

DESIGN REVIEW BOARD

August 22, 2016

Case Number

DRB2016-15

Owner/Applicant

Bottrell Family
Investments LP

**Applicant
Representative**

Jerry Thomas

Property Location

On River Drive S just
south of La Quinta Inn &
Suites

Requested Action

Design Review for an
addition to the building
with site improvements

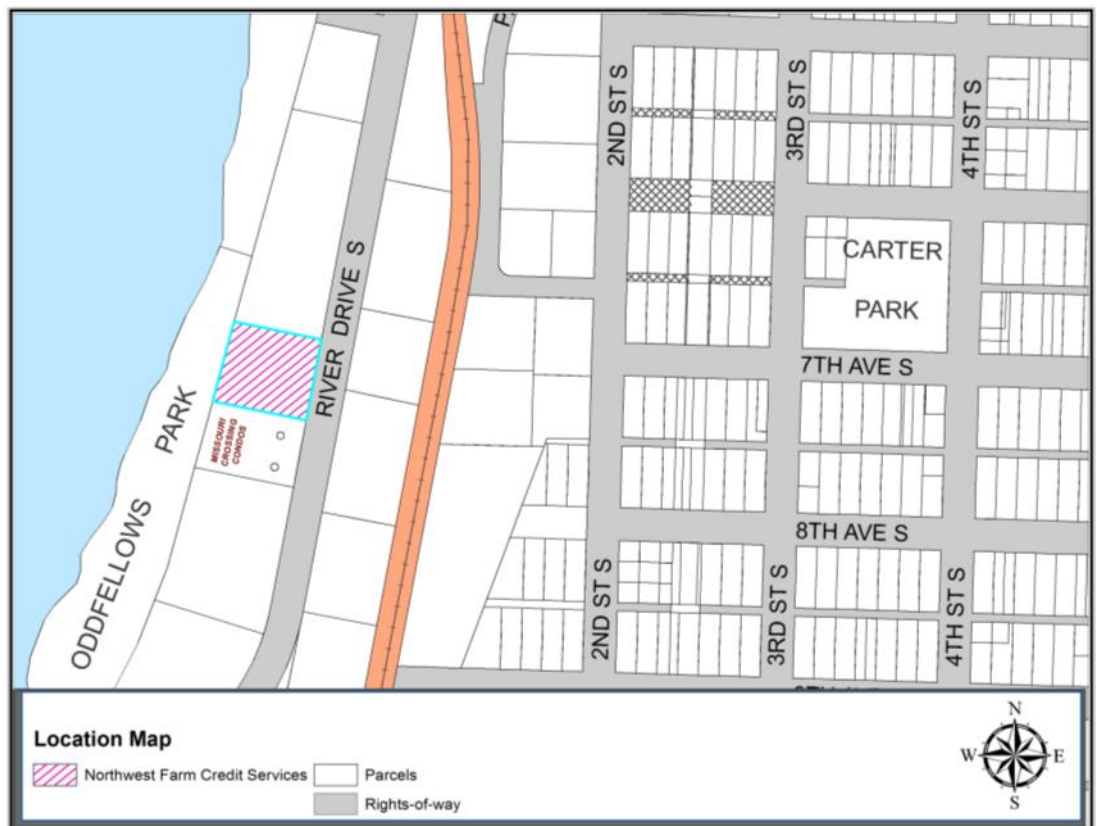
Recommendation

Approve the submitted
design with conditions

Project Planner

Erin Borland

NORTHWEST FARM CREDIT SERVICES 700 RIVER DRIVE SOUTH



Project Description

The applicant is proposing the construction of an addition to the existing building to accommodate additional office space. The proposed addition will also include site improvements including landscaping and additional outside lighting.

Background

- Legal Description: Lot 4A, Block 1, Broadwater Bay Business Park, Southeast 1/4 of Section 11, Township 20 North, Range 3 East, P.M. MT
- Property Zoning: M-2 Mixed-use Transitional
- Parcel Area: ±44,554 square feet or ±1.02 acres
- Structure Size: Existing Building ± 9,243 square feet
Proposed Additions ± 1,414 square feet

Expansion: Exhibit 28-1 Standards and Guidelines for specific projects and buildings

The applicant is proposing an expansion to the existing building to provide six (6) offices for additional staff. The expansion will be constructed on the east side (front) of the building as shown in the development plans provided. It has been designed with green parapet caps, tan EIFS, brown brick veneer and tan stone to match the existing materials of the building as shown in Exhibit E. The building will still utilize the existing trash enclosure located on the west side of the building off of the parking lot.

Applicable Sections of Title 17

The existing site was developed in 2003 under the code at that time, with seven additional parking spaces approved and constructed in 2011. The proposed expansion of the building and site improvements are reviewed for conformance with the applicable sections of Title 17 - Land Development Code, of the Official Code of the City of Great Falls (OCCGF), including but not limited to setbacks, outdoor lighting, parking requirements, pedestrian circulation and landscaping.

The OCCGF requires 1 parking space per 300 square feet of gross floor area for finance companies. With the expansion, the required parking for the site is 36 spaces. The existing site has 39 parking spaces including 2 ADA accessible spaces, as well as trailer parking spaces and compact spaces. The applicant will be utilizing the existing sidewalks around the building as well as incorporating a new landing outside to the proposed exit door on the north side of the expansion. Staff recommends that a sidewalk be installed to connect this exit to the pedestrian sidewalk along River Drive South.

The applicant is proposing new building mounted lights that will match the existing building mounted lights. The specifications of these lights were submitted and are in compliance with Chapter 40 of the OCCGF.

The trees, shrubs, and planting beds that will be replaced by the expansion will be reinstalled in front of the new addition. The existing site is softened by landscaping including sod, landscape beds and ornamental trees. The applicant is proposing a variety of shrubs, ornamental grasses and perennials that exceeds the number of existing plants that will be demolished. The original landscape plan that was approved by the Design Review Board in 2003 includes six boulevard trees. There are only three boulevard trees existing on site, therefore three additional boulevard trees must be planted and shown on the landscape plan. The applicant is also proposing to replace several portions of the existing landscape that has survived from the previous landscape plan. Staff recommends that all trees shown on the original landscape plan be replaced as per §17.44.1.030.B. The landscape plan has been submitted to the City Forester and there are no further comments at this time.

All other applicable sections of Title 17 appear to be in conformance including the setbacks, according to the submitted plans.

Recommendation

Staff supports this application and recommends the Design Review Board approve the submitted design with conditions.

Suggested Motion

Board Member moves:

“I move that the Design Review Board (approve/approve with conditions) the Design Review Application for the expansion of the Northwest Farm Credit Services, located at 700 River Drive S, as shown in the conceptual development plans contained within this report and provided by the Applicant, subject to the following conditions:

- A. The proposed project shall be developed consistent with the conditions in this staff report, all codes and ordinances of the City of Great Falls, the State of Montana, and all other applicable regulatory agencies.
- B. If after the approval of the concept development plan as amended by this Board, the owner proposes to expand or modify the conceptual development plans, the Director of the Planning and Community Development Department shall determine in writing if such proposed change would alter the concept

for one or more review criteria. If such proposed change would alter the plan, the proposal shall be resubmitted for review as a new application.

- C. The applicant will provide a sidewalk connecting the proposed north exit door to the pedestrian sidewalk along River Drive South.
 - D. The applicant will install the three additional boulevard trees as required by the OCCGF.
 - E. All trees in need of removal or replacement, shall be replaced as shown on the original approved landscape plan in accordance with §17.44.1.030.B, OCCGF.
-
-

- 2. Chairman calls for a second, discussion, inquiries from the public, and calls the vote.

CC Dave Dobbs, City Engineering
Patty Cadwell, Neighborhood Council Coordinator
Todd Seymanski, City Forester
Jerry Thomas, Bottrell Family Investments LP, jerry@transtechcenter.com

EXHIBIT A - APPLICATION

CITY OF GREAT FALLS
 PLANNING & COMMUNITY DEVELOPMENT DEPT.
 P.O. BOX 5021, GREAT FALLS, MT, 59403-5021
 406.455.8430 • WWW.GREATFALLSMT.NET

Submittal Date: 8-4-16
 Application Number DRB2016-1A

DESIGN REVIEW BOARD APPLICATION

Northwest Farm Credit Services - Great Falls, Building Expansion

Name of Project / Proposed Use:

Bottrell Family Investments LP

Owner Name:

3529 Gabel Road, Billings, MT 59102

Mailing Address:

406-652-7603

Phone:

jerry@transtechcenter.com

Email:

Jerry Thomas

Representative Name:

Same

Mailing Address:

406-698-2808

Phone:

Same

Email:

PROJECT LOCATION:

700 River Drive, Great Falls, MT 59405

Site Address:

44,554

Sq. Ft. of Property:

10,657 (9,243 + 1,414 Expansion)

Sq. Ft. of Structure:

LEGAL DESCRIPTION

Mark/Lot:	Section:	Township/Block	Range/Addition
<u>4-A</u>		<u>1</u>	<u>Broadwater Bay Subd.</u>

I (We), the undersigned, attest that the above information is true and correct to the best of my (our) knowledge. Further, I (We) owner of said property authorize the above listed representative to act as my agent in this application.

Jerem Bottrell
 Property Owner's Signature:

8/3/16
 Date:

[Signature]
 Representative's Signature:

8/3/16
 Date:

EXHIBIT B - PROJECT NARRATIVE



August 15, 2016

Project Narrative Farm Credit Services Addition 700 River Drive Great Falls, MT

Northwest Farm Credit Services intends on adding approximately 1,414 square feet of building space to accommodate additional staff. The addition will be constructed on the east side of the building toward River Road and consists of adding six (6) additional offices (see attached floor plan and elevation sheets).

The building materials and colors are as follows (see attached photos of existing building):

- Wood framed addition
- Sheetrock walls with wall covering and paint
- Carpet & sheet vinyl floors
- Membrane roof (match existing)
- Metal flashing, parapet caps etc. (Green – match existing)
- EIFS (exterior insulation finish system) (Tan – match existing)
- Stone Arriscraft Wainscot (Tan – match existing)
- Brick veneer (Brown – match existing)
- Wall pack lighting (match existing)
- Exterior windows Anderson Clad Units (Green – match existing)
- Exterior metal door fire exit (Green – match existing)

Landscape will be updated around the entire building to finish out the new addition (see attached sheet from Forde Nursery).

EXHIBIT C - AERIAL MAP



-  Northwest Farm Credit Services
-  City Limits
-  Tracts of Land

140 70 0 140 Feet



EXHIBIT D - SITE PHOTOGRAPHS (AUGUST 2016)



View looking north-west from River Drive South.



View looking south-west from River Drive South.



View looking south along the boulevard.



DEVELOPMENT PLANS:

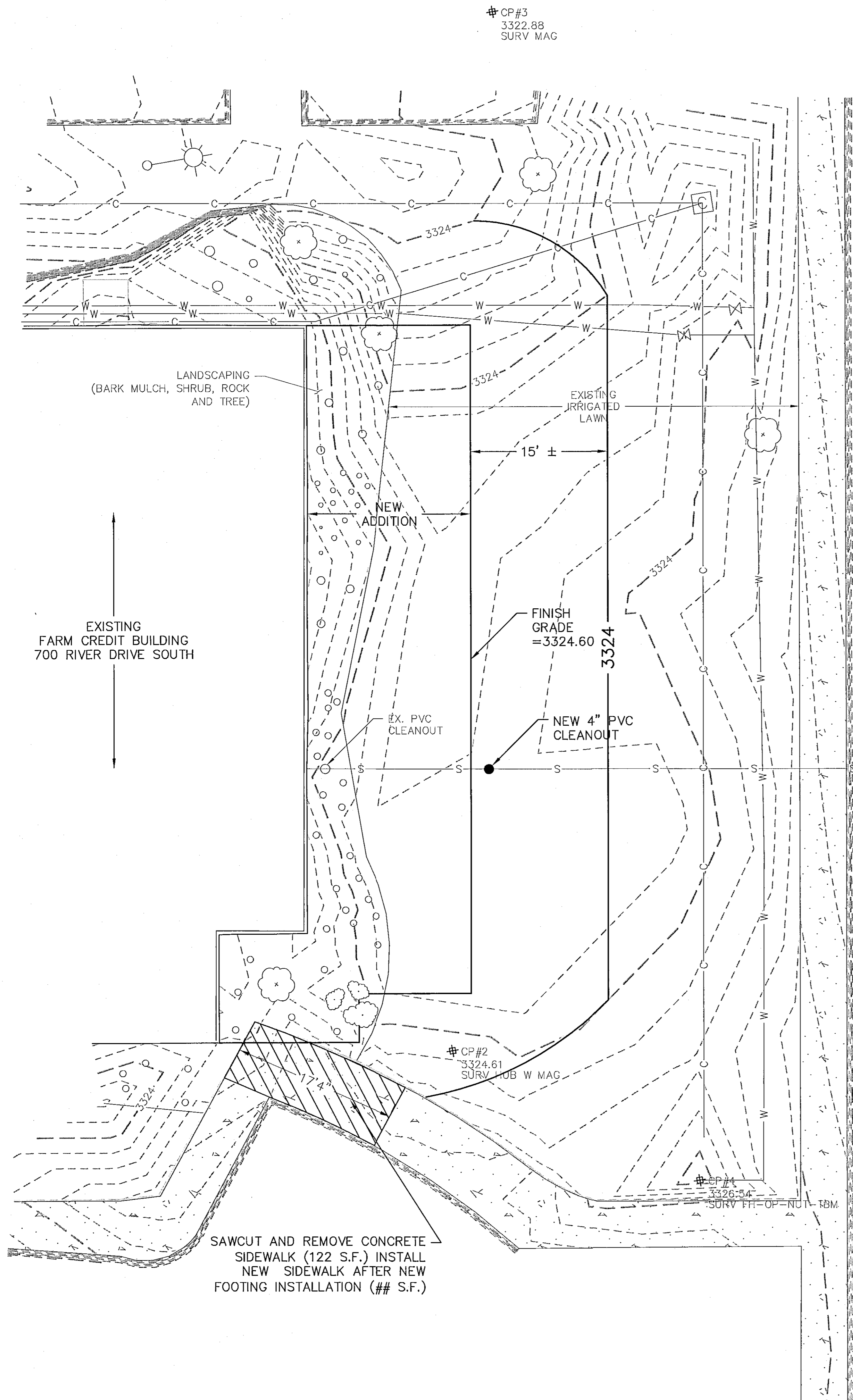
SITE GRADING PLAN

LANDSCAPING PLAN

BUILDING ELEVATIONS

BUILDING FLOOR PLAN

DOWL FILE NO: XXX-XX
 \GTF-FS\GTF-Projects\22\1817-01\65C4D\SC14-CS-PN-11817-01.dwg PLOT DATE 2016-7-25 07:23 SAVED DATE 2016-07-25 07:23 USER: sweet



CONTROL POINT TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	199018.763	192022.443	3325.27	SURV 1/2" REBAR
2	199082.261	192005.766	3324.61	SURV HUB W MAG
3	199190.445	192028.524	3322.88	SURV MAG
4	199064.262	192029.450	3326.54	SURV FH-OP-NUT-TBM

BASIS OF VERTICAL
 NAVD88 US SURVEY FEET AS OBTAINED THROUGH OPUS PROCESSING AND GEOID 12A.

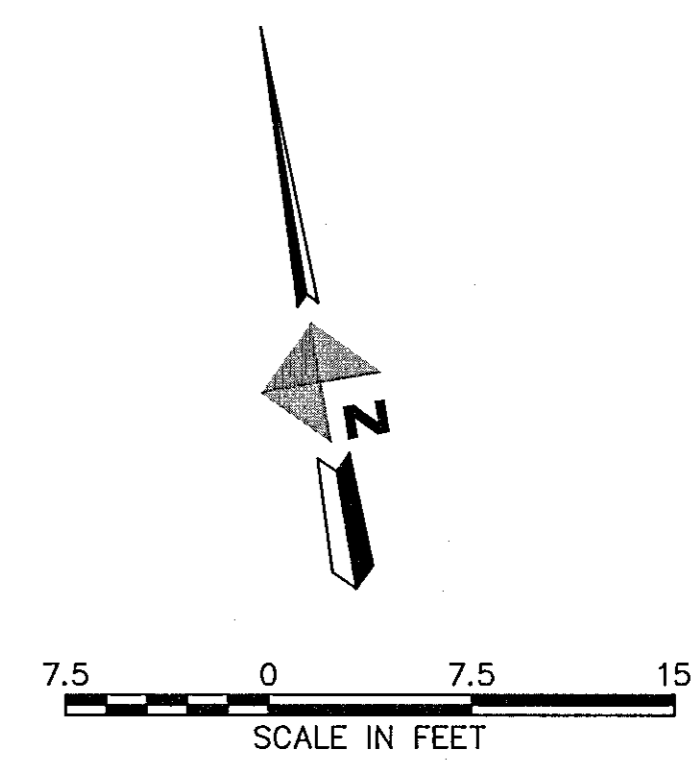
UTILITY STATEMENT
 UTILITIES SHOWN HEREON ARE FROM CITY UTILITY INFORMATION, PHYSICAL STRUCTURES, OR FROM SURFACE PAINT MARKINGS BY A LOCATOR SERVICE. THE SURVEYOR IMPLIES NO GUARANTEE OR WARRANTY OF MARKINGS AS SHOWN AND ALL UTILITIES SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITIES.

- CONSTRUCTION NOTES**
- CUT AND CAP EXISTING SEWER SERVICE CLEANOUT. INSTALL NEW 4" PVC CLEANOUT ADJACENT TO NEW FOUNDATION - FITTINGS AS NEEDED. INSTALL CASING SLEEVE IN NEW FOUNDATION WALL.
 - USE CAUTION NEAR EXISTING WATER SERVICE LINES.
 - REMOVE AND REPLACE 4" TH. SIDEWALK AS SHOWN. INSTALL EXPANSION JOINT MATERIAL AGAINST NEW FOUNDATION, BROOM FINISH, JOINTS TO MATCH EXISTING. INSTALL 2 1/2 INCHES OF CRUSHED BASE COURSE GRAVEL UNDER NEW SIDEWALK AND COMPACT.
 - REMOVE EXISTING LANDSCAPING AND SOD OUT TO THE 3324' FINISH GRADE CONTOUR. STRIP AND STOCKPILE 4" TOPSOIL UNDER NEW ADDITION. FINISH GRADE AT NEW FOUNDATION = 3324.60 FT. INSTALL TOP SOIL TO PROVIDE POSITIVE DRAINAGE FROM FOUNDATION TO 3324' FINISH GRADE CONTOUR.
 - INSTALL SOD ON ALL DISTURBED AREAS. LANDSCAPING WILL BE PROVIDED BY OTHERS.
 - REPAIR EXISTING IRRIGATION SYSTEM AND INSTALL NEW HEADS AS NEEDED.
 - REMOVE ALL DEBRIS, EXCESS SOIL, AND UNUSABLE LANDSCAPE MATERIALS FROM SITE.

- LEGEND**
- EX. SEWER SERVICE ——— S ———
 - EX. CURB AND GUTTER ———
 - EXIST. GRADE CONTOUR - - - - - 3324 - - - - -
 - FINISH GRADE CONTOUR ——— 3324 ———
 - EX. LANDSCAPING [Symbol]
 - EX. U.G. COMMUNICATION ——— C ———
 - EX. U.G. WATER ——— W ———
 - WATER VALVE [Symbol]
 - COMMUNICATION RISER [Symbol]
 - EX. CONCRETE SIDEWALK [Symbol]

ESTIMATED QUANTITIES

SOD AND LANDSCAPE REMOVAL	-	2835 S.F.
SIDEWALK REMOVAL	-	122 S.F.
NEW SIDEWALK	-	107 S.F.
NEW SOD	-	1378 S.F.

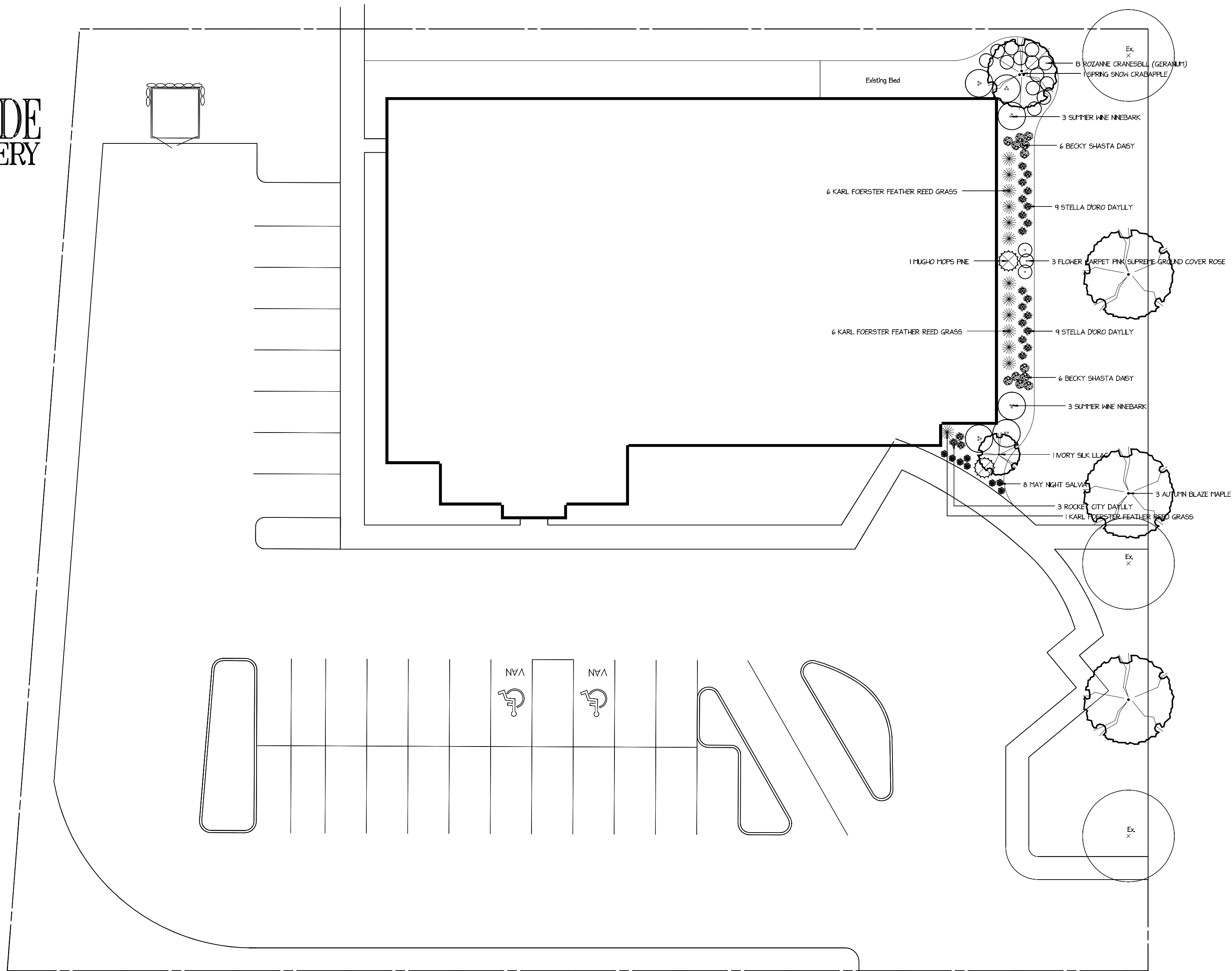


REVISIONS	DESCRIPTION
REV	DATE
BY	

DOWL
 WWW.DOWL.COM
 106 1st Avenue South, Suite A
 Great Falls, Montana 59401
 406-453-4065

FARM CREDIT BUILDING EXPANSION
 GREAT FALLS, MT
SITE GRADING PLAN

PROJECT	4722.11817.01
DATE	JULY 2016
© DOWL 2016	
SHEET	
#	XX
OF XX	



Qty	Common Name
Trees	
3	AUTUMN BLAZE MAPLE
1	IVORY SILK LLAC
1	SPRING SNOW CRABAPPLE
Shrubs	
3	FLOWER CARPET PINK SUPREME GROUND COVER ROSE
1	MUGHO MOPS PINE
6	SUMMER WINE NINEBARK
Ornamental Grasses	
6	KARL FOERSTER FEATHER REED GRASS
Perennials and Annuals	
6	BECKY SHASTA DAISY
8	MAY NIGHT SALVIA
3	ROCKET CITY DAYLILY
6	ROZANNE CRANESBILL (GERANIUM)
9	STELLA DORO DAYLILY

- GENERAL LANDSCAPE NOTES:**
- ROUGH GRADE IS TO BE BY SITE CONTRACTOR AND WITHIN 1/10TH OF 1'.
 - LAWN EDGING IS TO BE PRO-STEEL OR APPROVED EQUAL.
 - SHRUBS AND TREES ARE TO MEET OR EXCEED ANSI Z60.1 NURSERY STANDARDS. SIZES ARE TO MEET OR EXCEED THOSE LISTED ON PLANTING SCHEDULE.
 - INSTALL TYPAR 3301 WEED BARRIER THROUGHOUT SHRUB BEDS.
 - INSTALL 1.5" WASHED GRAVEL THROUGHOUT SHRUB BEDS. DEPTH OF ROCK IS TO BE 3".
 - IRRIGATION SYSTEM TO BE REPAIRED FOR 100 PERCENT COVERAGE OF LAWN AREAS AND SHRUB BEDS. BY IRRIGATION CONTRACTOR
 - INSTALL SOD AS PER LOCAL GROWER IN ALL DESIGNATED AREAS.

NOTE:

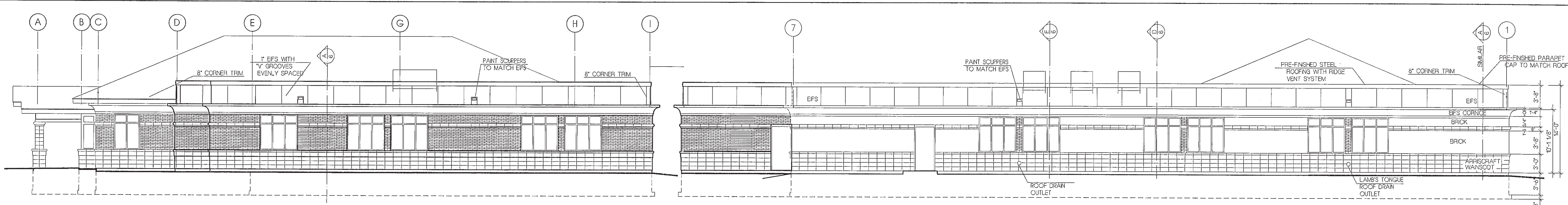
NOTES

No.	Date	Description

Northwest Farm Credit

700 River Drive South
Great Falls, Mt

SCALE: 1/4" = 1'	PROJECT NO.
DRAWN BY: Ryan F.	SHEET NO.
CHECKED BY:	L-1
DATE: 8/3/16	
DATE OF PRINT:	

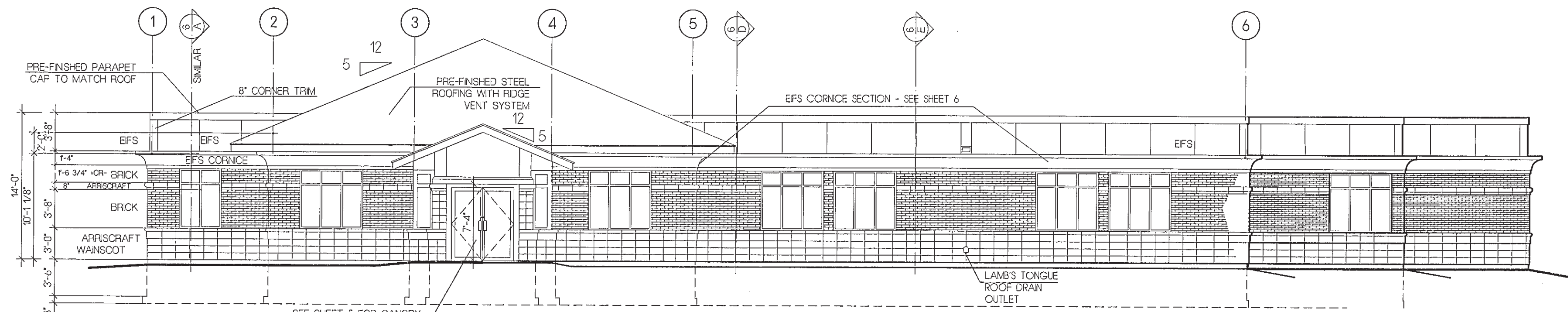


EAST ELEVATION

SCALE 1/8" = 1' - 0"

NORTH ELEVATION

SCALE 1/8" = 1' - 0"

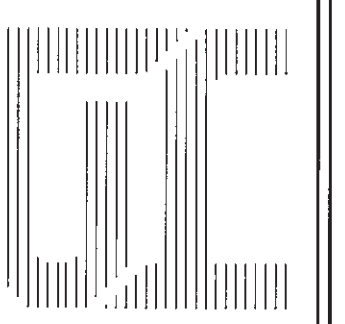


SOUTH ELEVATION

SCALE 1/8" = 1' - 0"

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ACKERLY-HURLBURT AND ASSOCIATES
ARCHITECTS
406 652-4015
BOX 20351, BILLINGS, MONTANA 59104



DOOR SCHEDULE

NO.	LOCATION	SIZE	TYPE	LABEL	FRAME	FINISH	HDW	REMARKS
1	OFFICE B	3'-0" X 6'-8" X 1 3/4"	SOLID CORE	-	WOOD	STAIN & SEAL	B	UNDERCUT DOOR 1"
2	OFFICE C	3'-0" X 6'-8" X 1 3/4"	SOLID CORE	-	WOOD	STAIN & SEAL	B	UNDERCUT DOOR 1"
3	NEW CONFERENCE SE	3'-0" X 6'-8" X 1 3/4"	SOLID CORE	-	WOOD	STAIN & SEAL	E	REMARKS
4	OFFICE D	3'-0" X 6'-8" X 1 3/4"	SOLID CORE	-	WOOD	STAIN & SEAL	B	UNDERCUT DOOR 1"
5	OFFICE E	3'-0" X 6'-8" X 1 3/4"	SOLID CORE	-	WOOD	STAIN & SEAL	B	UNDERCUT DOOR 1"
6	OFFICE F	3'-0" X 6'-8" X 1 3/4"	SOLID CORE	-	WOOD	STAIN & SEAL	B	UNDERCUT DOOR 1"
7	OFFICE G	3'-0" X 6'-8" X 1 3/4"	SOLID CORE	-	WOOD	STAIN & SEAL	B	UNDERCUT DOOR 1"
8	NEW NORTH EXIT	3'-0" X 7'-0" X 1 3/4"	INSULATED HOL. MET.	-	HOLLOW METAL	PANT	G	-
9	RELOCATED BRK. RM DOOR	3'-0" X 6'-8" X 1 3/4"	SOLID CORE	-	WOOD	STAIN & SEAL	E	REVERSE DOOR SWNG OR REPLACE W/ NEW DOOR
10	OFFICE A	3'-0" X 6'-8" X 1 3/4"	SOLID CORE	-	WOOD	STAIN & SEAL	B	UNDERCUT DOOR 1"

HARDWARE LEGEND:

- A UNISED
 - B 1 1/2 PAIR 4" BUTTS, CLASSROOM FUNCTION LOCKSET, DOOR SLENCERS, STOP, COAT HOOK ON BACK OF DOOR
 - C UNISED
 - D UNISED
 - E 1 1/2 PAIR BUTTS, CLASSROOM FUNCTION LOCKSET, STOP, CLOSER
 - F UNISED
 - G 1 1/2 PAIR 4 1/2" BUTTS, ADA COMPLIANT THRESHOLD, CLOSER, WEATHERSTRAPPING, KEYED LOCKSET CLASSROOM FUNCTION, SIGN ON DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS
- ALL DOOR HARDWARE SHALL BE SCHLAGE "ATHENS" D SERIES, SATIN CHROME PLATED #626
THE CONTRACTOR SHALL VERIFY THIS MATCH WITH EXISTING HARDWARE
ALL LOCKSETS AND LATCHSETS SHALL BE LEVER HANDLED.
ALL NEW KEYS SHALL BE KEYPED TO GRAND MASTER AND MASTER KEYS AS EXISTING
TWO MASTER KEYS
KEY ALL OFFICE DOORS DIFFERENTLY
KEY ENTRY AND EXIT DOORS ALIKE

ROOM FINISH SUBSTRATE SCHEDULE
SEE DESIGN SOURCE ROOM FINISH SCHEDULE FOR FINISHES

NO.	ROOM NAME	WALLS								FLOOR	BASE	CEILING		REMARKS
		SOUTH		WEST		NORTH		EAST				MTL	FN	
		SUBST	FN	SUBST	FN	SUBST	FN	SUBST	FN					
	OFFICE 'A'	1	*					1	*	A	*	ACT	*	
	OFFICE 'B'	1	*	1	*	1	*	1	*	A	*	ACT	*	
	OFFICE 'C'	1	*	1	*	1	*	1	*	A	*	ACT	*	
	OFFICE 'D'	1	*	1	*	1	*	1	*	A	*	ACT	*	
	OFFICE 'E'	1	*	1	*	1	*	1	*	A	*	ACT	*	
	OFFICE 'F'	1	*	1	*	1	*	1	*		*	ACT	*	
	OFFICE 'G'	1	*	1	*	1	*	1	*	A	*	ACT	*	
	BREAK ROOM									A	*	ACT	*	SEE NOTE BELOW
	NEW EAST CORRIDOR	1	*	1	*	1	*	1	*	A	*	ACT	*	

SUBSTRATE LEGEND

WALL MATERIAL SUBSTRATES:

* VERIFY FINISH WITH DESIGN SOURCE FINISH SCHEDULE

CEILINGS:

ACT ACOUSTIC CEILING TILE TO MATCH EXISTING

FLOORS:

A CARPET AS PER INTERIOR DESIGNERS SPEC.

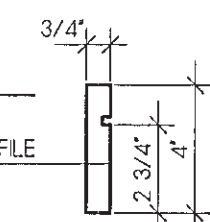
THE CONTRACTOR SHALL REMOVE AND REPLACE THE BREAKROOM CEILING TO ACCOMMODATE THE NEW NORTH 1/2 REMODEL. PATCH AND REPAIR ALL EXISTING WALL ENDS TO MATCH THE CASINGS THROUGHOUT

SEE SHEAR WALL SCHEDULE FOR OSB UNDERLAY

- 1 5/8" GYPSUM WALLBOARD
VERIFY INTERIOR DESIGNER'S FINISHES
TAPE AND SMOOTH FINISH
- 2 5/8" WATER RESISTENT GYPSUM BOARD
VERIFY INTERIOR DESIGNER'S FINISHES
FOR TEXTURING, PRIMING & FINISH
- 1/2" WONDER BOARD UNDER TILE

BASE:

- WALL BASE
- WD - WOOD - SEE PROFILE
- VB - VINYL
- PT-1 - PORCELAIN TILE



DRAWING TITLE

REVISIONS

CHECKED BY

JOB NO. 14-05

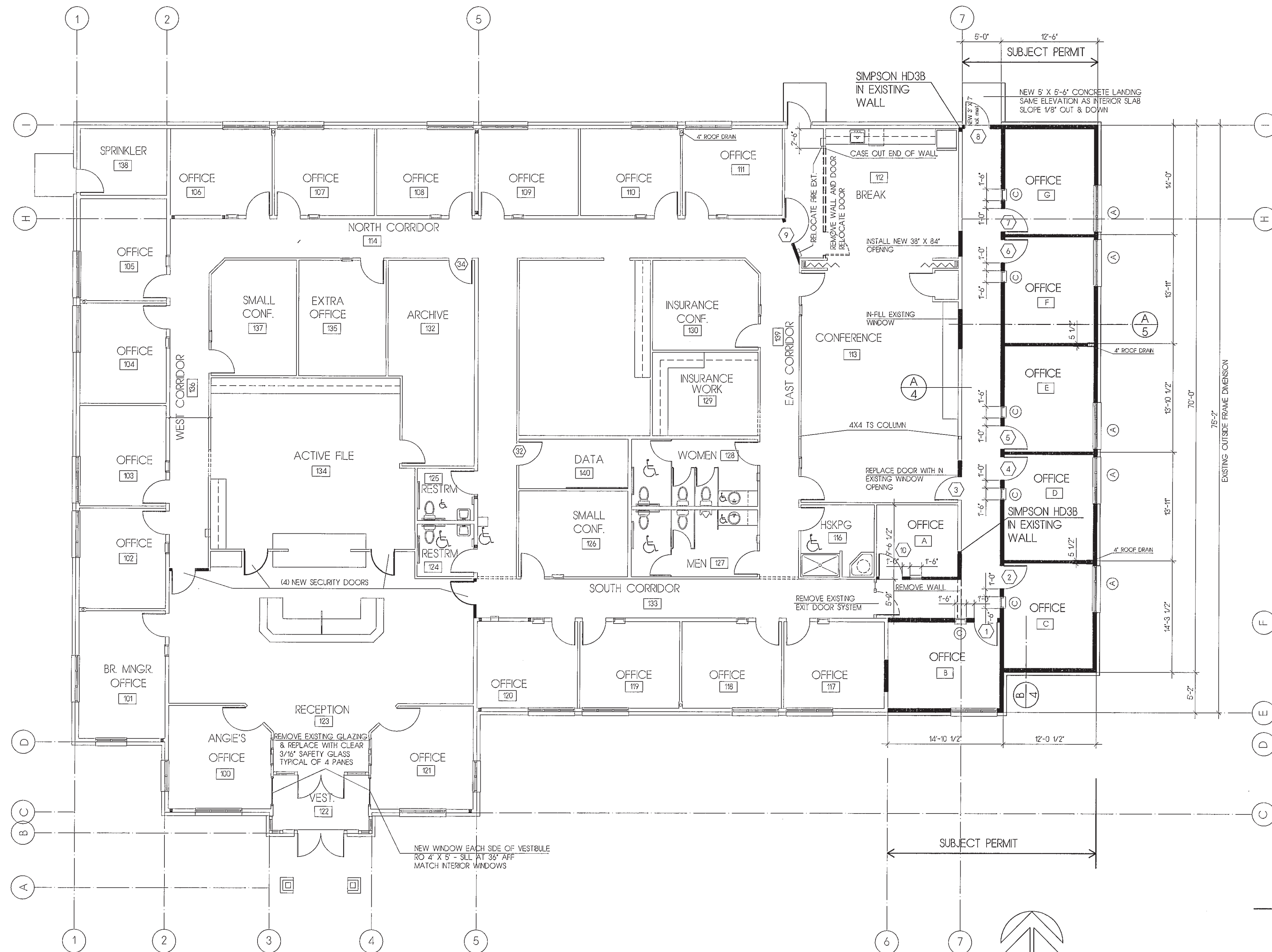
DATE 7-25-06

DRAWING TITLE
BUILDING ELEVATIONS

SHEET
2

OF
1

PROJECT TITLE
FARM CREDIT-GREAT FALLS ADDITION

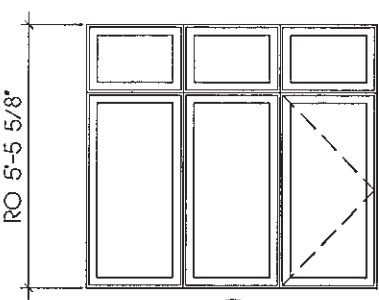


FLOOR PLAN

SCALE 1/8" = 1' - 0"

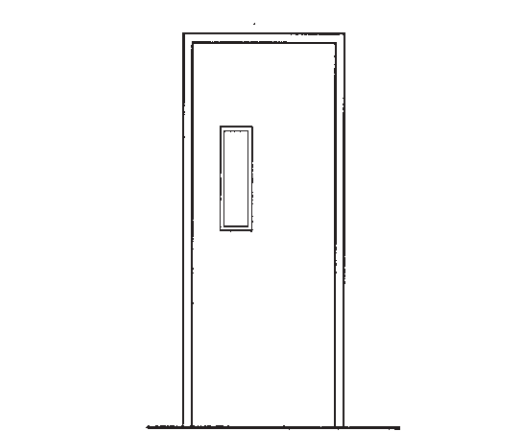
EXISTING GROSS FLOOR AREA = 9243 SF
 ADDITION GROSS FLOOR AREA = 1414 SF
 TOTAL NEW GROSS FLOOR AREA = 10,657 SF

ALL CASINGS SHALL BE OAK SIMILAR TO FERROE F55 7/8" X 2 1/2" WITH ROUNDED EDGES

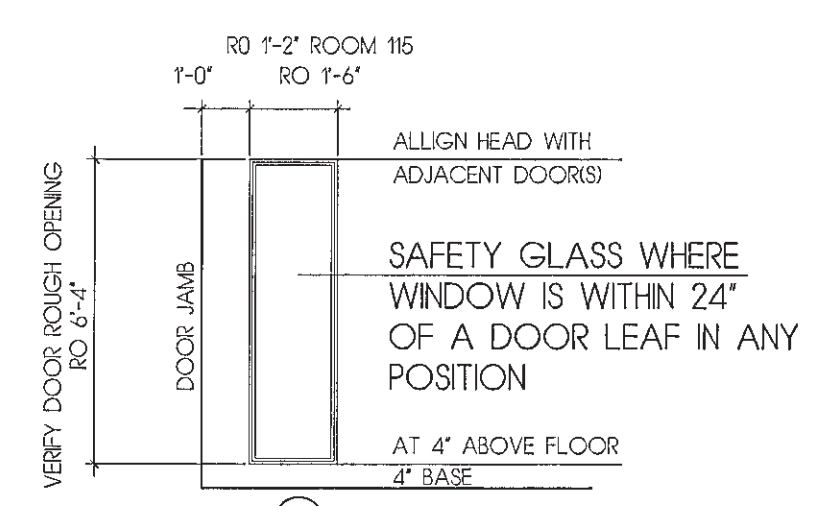


EXTERIOR WINDOWS
 ANDERSEN CLAD CASING AND FIXED TRANSOMS
 C/AS WITH AR-21 TRANSOMS
 EXTERIOR CLADDING TO BE FOREST GREEN
 INTERIOR JAMBS AND CASING - STAINED AND SEALED
 VERIFY ALL ROUGH OPENINGS
 FOR JAMB EXTENSION DIMENSIONS SEE SHEAR WALL SCHEDULE SHEET 1

WINDOW TYPES
 SCALE 1/4" = 1' - 0"

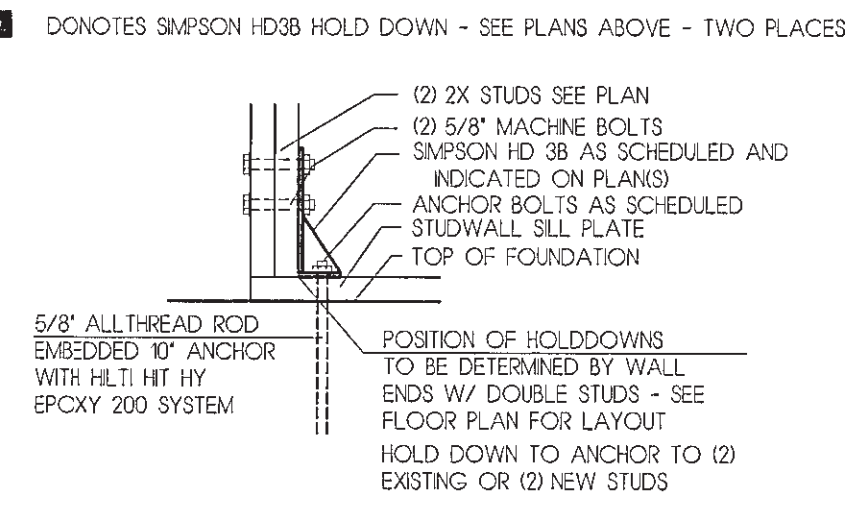


NEW SECURITY DOOR(S)
 SCALE 1/4" = 1' - 0"
 (4) TYPICAL SECURITY DOORS
 3'-0" X 8'-0" SOLID CORE OAK DOORS
 TOO MATCH EXISTING CORRIDOR DOORS
 LEVER HANDLE PRIVACY LOCKSETS WITH PUSH BUTTONS INSIDE
 ALL DOORS TO HAVE CLOSERS



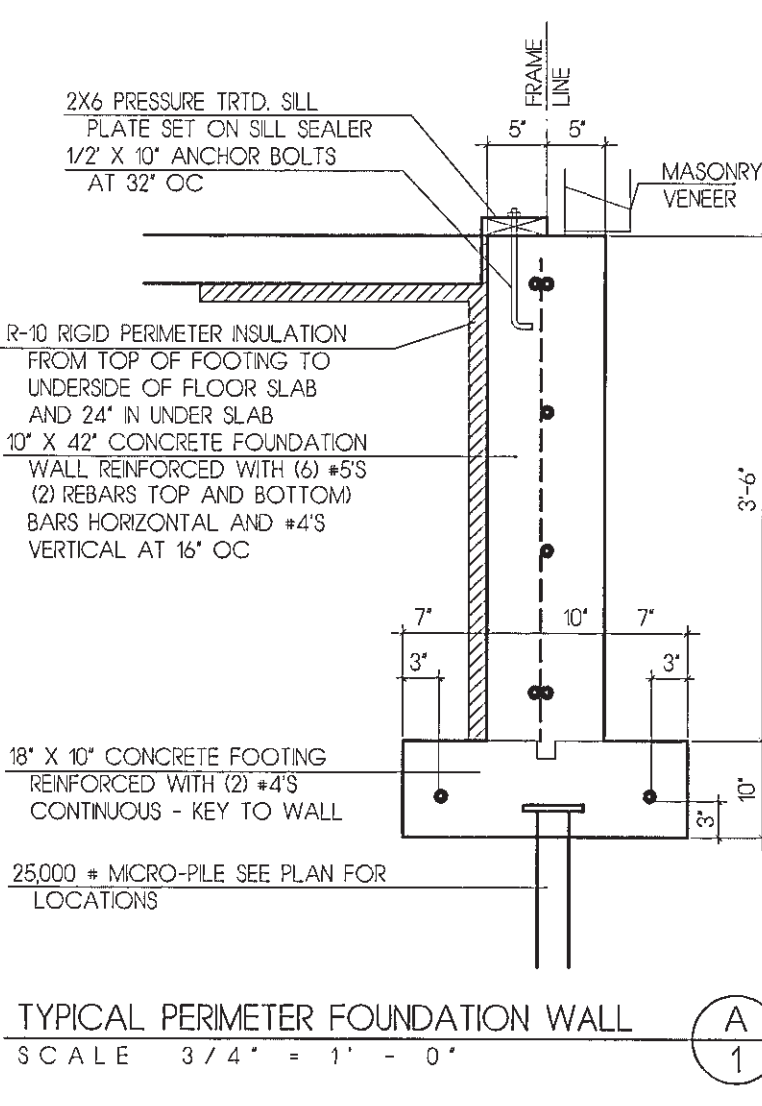
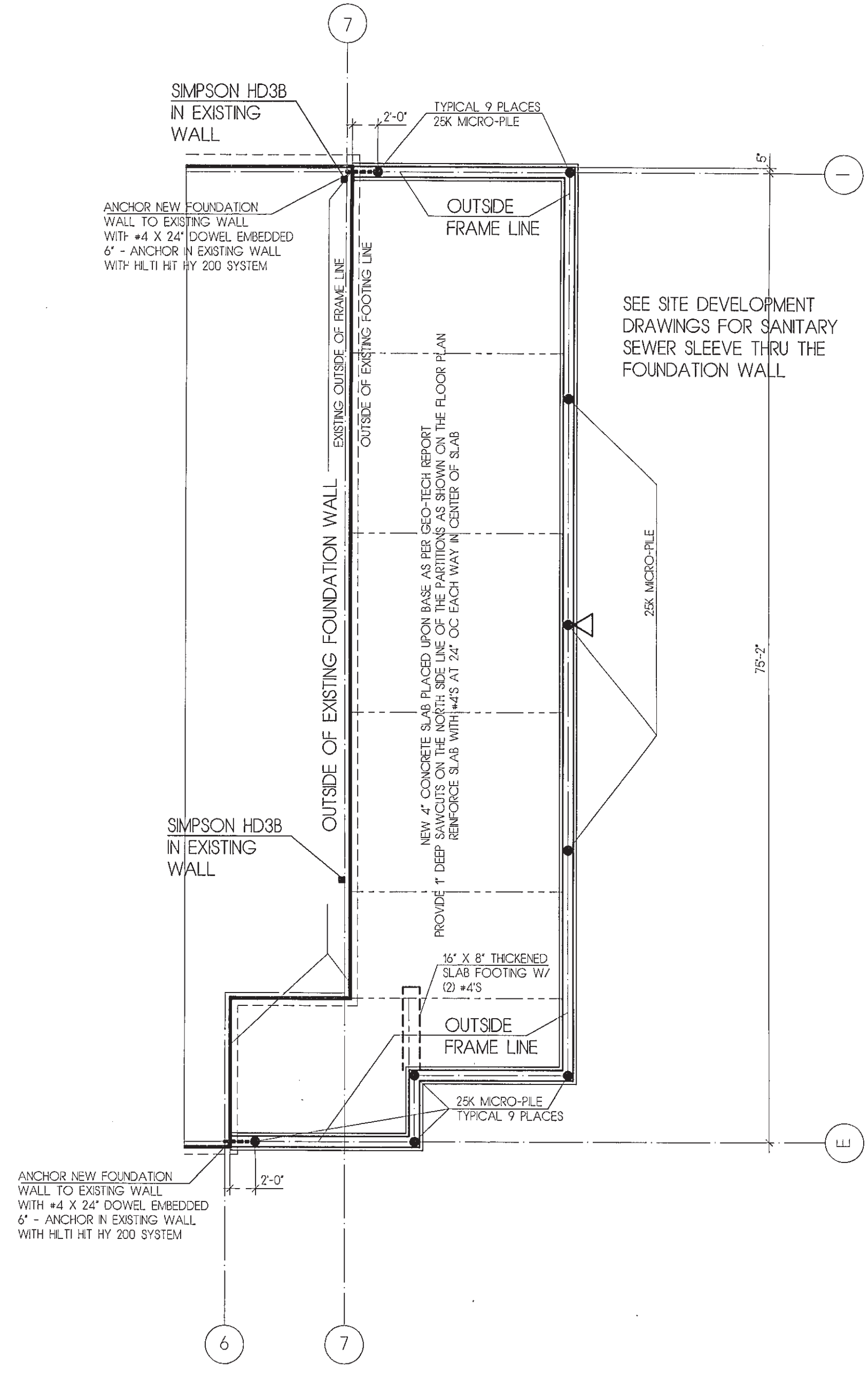
INTERIOR WINDOWS
 OAK FRAMES, GLAZING STOPS, AND CASINGS WITH 3/16" FLOAT GLASS
 VERIFY LOCATIONS OF SAFETY GLASS HEADS AT SINK HEIGHT AS DOORS
 ALL OAK STAINED AND SEALED
 FOR JAMB EXTENSIONS SEE SHEAR WALL SCHEDULE SHEET 1

SHEAR WALL HOLD-DOWN LEGEND

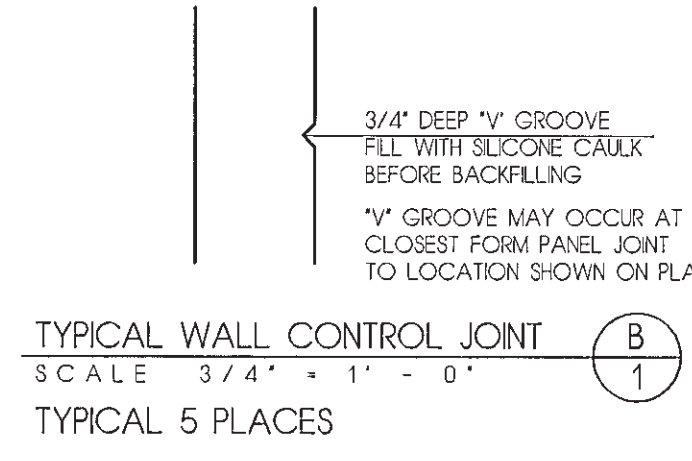


TYPICAL HOLD DOWN DETAIL
 SEE PLANS ABOVE FOR LOCATIONS

FOUNDATION PLAN



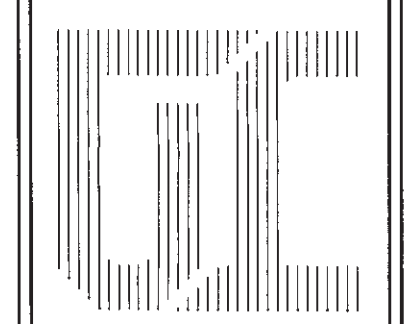
TYPICAL PERIMETER FOUNDATION WALL
 SCALE 3/4" = 1' - 0"



TYPICAL WALL CONTROL JOINT
 SCALE 3/4" = 1' - 0"

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ACKERLY-HURLBURT AND ASSOCIATES ARCHITECTS
 406 652-4015
 BOX 20351, BILLINGS, MONTANA 59104



DRAWN BY	REVISIONS
CH	
CHECKED BY	
JOS NO.	
DATE	
7-25-96	

REMODEL/ADDITION FLOOR PLAN
 PROJECT TITLE
FARM CREDIT - GREAT FALLS