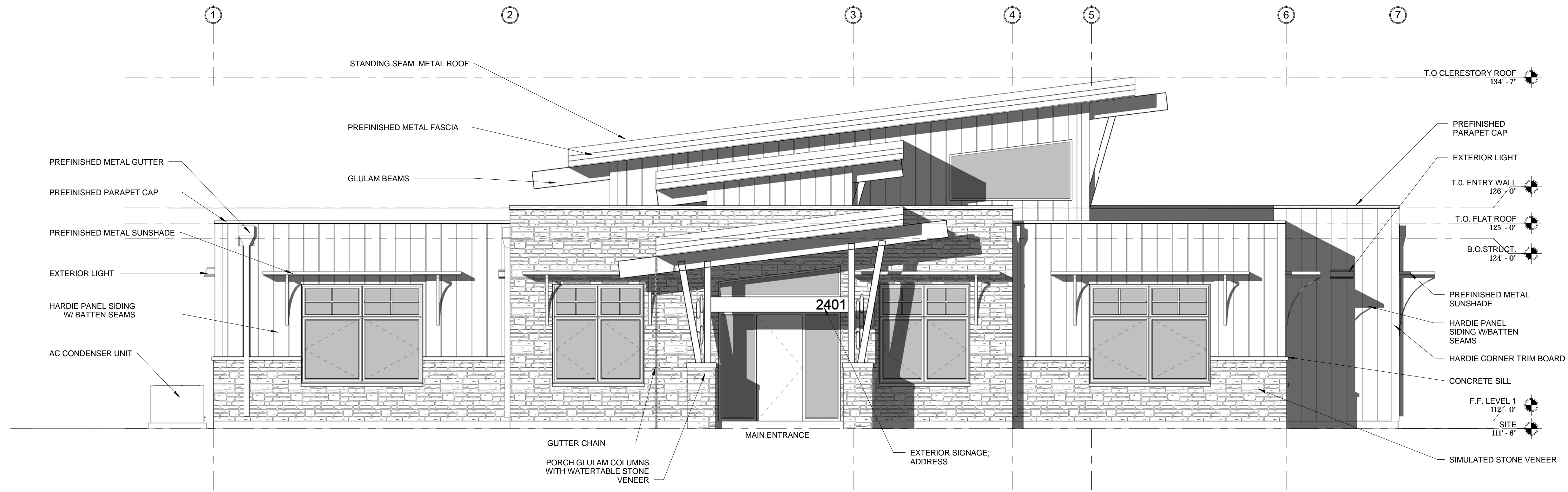
MONTANA SYNOD - EVANGELICAL LUTHERAN CHURCH
 SYNOD OFFICE BUILDING
 GREAT FALLS, MONTANA
 EXTERIOR ELEVATIONS

Revision Schedule		
No.	Revision	Date

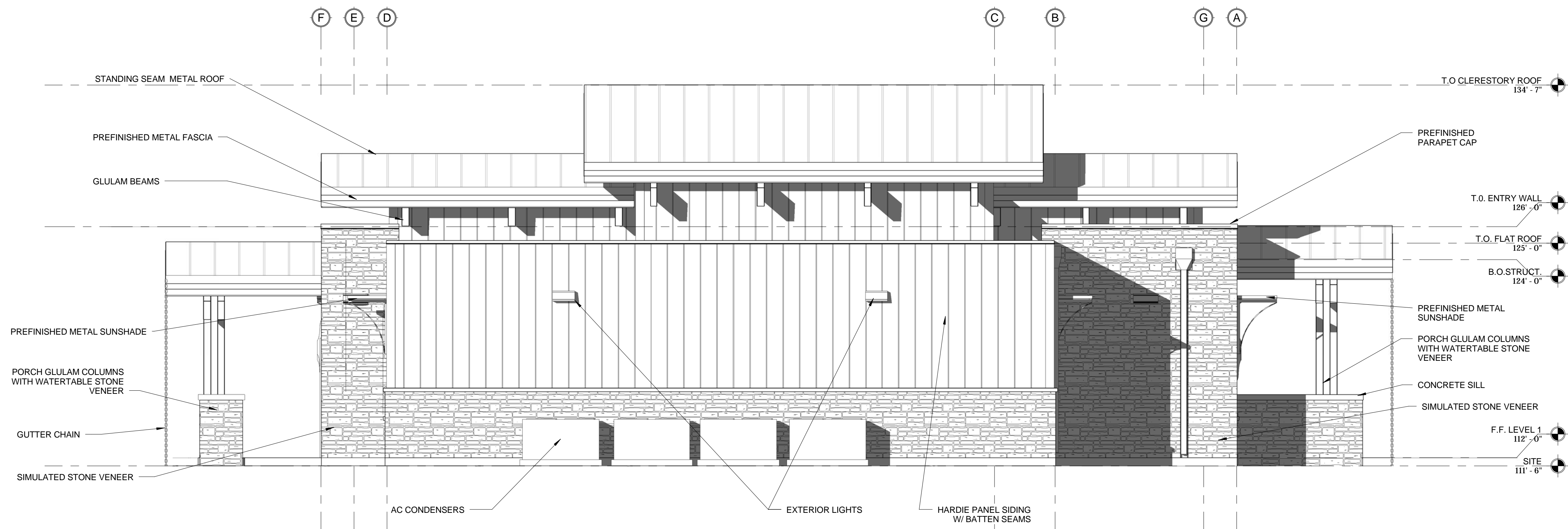
Submittal Schedule		
No.	Submittal	Date

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PROJECT NUMBER: 16-022	SHEET NUMBER: A6.1



1 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

Revision Schedule		
No.	Revision	Date

Submittal Schedule		
No.	Submittal	Date

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CHECKED BY: SML

DATE: 10/13/09

PROJECT NUMBER: 16-022

SHEET NUMBER: A6.2



EAST ELEVATION -



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



HARDIE PANEL VERTICAL SIDING
BOARD & BATTEN PROFILE
SELECT CEDARMILL / EVENING BLUE



MANUFACTURED STONE VENEER
MOUNTAIN COBBLE STONE
COLOR: GREY QUARTZITE



HARDIE PANEL VERTICAL SIDING
BOARD & BATTEN PROFILE
SELECT CEDARMILL / COBBLE STONE
SIDING TRIM COLOR - COBBLE STONE



EXPOSED GLULAM BEAMS / COLUMNS WITH
BLACK POWDER COATED METAL HARDWARE
ACCENTS



STANDING SEAM METAL ROOF @ CLERESTORY ONLY
MUSTANG - BROWN

METAL COPING AND SCUPPER GUTTERS TO MATCH



PREFABRICATED METAL SUNSHADE
ACCENTS IN NEUTRAL



INSULATED ALUMINUM CASEMENT WINDOWS DARD
BRONZE FINISH
INSULATED GLASS / HIGH PERFORMANCE
REFLECTIVE COATING

ALUMINUM STOREFRONT AND HM DOOR FRAMES
DARD BRONZE FINISH TO MATCH WINDOWS



BLACK POWDER COATED STEEL EXTERIOR
SIGNAGE

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MONTANA SYNOD - EVANGELICAL LUTHERAN CHURCH
SYNOD OFFICE BUILDING
GREAT FALLS, MONTANA

EXTERIOR FINISHES

Revision Schedule

No.	Revision	Date

Submital Schedule

No.	Submital	Date
1	DRB SUBMITTAL	10/24/16

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CHECKED BY: SML

DATE: 10/24/16

PROJECT NUMBER: 16-022

SHEET NUMBER: DRB

2026/16 12:28:13 PM

- CURRENTLY ADOPTED AND APPLICABLE CODES:**
- INTERNATIONAL BUILDING CODE, 2012 EDITION
 - INTERNATIONAL EXISTING BUILDING CODE, 2012 EDITION
 - UNIFORM PLUMBING CODE, 2012 EDITION
 - INTERNATIONAL MECHANICAL CODE, 2012 EDITION
 - INTERNATIONAL FUEL GAS CODE, 2012 EDITION
 - NATIONAL ELECTRICAL CODE, 2014 EDITION
 - INTERNATIONAL ENERGY CONSERVATION CODE, 2012 EDITION
 - IN ADDITION: ALL THE ABOVE LISTED CODES ARE AMENDED BY THE ADMINISTRATIVE RULES OF MONTANA, TITLE 24 CHAPTER 301

1 HOUR FIRE BARRIER; SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE.

INTERIOR NON RATED WALL

ROOM & AREA SCHEDULE		
Name	IDENTITY NUMBER	PROPERTIES AREA
VESTIBULE	1	64 SF
CHAPEL	2	173 SF
MENS	3	58 SF
WORKRM./LOUNGE	4	243 SF
WOMENS	5	146 SF
MECH. JAN.	6	98 SF
STORAGE	7	356 SF
HALL 1	8	15 SF
VESTIBULE	9	66 SF
OFFICE	10	228 SF
CONF. ROOM	11	701 SF
BISHOP OFFICE	12	215 SF
OFFICE	13	139 SF
RECEPTION	14	815 SF
I.T. CLOSET	15	49 SF
Grand total: 15		3366 SF

Area Schedule (Gross Building)			
Area	Name	Level	Number
3757 SF	GROSS BUILDING AREA	F.F. LEVEL 1	1

CODE AND REGULATIONS			
CLASSIFICATION	CONSTRUCTION CLASSIFICATION	IBC 2012	COMMENTS
S 305	OCCUPANCY	B	
S 400	SPECIAL REQUIREMENTS	NONE	
S 503	ALLOWABLE AREA	9,000 SF	
S 503	ALLOWABLE HEIGHT	2 STORY	
S 503	CONSTRUCTION TYPE	V-B	
S 509	INCIDENTAL USE - FURNACE ROOM WHERE EQUIPMENT IS OVER 400,000 BTU PER HOUR INPUT	1 HOUR OR PROVIDE AUTOMATIC SPRINKLER SYSTEM	
S 601	EXTERIOR WALLS	0 HR	
S 601	FLOOR CONSTRUCTION	0 HR	
S 601	NONBEARING WALLS AND PARTITIONS	0 HR	
S 601	PRIMARY STRUCTURAL FRAME	0 HR	
S 601	ROOF CONSTRUCTION	0 HR	
S 602	EXTERIOR WALLS FIRE RATING BASED ON SEPARATION DISTANCE	>30 FEET = 0 HR	
S 712	UNENCLOSED STAIRS AND RAMPS	PERMITTED VERTICAL OPENING PER 1009.3 EXCEPTION 1	
S 713	SHAFT ENCLOSURES	1 HR FIRE BARRIER	
S 1005	STAIRWAY WIDTH	.2 PER OCCUPANT PER EXCEPTION. 25 OCCUPANTS x .2 = 5" REQUIRED	
S 1005.5	DISTRIBUTION OF EGRESS CAPACITY	NOT REDUCED BELOW 50% = X" REQUIRED	
S 1009	INTERIOR EXIT ACCESS STAIRWAYS	1 HOUR	NOT REQUIRED TO BE ENCLOSED, PER EXCEPTION 1. S. 1009.3
S 1014	COMMON PATH OF EGRESS TRAVEL	*100 FEET	* WITHOUT SPRINKLER SYSTEM
S 1015	EXIT OR EXIT ACCESS DOORWAYS		
S 1015	SPACES WITH ONE EXIT	49 OCCUPANTS OR LESS	
S 1016	EXIT ACCESS TRAVEL DISTANCE	*200 FEET	
S 1018	CORRIDOR FIRE RESISTANCE RATING	*0 HR	
S 1018	DEAD END LENGTH	*200 FEET	
S 1018	MINIMUM CORRIDOR WIDTH	36 INCHES	CAPACITY OF 50 OR LESS
S 1110	ACCESSIBLE SIGNAGE	ACCESSIBLE PARKING SPACES, LOADING ZONES, ACCESSIBLE ROOMS WHERE MULTIPLE SINGLE-USER TOILET OR BATHING ROOMS ARE CLUSTERED,	
S 2900	PLUMBING FIXTURES - WATER CLOSETS	1 PER 100 MALES = 1 / 1 PER 35 FEMALES = 1	



Room Legend

- BISHOP OFFICE
- CHAPEL
- CONF. ROOM
- HALL 1
- I.T. CLOSET
- MECH. JAN.
- MENS
- OFFICE
- RECEPTION
- STORAGE
- VESTIBULE
- WOMENS
- WORKRM./LOUNGE

① CODE PLAN
1/4" = 1'-0"



Revision Schedule		
No.	Revision	Date

Submittal Schedule		
No.	Submittal	Date

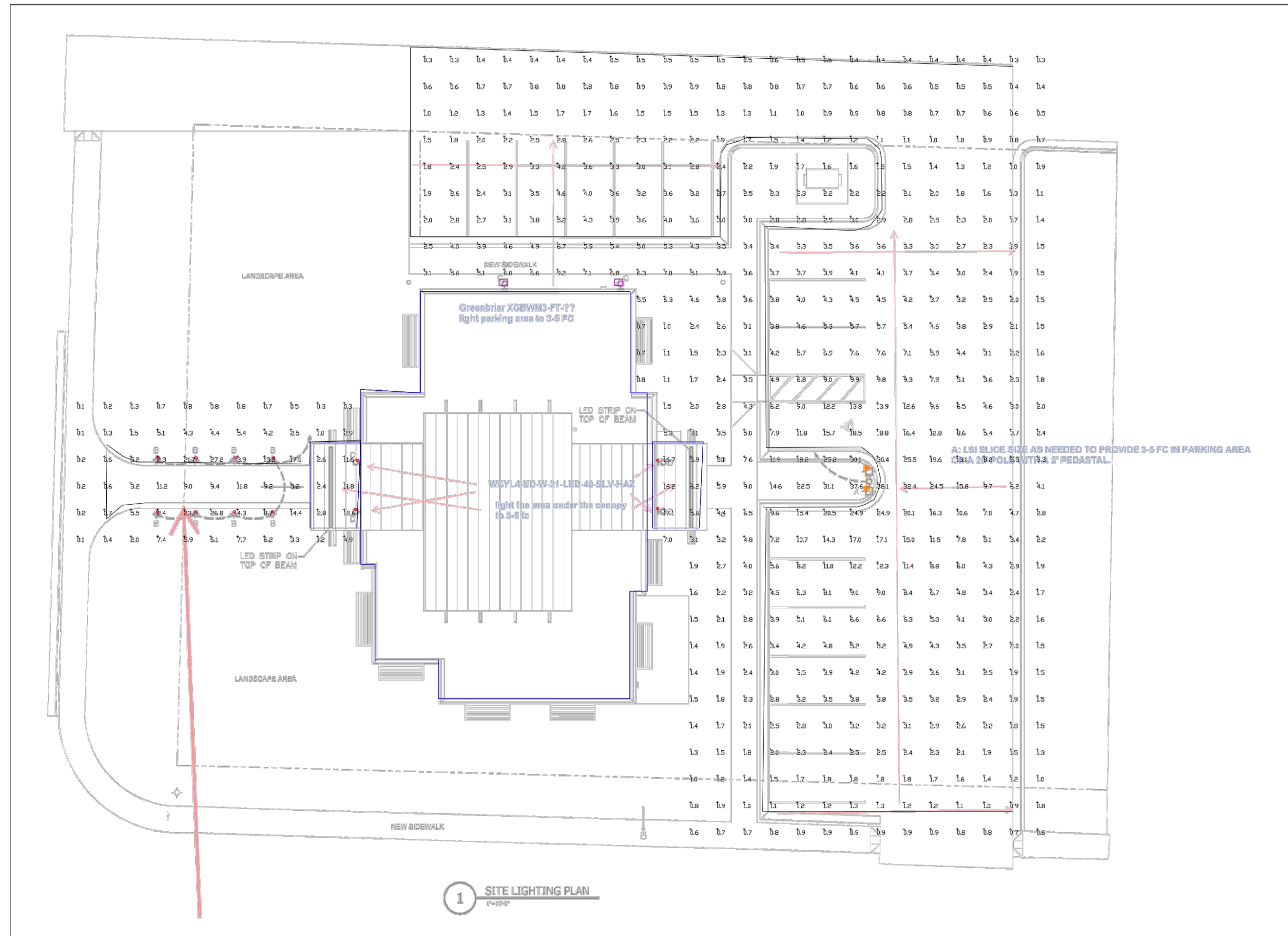
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CHECKED BY:	SML
DATE:	08/17/16

PROJECT NUMBER: 16-022

SHEET NUMBER: A0.1



1 SITE LIGHTING PLAN
1"=10'

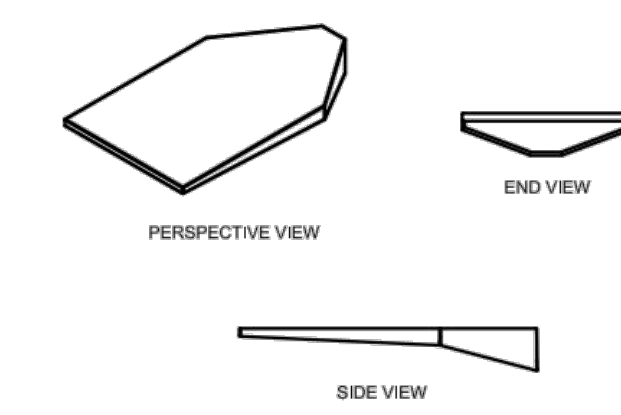
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL POINTS AT GRADE	Illuminance	Fc	4.45	38.1	0.1	44.50	381.00
PARKING SUMMARY	Illuminance	Fc	4.49	32.4	0.3	14.97	108.00
WALKWAY	Illuminance	Fc	7.91	12.6	2.4	3.30	5.25

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
[Symbol A]	1	A	D180°	XLCM-FT-LED-HD-CW-D180-22'MH	0.900	N.A.	61874	551.2
[Symbol WM]	2	WM	SINGLE	XGBWM3-FT-LED-48-450-CW-UE-16'MH	0.900	N.A.	5900	72
[Symbol CYL]	4	CYL	SINGLE	CYL6-S-14-LED-40-BK-HZ	0.900	N.A.	1341	14.4
[Symbol B]	8	B	SINGLE	XBVR-ID-LED-24-400-CW-UE	0.900	N.A.	1338	38

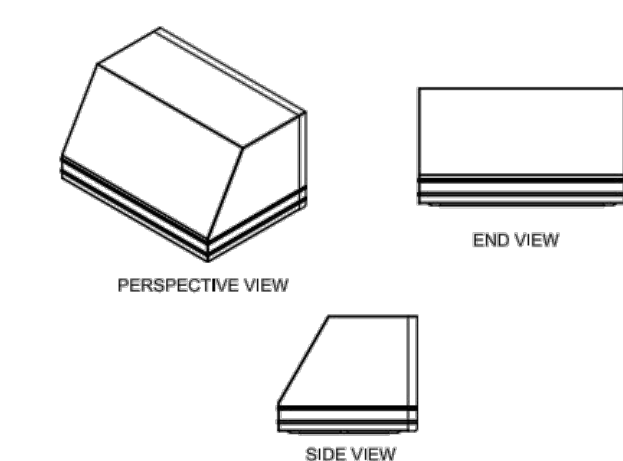
Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

XLCM
LED Area Light



XGBWM3
LED Wall Mount Light



Total Project Watts_1
Total Watts = 1056.8



LIGHTING PROPOSAL LD-135275

LUTHERAN SYNOD
GREAT FALLS
BY: GPF DATE: 10/21/2016 REV: SHEET 1 OF 1
SCALE: 1"=10' 0 10

LPW
ARCHITECTURE ENGINEERING
www.lpwarchitecture.com
PHONE 406-771-9770
15 FIFTH STREET
GREAT FALLS, MT 59401

MONTANA SYNOD - EVANGELICAL LUTHERAN CHURCH
SYNOD OFFICE BUILDING
GREAT FALLS, MONTANA
SITE LIGHTING PHOTOMETRIC DRAWING

Revision Schedule

No.	Revision	Date

Submital Schedule

No.	Submital	Date

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