

DESIGN REVIEW BOARD

June 27, 2016

Case Number

DRB2016-09

Owner/Applicant

West Bank LLC

Applicant Representative

Aaron Perry, James Talcott Construction

Property Location

Along 3rd St NW

Requested Action

Design Review for a Marriott Hotel as Phase I of West Bank Landing

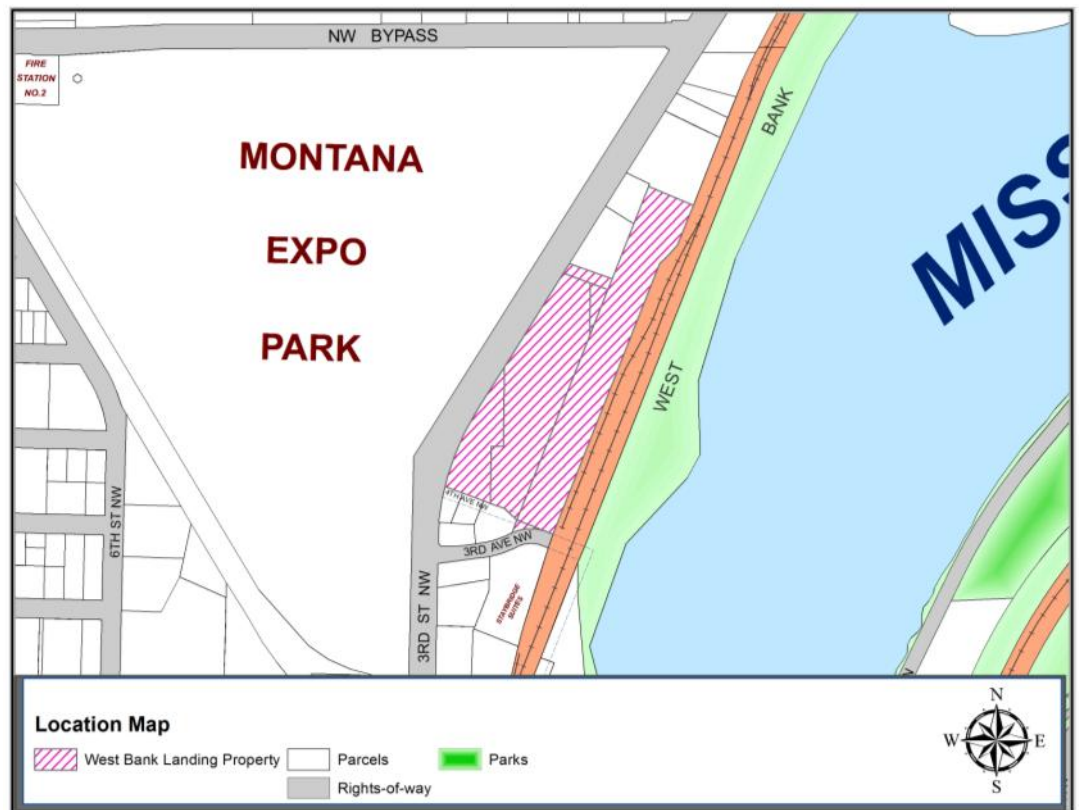
Recommendation

Approve the submitted design with conditions

Project Planner

Erin Borland

WEST BANK LANDING-PHASE I: MARRIOTT SPRINGHILL SUITES-3RD ST NW



Overall Project Description

The applicant is proposing the construction of a SpringHill Suites, Marriott Hotel as Phase I of West Bank Landing. The proposed West Bank Landing development is located north of West Bank One and the Cowboy's Bar on over 12 acres. The applicant's goal is to develop this property to bring in new and expanding businesses, as well as create jobs and offer an area for local residents to enjoy. The applicant has developed a master plan that calls for a mixed-use development that includes retail and office space, restaurants, a possible parking garage and residential units. The Springhill Suites building for Phase I is proposed with Leadership in Energy and Environmental Design (LEED) standards with the goal of LEED Silver certification. The master plan also has been designed with LEED standards in order to achieve LEED for Neighborhood Development status upon completion of the project.

Background

- Legal Description: Mark 1, 1B, 1BB, 2C4, and 23. Section 2, Township 20 North, Range 3 East, P.M. MT
- Property Zoning: M-2 Mixed-use transitional
- Project Area: ±537,400 square feet or ±12.34 acres
- Phase I Project Area: ±141,570 square feet or ±3.25 acres
- Phase I Structure Size: ±93,934 square feet

New Construction: Exhibit 28-1 Standards and Guidelines for specific projects and buildings

The applicant is proposing an approximately 93,934 square foot, four-story Marriott SpringHill Suites hotel with 132 rooms and meeting space. The building has been designed to meet Marriott's corporate standards as well as set a tone that will continue throughout the entire development. The building features vertical siding, shingle siding, and lap siding in earth tone colors and a partial rock exterior (see the color and material palette found in the attached development plan). The trash enclosure, located in the parking lot on the south end of the property boundary for Phase I, will consist of wood slats installed on 8-foot tall steel pipe columns with cedar caps. The front of the enclosure can be accessed by two 7-foot tall gates of the same material. The enclosure will be screened by landscaping on one side. Details are provided in the attached development plans.

Conformance with Title 17

The proposed project is in conformance with the relevant requirements of Title 17 - Land Development Code, of the Official Code of the City of Great Falls (OCCGF), including but not limited to zoning, setbacks, building height and lot coverage.

The site plan includes the conceptual parking layout showing 154 parking spaces, 6 of which will be ADA accessible. This exceeds the following code requirements: the OCCGF requires 1 parking space per guest unit, plus 1 per employee per shift. The proposed hotel has 132 rooms and 12 employees per shift. This would require 144 spaces, but the code allows up to 20% above this maximum. The applicant has submitted a design waiver requesting the use of 9-foot wide spaces by 20-foot long spaces rather than the standard 10-foot wide spaces by 19 foot long spaces. This design waiver has been approved by Staff.

In addition, the applicant has incorporated effective pedestrian connectivity between adjacent sidewalks and the proposed building. The applicant has incorporated sidewalks around the building, along the east end of the property behind the hotel, throughout the parking lot areas, and along the main entrance road. These sidewalks create connectivity not only to the building, but throughout the site. Staff recommends continuing the boulevard style sidewalks along the entire entrance drive and to use best practices when designing the ramps, to create a safer walking environment on a main access point to the site. The applicant has also incorporated bike racks on site. The bike racks are located just off to the south of the main entrance.

The site redevelopment will have impervious surfaces of more than 15,000 square feet; therefore, the developer is required to provide a stormwater management plan in compliance with the City of Great Falls Storm Design Manual and City standards. The plan will be reviewed and approved by the Public Works Department prior to the issuance of building permits for the development.

The applicant has provided an outdoor lighting plan which requires minor modification in order to meet the intent of the OCCGF. The foot candles along the east property line shall be adjusted to meet the requirements of the OCCGF. The foot candles at the property line shall not exceed 1.0 foot candles when a commercial use abuts another commercial use as per §17.40.050A. The applicant will continue to work with Staff to bring the lighting plan into compliance with Chapter 40.

The proposed landscaping requires modification to meet the minimum requirements of the OCCGF. Paved or nonliving surfaces are the dominant texture within the interior of the site, with cement walkways surrounding the building, asphalt parking and drive aisles throughout, and rock mulch in all landscape beds. The exterior of the site is proposed to be softened by landscaping including sod, landscape beds and canopy trees. The site will utilize

different arrangements of plants, sculptures, and locally found objects such as tree stumps and recycled metal. The goal of the project is carry on the landscape theme from West Bank One, which includes The Front, Staybridge Suites and Kobe Steakhouse restaurant, into West Bank Landing, with the help of landscape artist Mike Hollern.

The OCCGF requires that each row of parking must be terminated with a landscape island as per §17.44.3.030. The parking lots to the north of the hotel and south of the hotel are not terminated. Staff requires that the applicant revise the landscape plan to show islands to terminate the parking and add additional area for safer maneuvering for the last parking spots.

The OCCGF Chapter 44 – Landscaping, requires a minimum of fifteen percent of the gross property area to be designated as interior landscaping. The interior landscaping is to be inclusive of landscaping in vehicular use areas and foundation planting areas. The Phase I site plan request requires 21,109 square feet of interior landscaping. The OCCGF further requires one (1) tree and seven (7) shrubs planted and maintained per four hundred (400) square feet, or fraction thereof, of required interior landscaping. For this site, there are 53 interior trees and 371 shrubs required to be installed. The landscaping plan submitted does not meet the required rate of planting for shrubs.

Due to the landscaping theme of the overall project to continue the landscaping theme from West Bank One, the applicant has submitted a design waiver to reduce the shrub count by utilizing a 2:1 ratio with the proposed perennial plants. The design waiver has been approved with the comment that the plant counts are subject to review for final inspection to ensure that the landscaping achieves an equivalent outcome to the intent of Chapter 44. Staff recommends the plant species that are proposed be reconsidered due to the mature size of some of the selection of plants. The applicant shall continue to work with Staff in order to bring the landscape plan into compliance with Chapter 44. The City Forester is reviewing the landscaping plan and any recommendations will be incorporated.

The applicant is proposing an entry sign located at the project access point off of 3rd Street Northwest and signage located on the building. Examples of these signs have been included in the development drawings. This proposed signage will be reviewed under a separate application.

Conclusion: West Bank Landing takes a blighted area with brownfield contamination and incorporates innovative environmentally friendly design to create beneficial redevelopment project.

Recommendation

Staff supports this application and recommends the Design Review Board approve the submitted design with conditions.

Suggested Motion

Board Member moves:

“I move that the Design Review Board (approve/approve with conditions) the Design Review Application for the construction of West Bank Landing, Phase I the Marriott SpringHill Suites, located along 3rd St Northwest, as shown in the conceptual development plans contained within this report and provided by the Applicant, subject to the following conditions:

- A. The proposed project shall be developed consistent with the conditions in this staff report, all codes and ordinances of the City of Great Falls, the State of Montana, and all other applicable regulatory agencies.
- B. If after the approval of the concept development plan as amended by this Board, the owner proposes to expand or modify the conceptual development plans, the Director of the Planning and Community Development Department shall determine in writing if such proposed change would alter the concept for one or more review criteria. If such proposed change would alter the plan, the proposal shall be resubmitted for review as a new application.
- C. The applicant will work with Staff, as directed by the Board on the sidewalk and landscaping design for

the road into the site.

- D. The applicant shall revise the outdoor lighting plan to meet the requirements of Chapter 40 as well as the recommendations of Staff.
 - E. The applicant shall continue to work with staff to revise the landscape plan to finalize counts based on the Design Waiver and plant species.
 - F. The applicant shall terminate each row of parking with a landscape island and turn around areas as per §17.44.3.030.
-
-

- 2. Chairman calls for a second, discussion, inquiries from the public, and calls the vote.

CC Dave Dobbs, City Engineering
Patty Cadwell, Neighborhood Council Coordinator
Todd Seymanski, City Forester
Aaron Perry, James Talcott Construction, representative, aperry@jtc-mt.com
Spencer Woith, Woith Engineering Inc., representative, spencer@woitheng.com
Timothy Peterson, LPW Architecture, representative, timothyp@lpwarchitecture.com

EXHIBIT A - APPLICATION

CITY OF GREAT FALLS
PLANNING & COMMUNITY DEVELOPMENT DEPT.
P.O. BOX 5021, GREAT FALLS, MT, 59403-5021
406.455.8430 • WWW.GREATFALLSMT.NET

Submittal Date: _____
Application Number _____

DESIGN REVIEW BOARD APPLICATION

Marriott Springhill Suites - West Bank Landing - Phase 1

Name of Project / Proposed Use:

West Bank LLC

Owner Name:

PO Box 2493 Great Falls, Montana 59403

Mailing Address:

406.836.2146

aperry@jtc-mt.com

Phone:

Email:

Aaron L. Perry

Representative Name:

Same As Above

Mailing Address:

Same As Above

Same As Above

Phone:

Email:

PROJECT LOCATION:

525 3rd Street NW Great Falls, Montana 59404

Site Address:

~163,383 SF

93,934 SF

Sq. Ft. of Property:

Sq. Ft. of Structure:

LEGAL DESCRIPTION

Mark/Lot:	S02 Section:	T20N Township/Block	R03E Range/Addition
-----------	-----------------	------------------------	------------------------

I (We), the undersigned, attest that the above information is true and correct to the best of my (our) knowledge. Further, I (We) owner of said property authorize the above listed representative to act as my agent in this application.



May 18, 2016

Property Owner's Signature:

Date:



May 18, 2016

Representative's Signature:

Date:

EXHIBIT B - PROJECT NARRATIVE

PHASE I:

West Bank LLC is constructing a four-story SpringHill Suites as the first phase of the West Bank Landing development. SpringHill is a Marriott flag hotel that features modern design in an upper-moderate price category.

The property in Great Falls will include 132 rooms, all of which are suites. It will also include much-requested meeting space. The property is being designed to maximize its riverfront view, and will attract both leisure and short-term business travelers.

The building was designed to not only meet Marriott's high standards, but also to set the nature-inspired tone of the entire development. It features earth-toned colors and a partial rock exterior, and will include the award-winning landscape designs of artist Mike Hollern.

WEST BANK LANDING:

The site: West Bank Landing is a 12.5-acre parcel located north of the Cowboy's Bar and West Bank One development. It is flanked on the east by West Bank Park and the Missouri River, and on the west by 3rd Street Northwest and Montana ExpoPark. It extends north to Stockman Bank, excluding the former J Bar T property.

The developers: The property was purchased by Brad Talcott, Linda Caricaburu, Spencer Woith and Joe Aline. All are Great Falls natives who wanted to make sure that the riverfront area was developed to bring in new businesses and jobs, yet be accessible to the community and environmentally responsible. All have done previous developments and bring expertise to the project: Talcott and Caricaburu have done commercial property development, including West Bank One (the Staybridge, Kobe Seafood and Steakhouse, The Front Brewing Company and Faster Basset); Woith is a civil engineer; and Aline has extensive experience with environmental cleanup.

The goal: As longtime local residents, we are excited by the potential of West Bank Landing. Our goal is to clean up a long-time eyesore, bring in new and expanding businesses, create jobs, and offer a fun setting for local residents to live, work and play

Site history: The property formerly was owned by Cascade County. Montana Specialty Mills is located on the site and is currently winding down operations there. The county maintained a health department office and warehousing on the site until the purchase. In earlier years, the county had shops on the site and there previously had been a refinery.

Site cleanup: Previous operations on the property left a large swath of petroleum and other environmental contaminants. During its ownership, Cascade County oversaw partial cleanup of the site. Remediation is still required on a good portion of the property, including the area around the Montana Specialty Mills. With the help of a grant overseen by the Great Falls Development Authority, a Phase 2 environmental study is now underway. It will determine the extent of the contamination and how much work remains to clean it.

EXHIBIT B - PROJECT NARRATIVE (CONT.)

The master plan: We recognize that the site's proximity to West Bank Park and the river make it a special property that will have high public interest for responsible development. Instead of piecemeal development, we opted to create a master plan that lays out the goals for the whole development and ensures that business mix, building designs and landscaping are coordinated and complementary. L'Heureux Page Werner (LPW), a local architectural firm, is helping us create our master plan.

The master plan calls for a mixed-use development that includes retail and office space, restaurants and residential units. Most of the space will be new construction, with the exception of what is known as the "Barrel Building" – a brick building constructed in 1940 as an operational base for the Works Progress Administration. It features a graceful curved roof and architectural details that will be preserved during remodeling to make the building suitable for a retail and/or restaurant tenant. The building is on the National Historic Register.

The developers are committed to designing and building the most environmentally responsible project in Great Falls' history by utilizing USGBC's Leadership in Energy & Environmental Design (LEED) certification program. LEED is a green building certification program that recognizes best-in-class building strategies and practices. To receive LEED certification, building projects satisfy prerequisites and earn points to achieve different levels of certification. We are also pursuing LEED-ND (LEED Neighborhood), so that the entire site can be recognized for its environmentally sustainable design.

West Bank Landing will be bike and pedestrian friendly, and will provide easy access to the River's Edge Trail, West Bank Park and the Missouri River. As with West Bank One, the development will feature the work of award-winning local landscape artist Mike Hollern. Mike is designing and creating unique artwork to be incorporated throughout the project. He is also overseeing selection and array of landscape flora, focusing on native plants and sustainability.

Phase 1: The first phase of development is planned to begin late spring with the construction of a four-story, 132-room Marriott SpringHill Suites. The hotel is a modern, upscale brand that features all-suite rooms that are 25 percent larger than industry average rooms. It will include meeting rooms and a courtyard overlooking the river. In following with the West Bank Landing master plan, the hotel is being designed for LEED Silver certification. The hotel is scheduled to open in spring of 2017.

Future phases: Remodel and lease of the barrel building will occur simultaneous to construction of the hotel. We also are working with potential tenants for other space in Phase 2 for which construction could begin this summer. Depending on the pace of securing tenants, construction will be phased over several years on the other buildings. One building for residential condos overlooking the river is planned in a future phase, and there is the possibility of including residential space on the upper floors of one or more of the mixed-use buildings.

EXHIBIT B - PROJECT NARRATIVE (CONT.)

To facilitate finding the right mix of businesses for West Bank Landing, we have hired Jeremiah Johnson to oversee marketing. Jeremiah was formerly with GFDA and has a strong background in business development. He has a proven track record working with both with local businesses looking for expansion possibilities, and with regional and national businesses looking for opportunities in Great Falls. We are excited he is on our team.

Community: We are committed to creating a development that is a source of pride for Great Falls, and one that gives back to the community. In that spirit, we are setting aside a percentage of all revenue from West Bank Landing to help fund community initiatives and/or non-profits.

EXHIBIT C - LEED NARRATIVE

The LEED Green Building Rating System is the nationally accepted benchmark for the design, construction, and operation of high performance green buildings. LEED (Leadership in Energy and Environmental Design) promotes a whole-building approach to sustainability by recognizing performance in five key areas of human and environmental health: sustainable site development, water savings, energy efficiency, materials selection, and indoor environmental quality. LEED certified buildings have lower operating costs and increased asset value, reduce waste sent to landfills, conserve energy and water, reduce harmful greenhouse gas emissions, and demonstrate an owner's commitment to environmental stewardship and social responsibility.

The LEED Neighborhood Development certification program expands the Green Building Rating System to integrate the principals of smart growth, new urbanism and green building into a national rating system for neighborhood design. LEED ND was engineered to inspire and help create better, more sustainable, well-connected neighborhoods. It looks beyond the scale of buildings to consider entire communities.

The 12 acre West Bank Landing development is an ideal location to plan a LEED Neighborhood Development. To be a certified in this regard, we intend to incorporate the following standards into the design of the site.

Smart Location and Linkage

- Locate the project on a previously developed infill site.
 - The previously heavy industrial site will be converted to mixed-use commercial, a much more appropriate use along the riverfront in Great Falls.
- At a project site identified as a brownfield or where soil contamination has been identified and requires remediation, perform remediation to the satisfaction of the authority having jurisdiction.
 - Environmental testing is being done, and remediation is planned for the site.
- Locate the project such that the project boundary is within ¼ mile bicycling distance of an existing bicycle network that connects to at least 10 diverse uses.
 - The site is adjacent to the River's Edge Trail.
- Walkable Streets
 - At least 90% of the buildings will have a functional entry onto the circulation network or other public space, such as a park or plaza, but not a parking lot.
 - At least 15% of the block length of the new circulation network will have a minimum building height to street centerline ratio of 1:1.5.
 - Continuous sidewalks or bicycle and pedestrian only paths will be provided along both sides of 90% of the circulation path length.
 - At least 80% of the total linear distance of building facades facing the circulation will be no more than 25 feet from the property line.

EXHIBIT C - LEED NARRATIVE (CONT.)

- Mixed-Use Neighborhoods
 - At least 50% of the dwelling units will be within ¼ mile walking distance of a multitude of diverse uses, such as a supermarket, bank, and recreational areas.
- Reduced Parking Footprint
 - We would like to locate all off-street parking lots at the side or rear of buildings.
- Transit Facilities
 - The project will provide a shelter at the bus stop, to provide a safe, convenient, and comfortable transit waiting area.
- Access To Civic, Public Space, and Recreational Facilities
 - We will locate at least 90% of the dwelling units and nonresidential use entrances within ¼ mile walk of at least one civic and passive use space. The site is adjacent to West Bank Park and the Federal Courthouse.
- Visitability and Universal Design
 - 20% of the new dwelling units will be designed as Type C Visitable Units, per ICC A117.1.
- Local Food Production
 - We will dedicate permanent and viable growing space or related facilities within the project.
 - The project is also within ½ mile walking distance of the farmer's market at the Civic Center.
- Certified Green Buildings
 - Buildings on the site will be certified under the LEED green building rating systems.
- Outdoor Water Use Reduction
 - The project's landscape water requirement (LWR) will be reduced by at least 50% from the site's calculated baseline for the site's peak watering month. Reductions will be achieved through plant species selection and irrigation efficiency as calculated in the EPA WaterSense Water Budget Tool.
- Building Reuse
 - We plan to reuse a majority of the old county shops barrel vault building, and repurpose it into retail use.
- Heat Island Reduction
 - The buildings will use reflective roofing materials that have an SRI that meet the minimum based on roof slopes.
- Solid Waste Management
 - The project will have at least one recycling or reuse station, available to all project occupants.
 - At least 50% of the nonhazardous construction, demolition, and renovation debris will be recycled.
- LEED Accredited Professional
 - Landry Watson with DPR, and Tim Peterson with LPW are both LEED Accredited Professionals.

EXHIBIT D - AERIAL MAP



-  West Bank Landing
-  City Limits
-  Tracts of Land

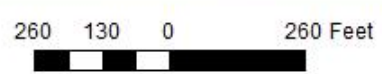


EXHIBIT E - DESIGN WAIVER

CITY OF GREAT FALLS
PLANNING & COMMUNITY DEVELOPMENT DEPT.
P.O. BOX 5021, GREAT FALLS, MT, 59403-5021
406.455.8415 • WWW.GREATFALLSMT.NET

DESIGN WAIVER APPLICATION

West Bank LLC

Owner/Representative Name:

761-0018

Phone:

Submittal Date:

Application Number:

PO Box 2493 Great Falls, MT 59403

Mailing Address:

PROPERTY LOCATION:

	S02	T20N	R03E
Mark / Lot:	Section:	Township/Block:	Range/Addition:
525 3rd Street NW Great Falls, MT 59404			

Street Address:

ZONING:

LAND USE

N/A		N/A	
Current:	Proposed:	Current:	Proposed:

PROJECT DESCRIPTION/REQUEST:(ATTACH ADDITIONAL INFO AS REQUIRED SEE CHECKLIST)

West Bank LLC requests design waiver for the following items on Phase 1 of West Bank Landing:

1.Reduced Parking Space Dimension from 10' x 19' to 9' x 19'.

Warrant: This will help us achieve required parking count ratios in anticipation of full build-out of all future phases of the development.

2.Reduced shrub counts through use of perennials on a 2:1 ratio.

Warrant: Landscaping design will be similar to what the developers completed in the previous phase of development at West Bank One.

The overall development will achieve LEED for Neighborhood certification, upon completion which requires drought tolerant landscaping.



Property Owner's Signature:

6-14-16

Date:

I, Craig Raymond, Director of Planning and Community Development, hereby approve the above Design Waiver request.



Director Approval Signature:

6/17/16

Date:

***SUBJECT TO REVIEW (PLANT COUNTS) UPON FINAL INSPECTION. MUST ACHIEVE EQUIVALENT OUTCOME.**

Updated November 2013

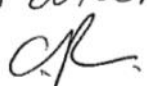


EXHIBIT F - SITE PHOTOGRAPHS



View looking west, into the site from West Bank Park.



View looking north west , into the site from West Bank Park.



View looking north, showing the existing Montana Specialty Mills site and the existing curb cut onto 3rd Ave NW.

EXHIBIT F - SITE PHOTOGRAPHS (CONT.)



View looking south from the northern most part of the site.



View looking east into the site from 3rd St NW.



View looking south-east into the site from 3rd St NW.

EXHIBIT G - CONCEPTUAL RENDERING



EXHIBIT H - LANDSCAPE AND SCULPTURE EXAMPLES



EXHIBIT H - LANDSCAPE AND SCULPTURE EXAMPLES (CONT.)



DEVELOPMENT PLANS:

SITE PLAN

LANDSCAPING PLAN

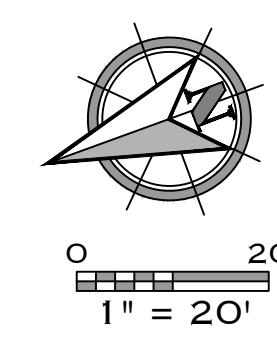
BUILDING ELEVATIONS

COLOR AND MATERIAL PALETTE

TRASH ENCLOSURE DETAIL

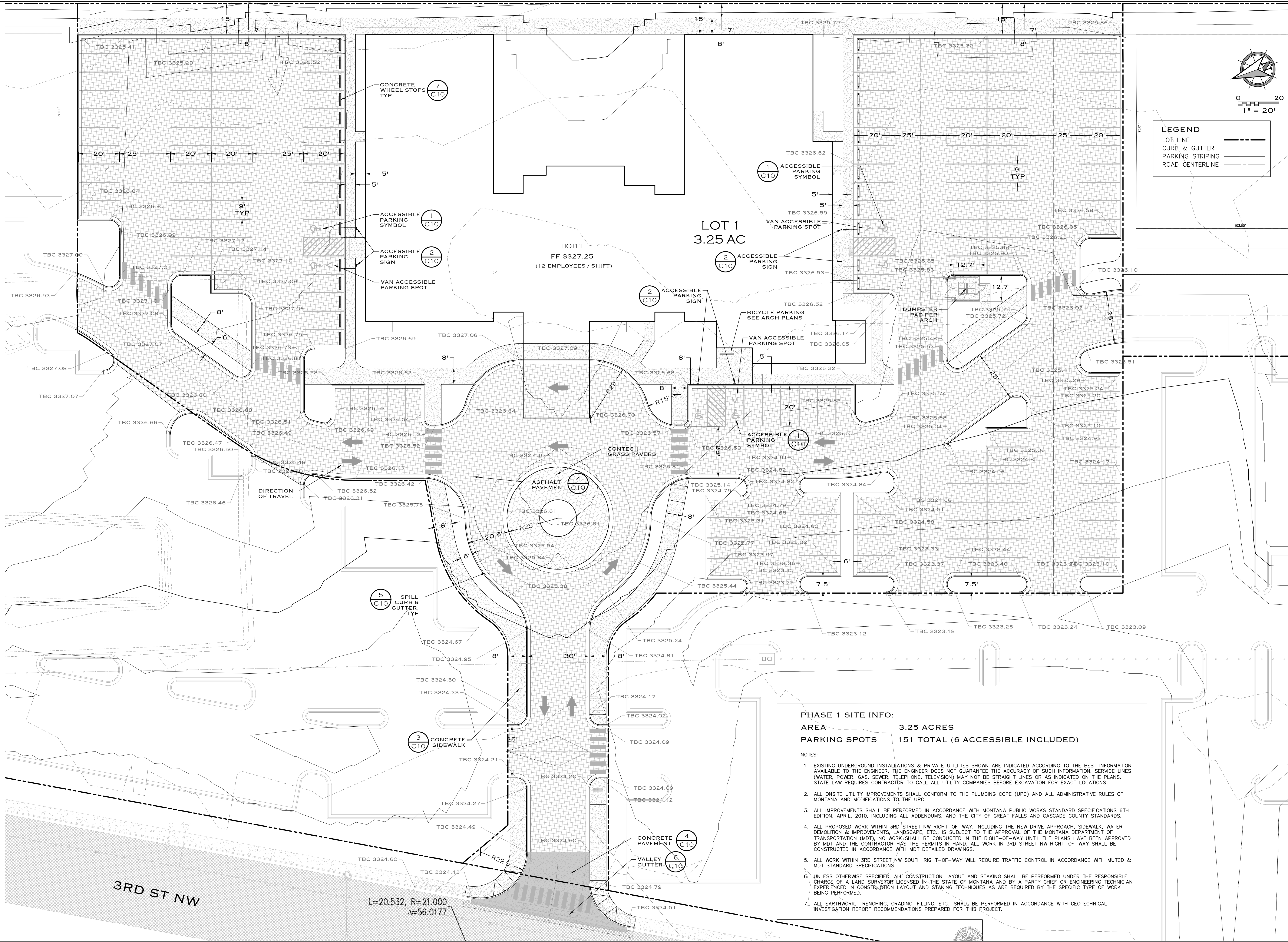
PHOTOMETRIC LIGHTING PLAN

SIGNAGE EXAMPLES



LEGEND

LOT LINE	---
CURB & GUTTER	—
PARKING STRIPING	—
ROAD CENTERLINE	—



PHASE 1 SITE INFO:

AREA 3.25 ACRES
 PARKING SPOTS 151 TOTAL (6 ACCESSIBLE INCLUDED)

NOTES:

- EXISTING UNDERGROUND INSTALLATIONS & PRIVATE UTILITIES SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. SERVICE LINES (WATER, POWER, GAS, SEWER, TELEPHONE, TELEVISION) MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THE PLANS. STATE LAW REQUIRES CONTRACTOR TO CALL ALL UTILITY COMPANIES BEFORE EXCAVATION FOR EXACT LOCATIONS.
- ALL ONSITE UTILITY IMPROVEMENTS SHALL CONFORM TO THE PLUMBING CODE (UPC) AND ALL ADMINISTRATIVE RULES OF MONTANA AND MODIFICATIONS TO THE UPC.
- ALL IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS 6TH EDITION, APRIL, 2010, INCLUDING ALL ADDENDUMS, AND THE CITY OF GREAT FALLS AND CASCADE COUNTY STANDARDS.
- ALL PROPOSED WORK WITHIN 3RD STREET NW RIGHT-OF-WAY, INCLUDING THE NEW DRIVE APPROACH, SIDEWALK, WATER DEMOLITION & IMPROVEMENTS, LANDSCAPE, ETC., IS SUBJECT TO THE APPROVAL OF THE MONTANA DEPARTMENT OF TRANSPORTATION (MDT). NO WORK SHALL BE CONDUCTED IN THE RIGHT-OF-WAY UNTIL THE PLANS HAVE BEEN APPROVED BY MDT AND THE CONTRACTOR HAS THE PERMITS IN HAND. ALL WORK IN 3RD STREET NW RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDT DETAILED DRAWINGS.
- ALL WORK WITHIN 3RD STREET NW SOUTH RIGHT-OF-WAY WILL REQUIRE TRAFFIC CONTROL IN ACCORDANCE WITH MUTCD & MDT STANDARD SPECIFICATIONS.
- UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION LAYOUT AND STAKING SHALL BE PERFORMED UNDER THE RESPONSIBLE CHARGE OF A LAND SURVEYOR LICENSED IN THE STATE OF MONTANA AND BY A PARTY CHIEF OR ENGINEERING TECHNICIAN EXPERIENCED IN CONSTRUCTION LAYOUT AND STAKING TECHNIQUES AS ARE REQUIRED BY THE SPECIFIC TYPE OF WORK BEING PERFORMED.
- ALL EARTHWORK, TRENCHING, GRADING, FILLING, ETC., SHALL BE PERFORMED IN ACCORDANCE WITH GEOTECHNICAL INVESTIGATION REPORT RECOMMENDATIONS PREPARED FOR THIS PROJECT.

3RD ST NW

$L=20.532, R=21.000$
 $\Delta=56.0177$



JAMES ALCOTT CONSTRUCTION, INC.
 4415 River Dr N
 Great Falls, MT 59405
 (406) 761-0018

WEDGWOOD
 ARCHITECTURAL SERVICES
 Lyle Andrew Bremmeyer, Architect
 7600 N.E. 41st Street, Suite #330
 Vancouver, Washington 98662
 (360) 892-9090
 FAX (360) 892-2146
 AndyB@WedgwoodServices.com

STATES LICENSED:
 Washington Wyoming
 Oregon New Mexico
 Michigan Texas
 Colorado Arizona
 Florida Nevada
 Utah Montana
 Georgia Missouri
 Idaho Illinois

Springhill Suites
 132-Unit Hotel

3rd Street NW
 Great Falls, Montana

SCALE: 1"=50'-0"
 DATE OF ISSUE: May 9, 2016

DESIGN DOCUMENTS	APPROVAL
PERMIT DOCUMENTS	BID DOCUMENTS
CONTRACT DOC.	REVISIONS
DATE	# SUBJECT

Landscape Plan

SHEET NO.
LS2
 PROJECT NO.
 1506

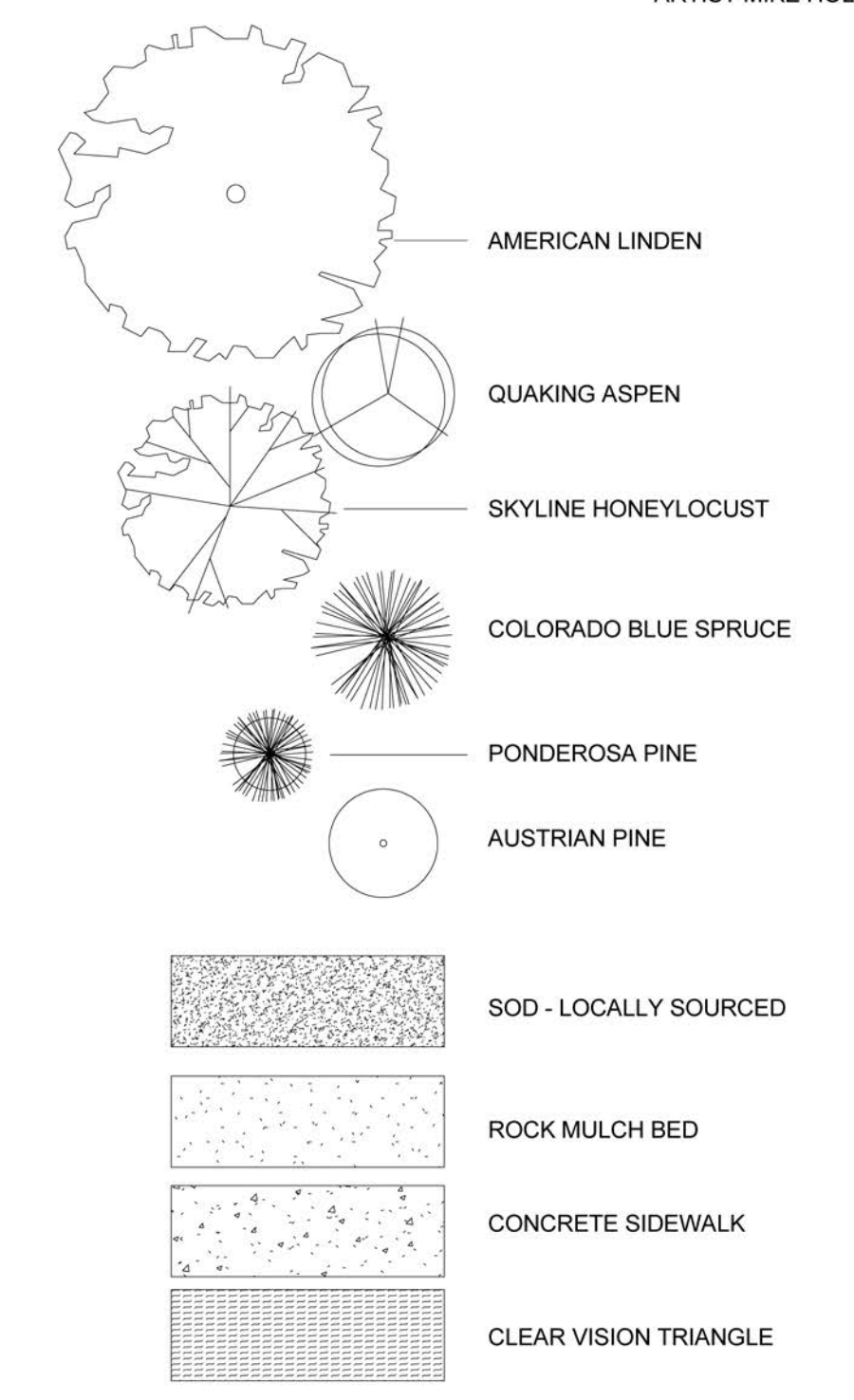
HOTEL LANDSCAPING

SITE AREA: 140,726 SF (CALCULATED FOR PHASE 1 AREA)
 ZONE: M2
 LANDSCAPING REQUIRED: 15%
 LANDSCAPE AREA REQUIRED = 21,109 SF
 TREES REQUIRED = 53
 SHRUBS REQUIRED = 370
 LANDSCAPE AREA PROVIDED = 22,118 SF
 PRELIMINARY TREES PROVIDED = 63
 SHRUBS PROVIDED = 55% OF REQD.

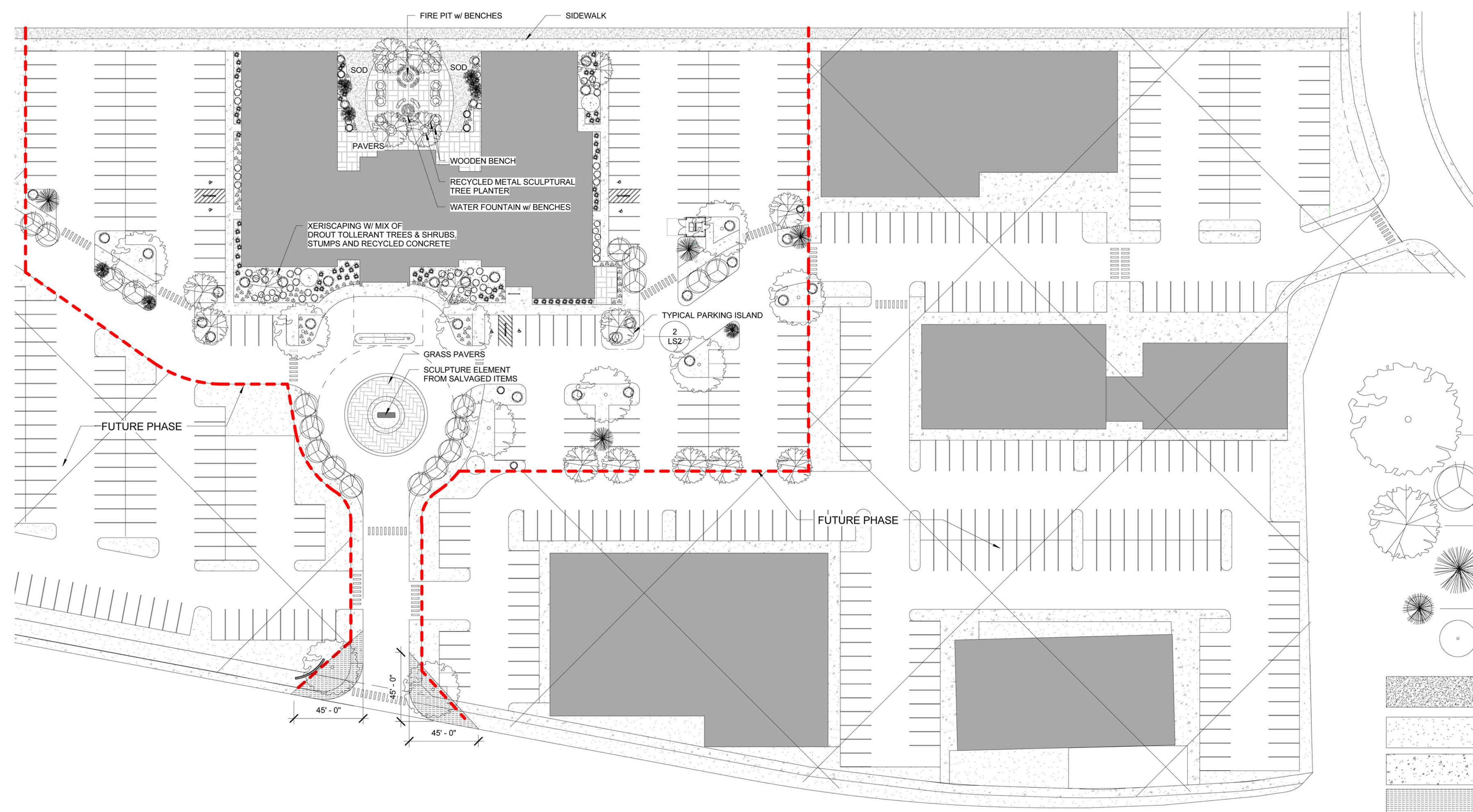
IRRIGATION
 • THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR NECESSARY FOR A FULLY OPERATIONAL, AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. ALL PLANTINGS TO BE DRIP IRRIGATED. ALL SOD AREAS TO BE SPRAY IRRIGATED.

NOTES
 • LANDSCAPING SHALL INCLUDE A MIXTURE OF THE FOLLOWING SPECIES. FINAL LAYOUTS AND ARRANGEMENTS WILL BE DESIGNED BY LANDSCAPE ARTIST MIKE HOLLERN.

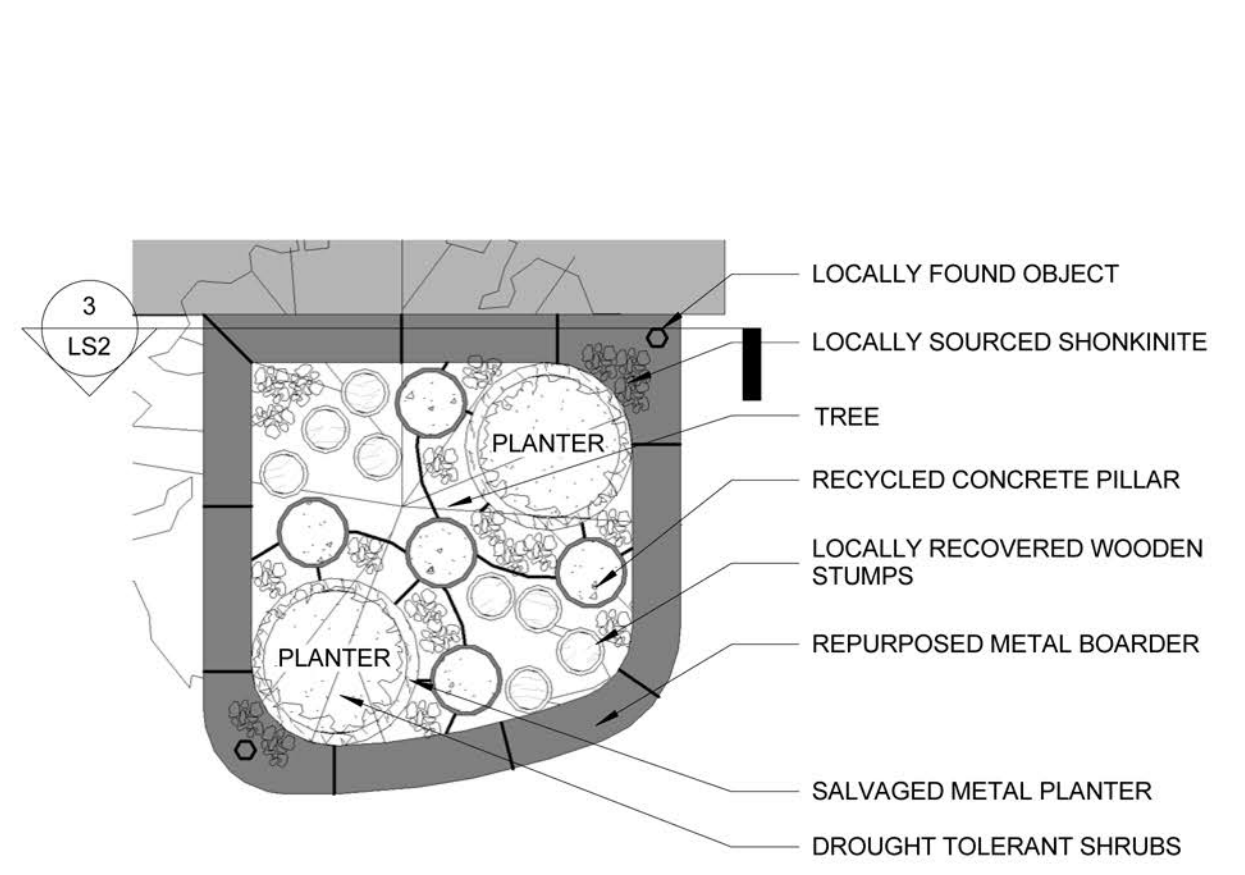
- TREES:**
- PONDEROSA PINE
 - AUSTRIAN PINE
 - COLORADO BLUE SPRUCE
 - QUAKING ASPEN
 - AMERICAN LINDEN
- SHRUBS:**
- SEDUM
 - UPRIGHT JUNIPER
 - BUFFALO JUNIPER
 - CALGARY CARPET JUNIPER
 - BLUE RUG JUNIPER
- ROCKS:**
- Lykin Colored Granite
 - Shonkin
- FOUND OBJECTS**
- TREE STUMPS
 - RECYCLED METAL
 - CONCRETE PILLAR



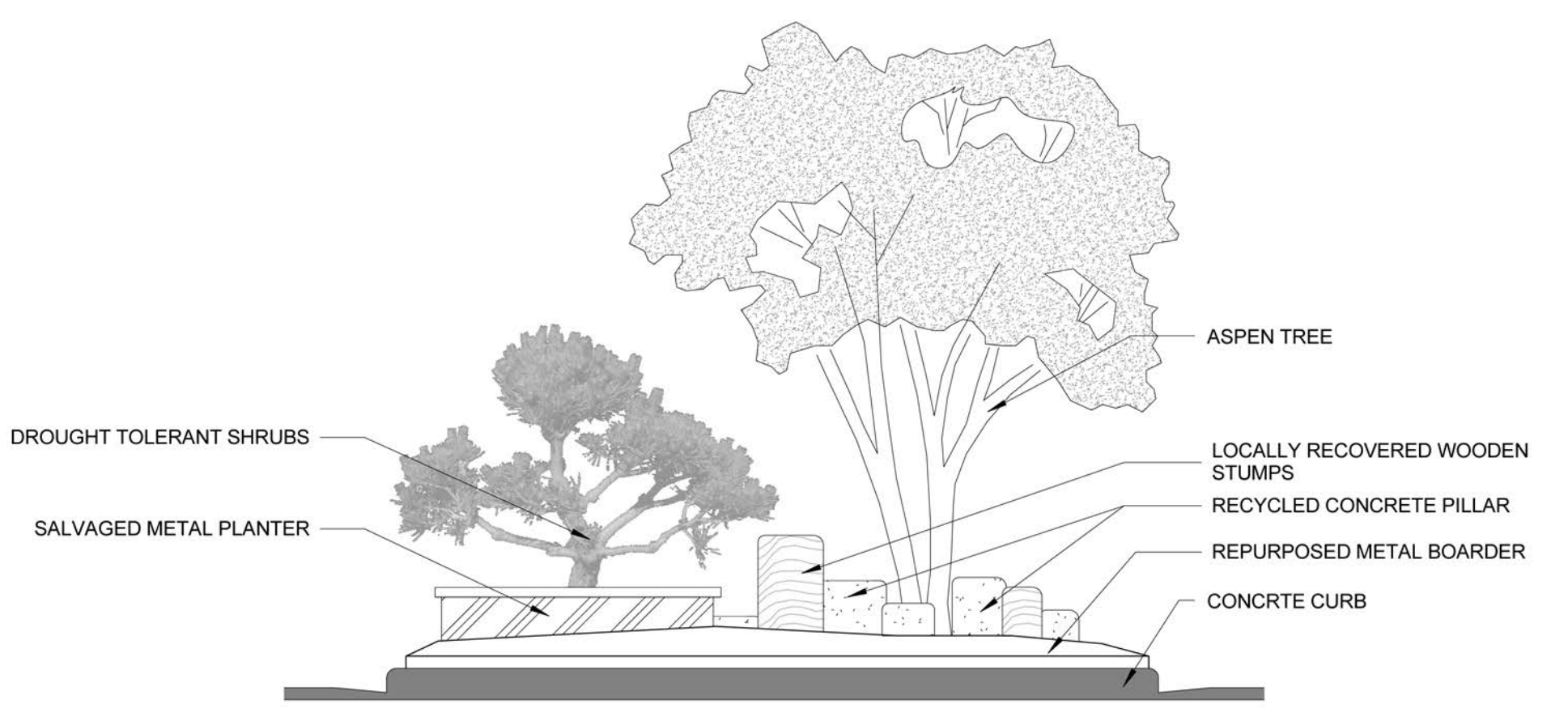
LEGEND
 1" = 20'-0"



1 PHASE 1 Landscape Plan - Hotel Site
 1" = 40'-0"

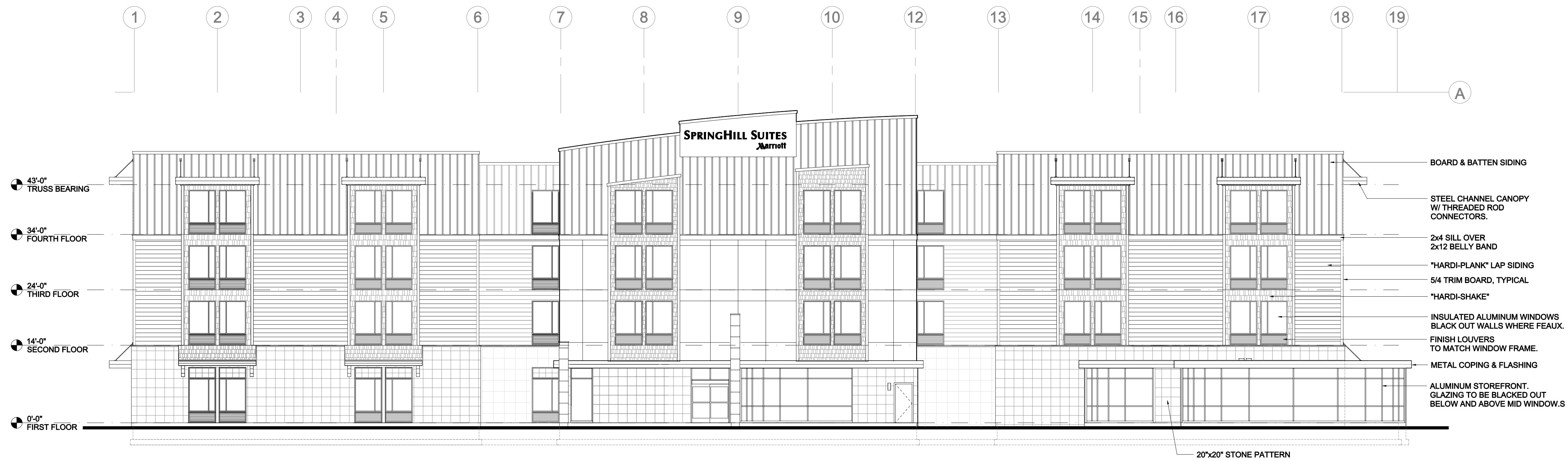
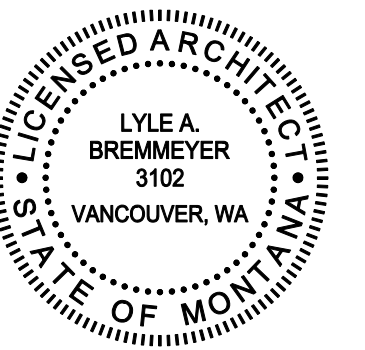


2 TYPICAL PARKING ISLAND
 1/8" = 1'-0"

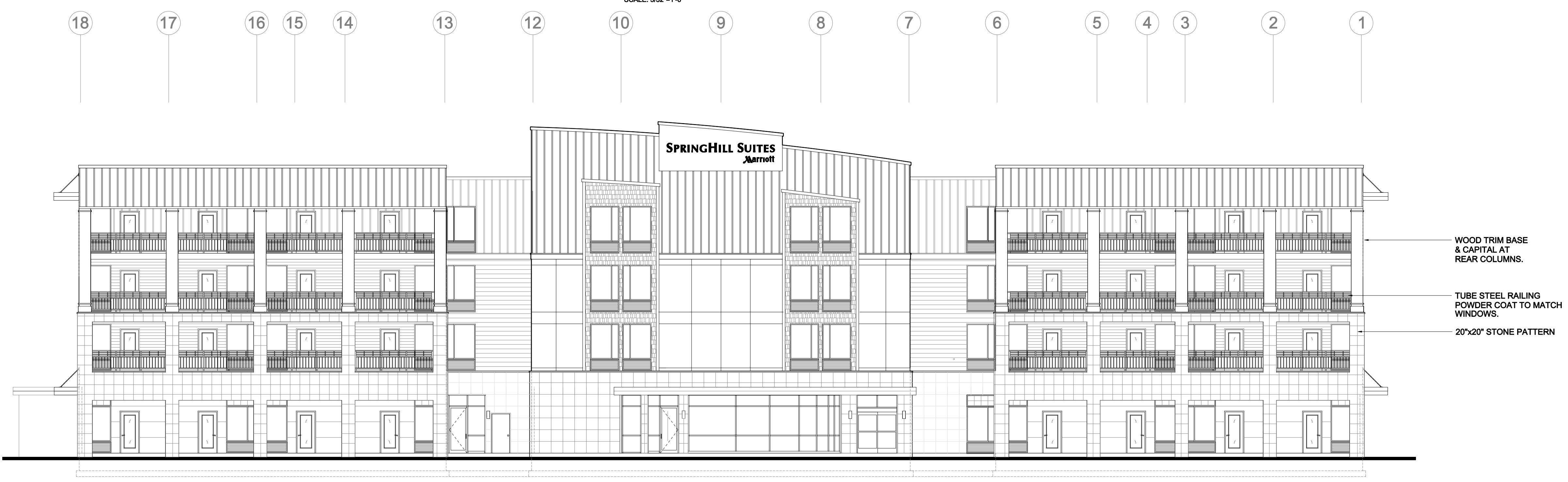


3 TYPICAL PARKING ISLAND SECTION
 1/4" = 1'-0"

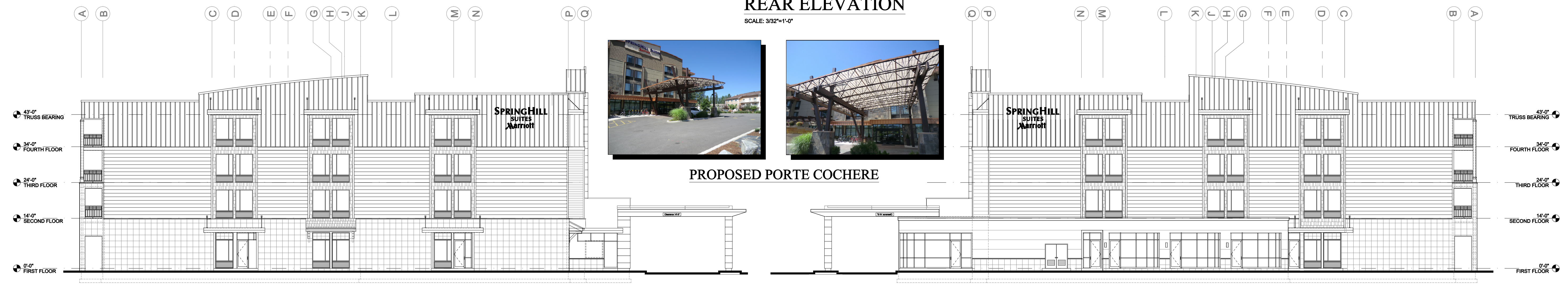
Planting Schedule					
COUNT	COMMON NAME	BOTANICAL NAME	Group	SIZE	PHASE
CONIFEROUS TREE					
3	AUSTRIAN PINE	PINUS NIGRA	CONIFEROUS TREE	5' HEIGHT	PH1
4	COLORADO BLUE SPRUCE	PICEA PUNGENS	CONIFEROUS TREE	5' HEIGHT	PH1
7	PONDEROSA PINE	PINUS PONDEROSA	CONIFEROUS TREE	5' HEIGHT	PH1
DECIDUOUS TREE					
14	AMERICAN LINDEN	TILIA AMERICANA	DECIDUOUS TREE	2" B & B	PH1
19	QUAKING ASPEN	POPULUS TREMULOIDES	DECIDUOUS TREE	1.5" B & B	PH1
16	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS 'SKYCOLE'	DECIDUOUS TREE	2" B & B	PH1
PERENNIAL					
84	SEDUM	SEDUM RUPESTRE 'Angelina'	PERENNIAL	2 GAL. CONTAINER	PH1
SHRUB					
18	JUNIPER, BLUE RUG	JUNIPERUS HORIZONTALIS 'WILTONII'	SHRUB	2 GAL. CONTAINER	PH1
44	JUNIPER, BUFFALO	JUNIPERUS SABINA 'BUFFALO'	SHRUB	2 GAL. CONTAINER	PH1
32	JUNIPER, CALGARY CARPET	JUNIPERUS SABINA 'MANNA'	SHRUB	2 GAL. CONTAINER	PH1
69	JUNIPER, UPRIGHT	JUNIPERUS SCOPULORUM 'MOONGLOW'	SHRUB	2 GAL. CONTAINER	PH1



FRONT ELEVATION
SCALE: 3/32"=1'-0"



REAR ELEVATION
SCALE: 3/32"=1'-0"



SIDE ELEVATION
SCALE: 3/32"=1'-0"

SIDE ELEVATION
SCALE: 3/32"=1'-0"

JAMES ALCOTT CONSTRUCTION, INC.
4415 River Dr N
Great Falls, Mt 59405
(408) 761-0018

WEDGWOOD
ARCHITECTURAL SERVICES
Lyle Andrew Bremmeyer, Architect
7600 N.E. 41st Street, Suite #330
Vancouver, Washington 98662
(360) 892-9090
FAX (360) 892-2146
AndyB@WedwoodServices.com

STATES LICENSED:
Washington Wyoming
Oregon New Mexico
Michigan Texas
Colorado Arizona
Florida Nevada
Utah Montana
Georgia Missouri
Idaho Illinois

Springhill Suites
132-Unit Hotel

3rd Street NW
Great Falls, Montana

SCALE: 3/32"=1'-0"
DATE OF ISSUE: May 16, 2016

DESIGN DOCUMENTS	APPROVAL	DATE	SUBJECT
APPROVAL			
PERMIT DOCUMENTS			
BID DOCUMENTS			
CONTRACT DOC.			
REVISIONS			
#	DATE	SUBJECT	
1			
2			
3			

EXTERIOR ELEVATIONS

SHEET NO.
A3-1

PROJECT NO.
1506

SPRINGHILL SUITES

MARRIOTT



FRONT ELEVATION



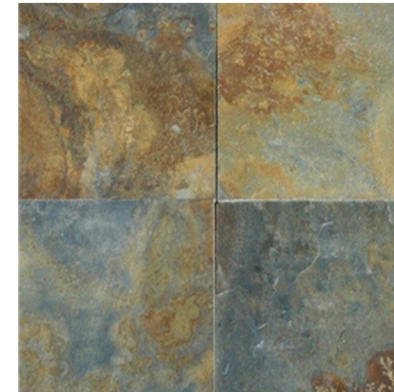
HARDIE PANEL VERTICAL SIDING
BOARD & BATTEN
SELECT CEDARMILL
TIMBER BARK



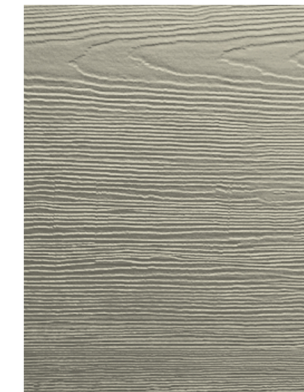
HARDIE SHINGLE SIDING
STAGGERED EDGE PANEL
IRON GRAY



HARDIE PLANK LAP SIDING
SELECT CEDARMILL
MONTEREY TAUPE



20X20 MULTICOLOR SOLID
POLISHED FINISH SLATE WALL
TILES IN A SQUARE PATTERN



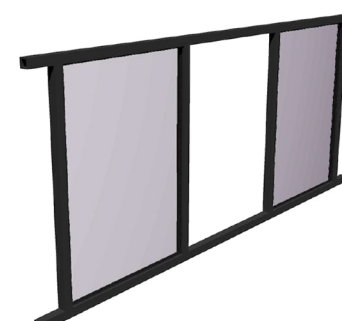
HARDIE PANEL TRIM BOARD
SELECT CEDARMILL
COBBLE STONE



BLACK POWDER COATED STEEL
METAL ACCENTS, CANOPIES,
METAL COPING AND TRIM



INSULATED ALUMINUM WINDOWS
BLACK POWDER COAT FINISH



ALUMINUM STOREFRONT
BLACK POWDER COAT FINISH
TO MATCH WINDOWS



INSULATED GLASS
HIGH PERFORMANCE REFLECTIVE
COATING

DATE: 06/10/16
DRAWN BY: Author

SHEET NUMBER: A1.0

GREAT FALLS, MONTANA

WEST BANK LANDING PHASE 1
MARRIOTT SPRINGHILL SUITES

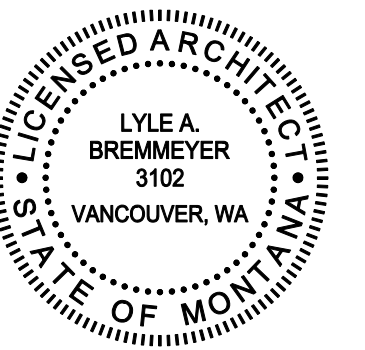
SHEET TITLE:



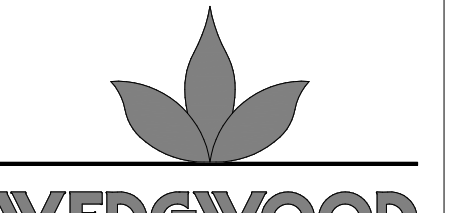
L'Heureux
Page Werner
ARCHITECTURE
&
ENGINEERING

15 fifth St So
Great Falls MT 59401

406 771 0770



JAMES ALCOTT CONSTRUCTION, INC.
 4415 River Dr N
 Great Falls, MT 59405
 (406) 761-0018



ARCHITECTURAL SERVICES
 Lyle Andrew Bremmeyer, Architect
 7600 N.E. 41st Street, Suite #330
 Vancouver, Washington 98662
 (360) 892-9090
 FAX (360) 892-2146
 AndyB@WedgwoodServices.com

STATES LICENSED:
 Washington Wyoming
 Oregon New Mexico
 Michigan Texas
 Colorado Arizona
 Florida Nevada
 Utah Montana
 Georgia Missouri
 Idaho Illinois

Springhill Suites
 132-Unit Hotel

3rd Street NW
 Great Falls, Montana

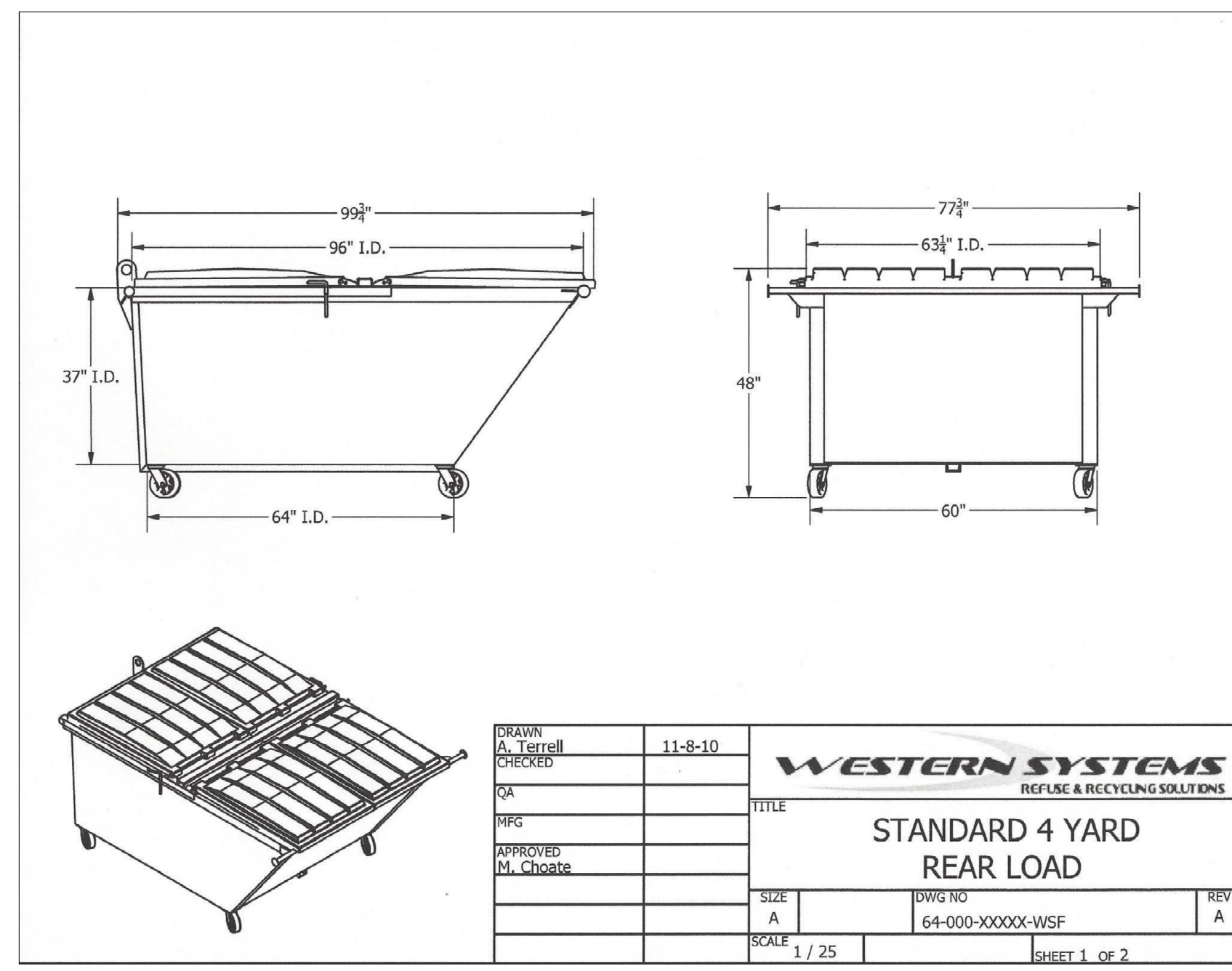
SCALE: 1/4" = 1'-0"
 DATE OF ISSUE: May 12, 2016

DESIGN DOCUMENTS	APPROVAL
APPROVAL	APPROVAL
PERMIT DOCUMENTS	BID DOCUMENTS
CONTRACT DOC.	REVISIONS
	DATE SUBJECT

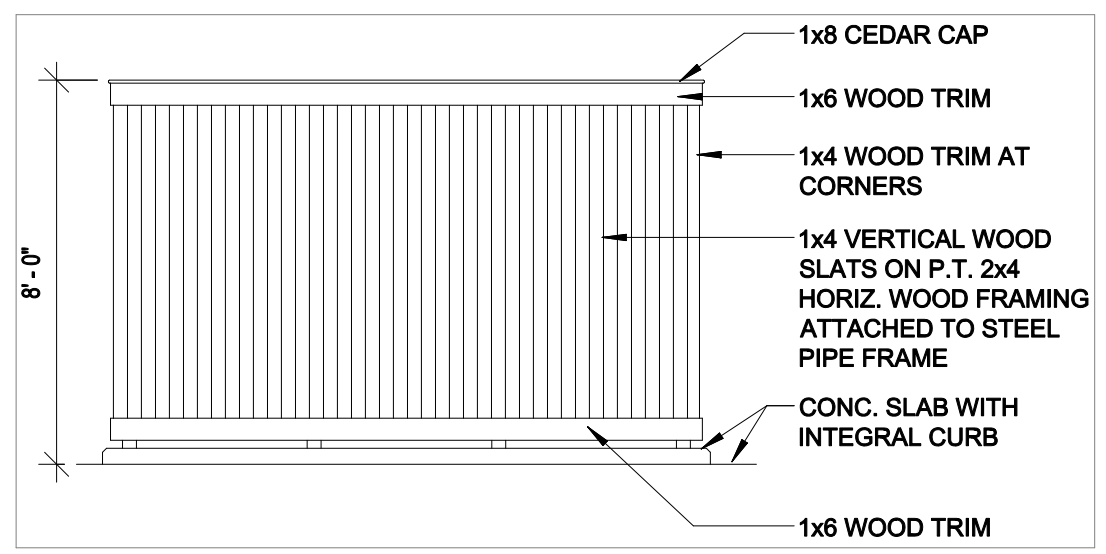
SITE DETAILS

SHEET NO.
A1-2
 PROJECT NO.
 1506

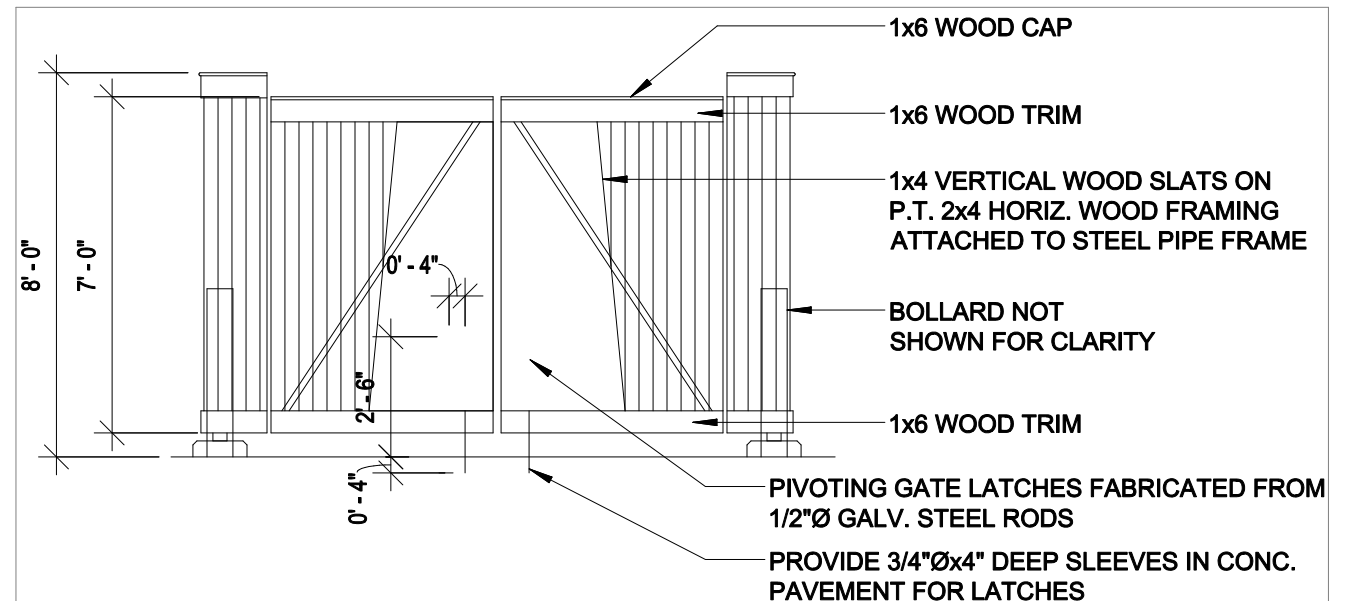
REFERENCE NOTES
 A. REFER TO DESIGN STANDARDS "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET.



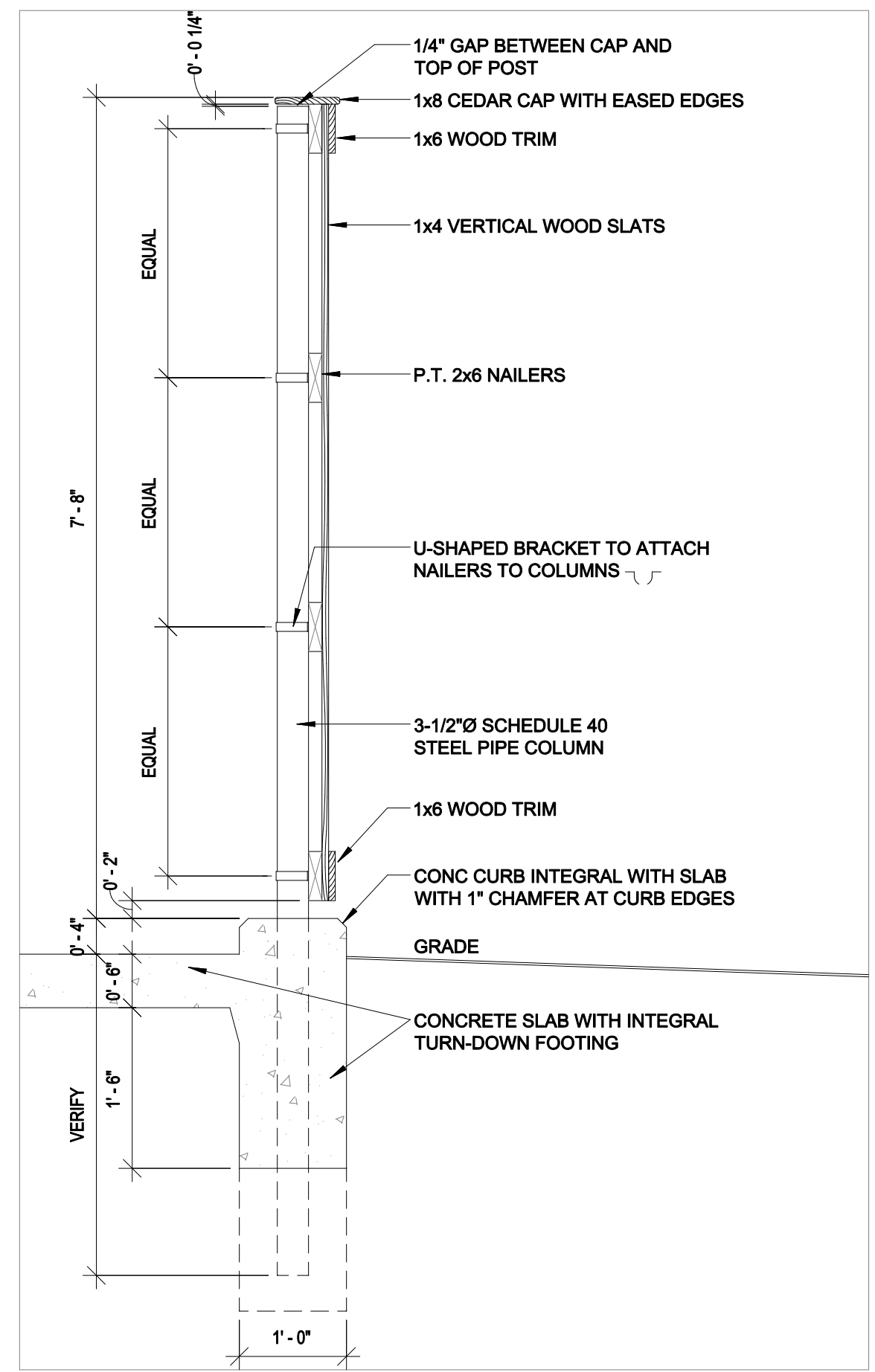
5 TRASH DUMPSTER
 As per Ross Bartell
 Sanitation Supervisor
 City of Great Falls, MT



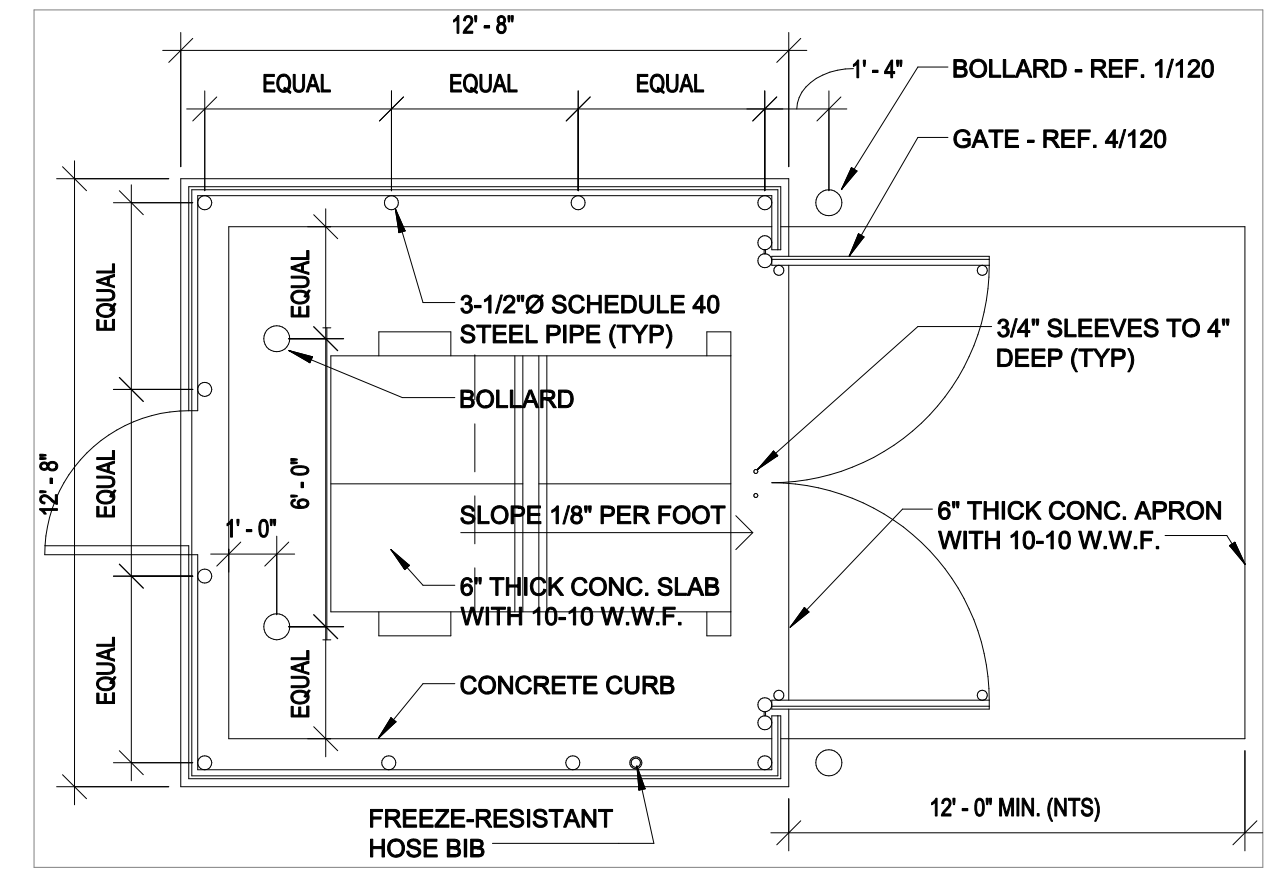
3 TRASH ENCLOSURE SIDE AND REAR ELEVATION
 SCALE: 1/4" = 1'-0"



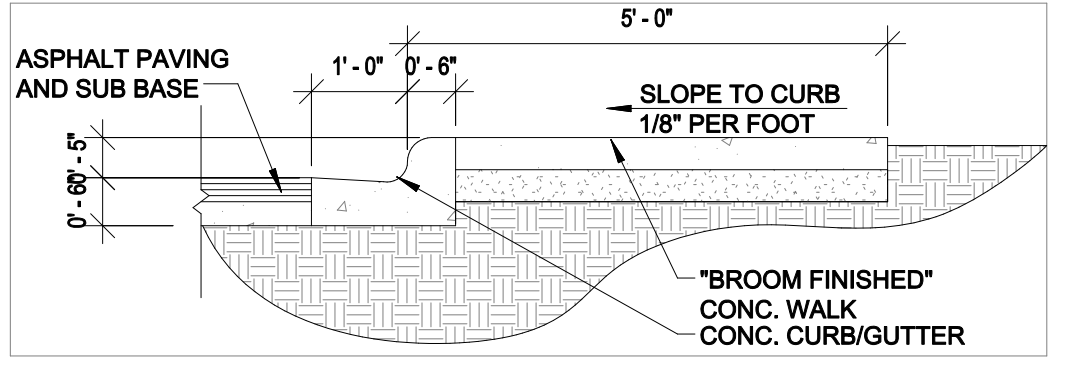
2 TRASH ENCLOSURE FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



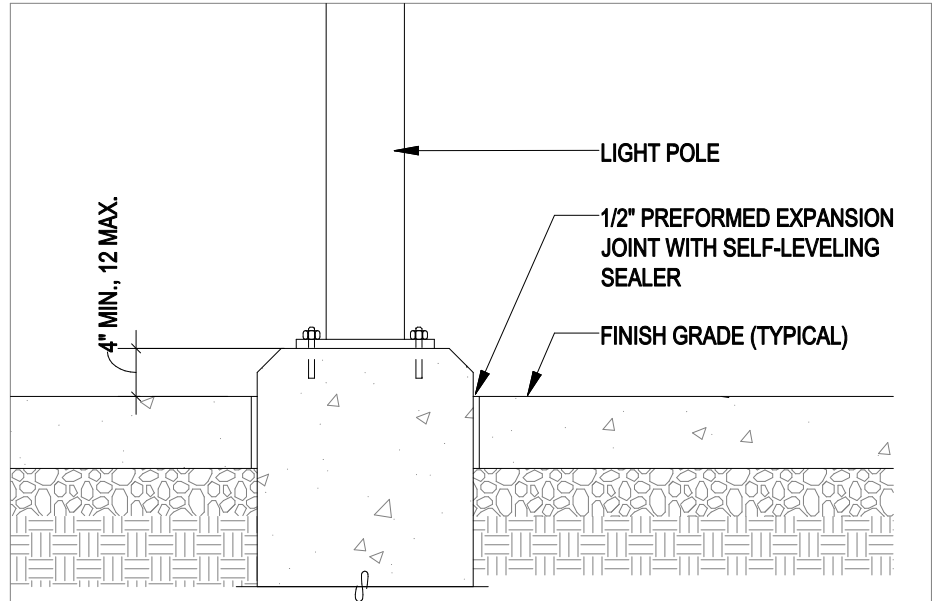
4 TRASH ENCLOSURE SECTION
 SCALE: 3/4" = 1'-0"



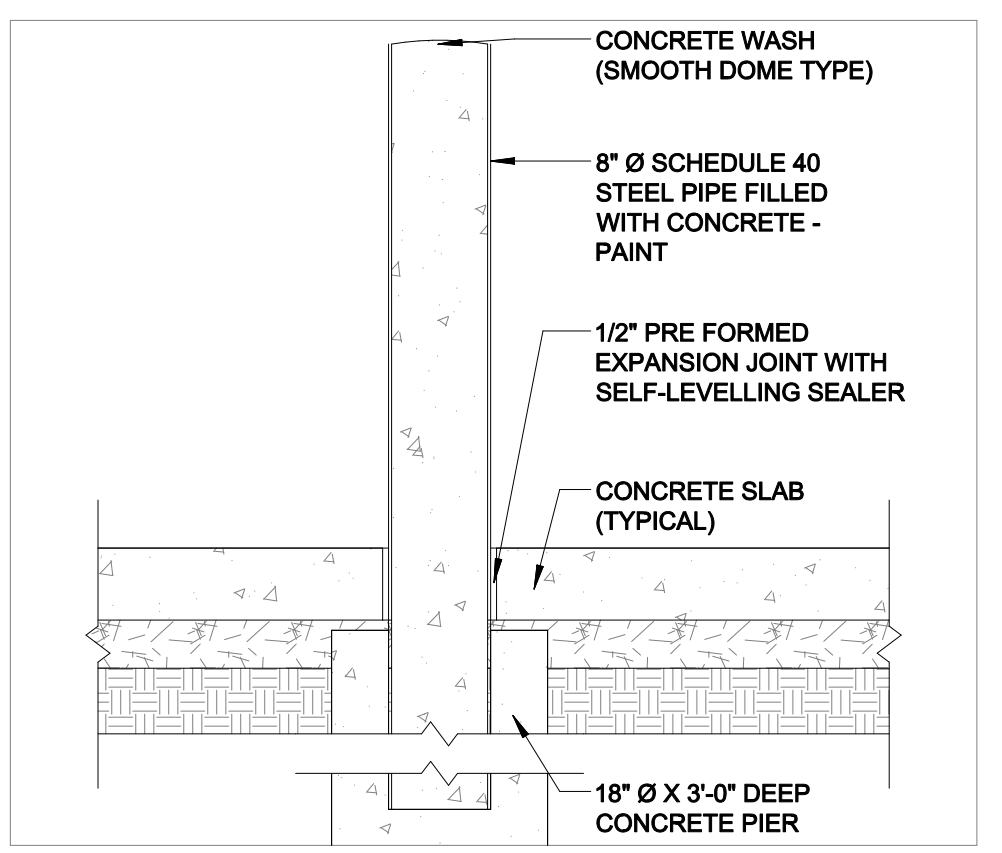
1 TRASH ENCLOSURE PLAN
 SCALE: 1/4" = 1'-0"



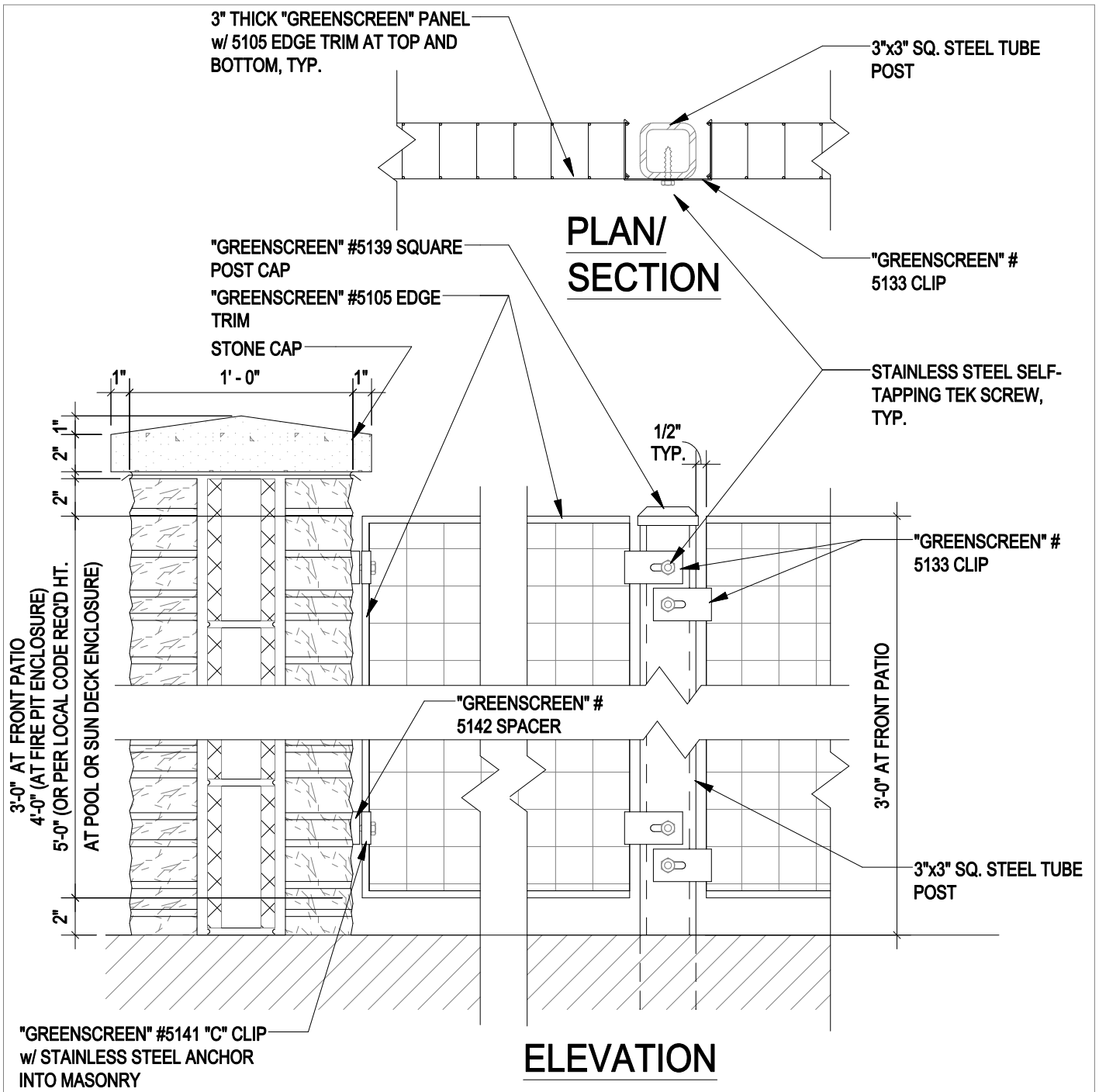
8 SIDEWALK CURB DETAIL
 SCALE: 1/2" = 1'-0"



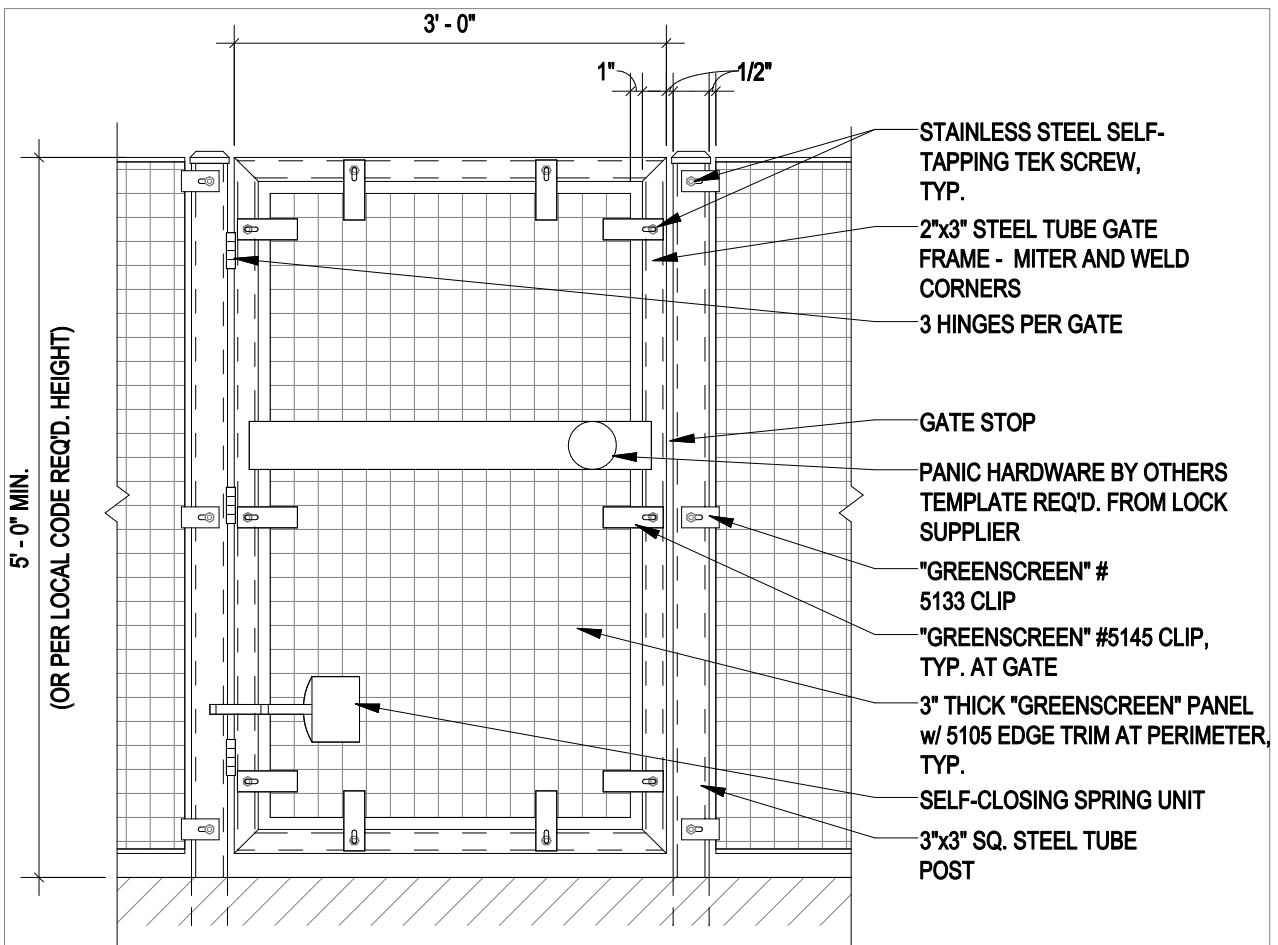
7 LIGHT POLE DETAIL
 SCALE: 3/4" = 1'-0"



6 BOLLARD DETAIL
 SCALE: 3/4" = 1'-0"



10 SCREEN WALL DETAIL
 SCALE: 1 1/2" = 1'-0"



9 SCREEN WALL GATE DETAIL
 SCALE: 3/4" = 1'-0"

4 TRASH ENCLOSURE SECTION
 SCALE: 3/4" = 1'-0"

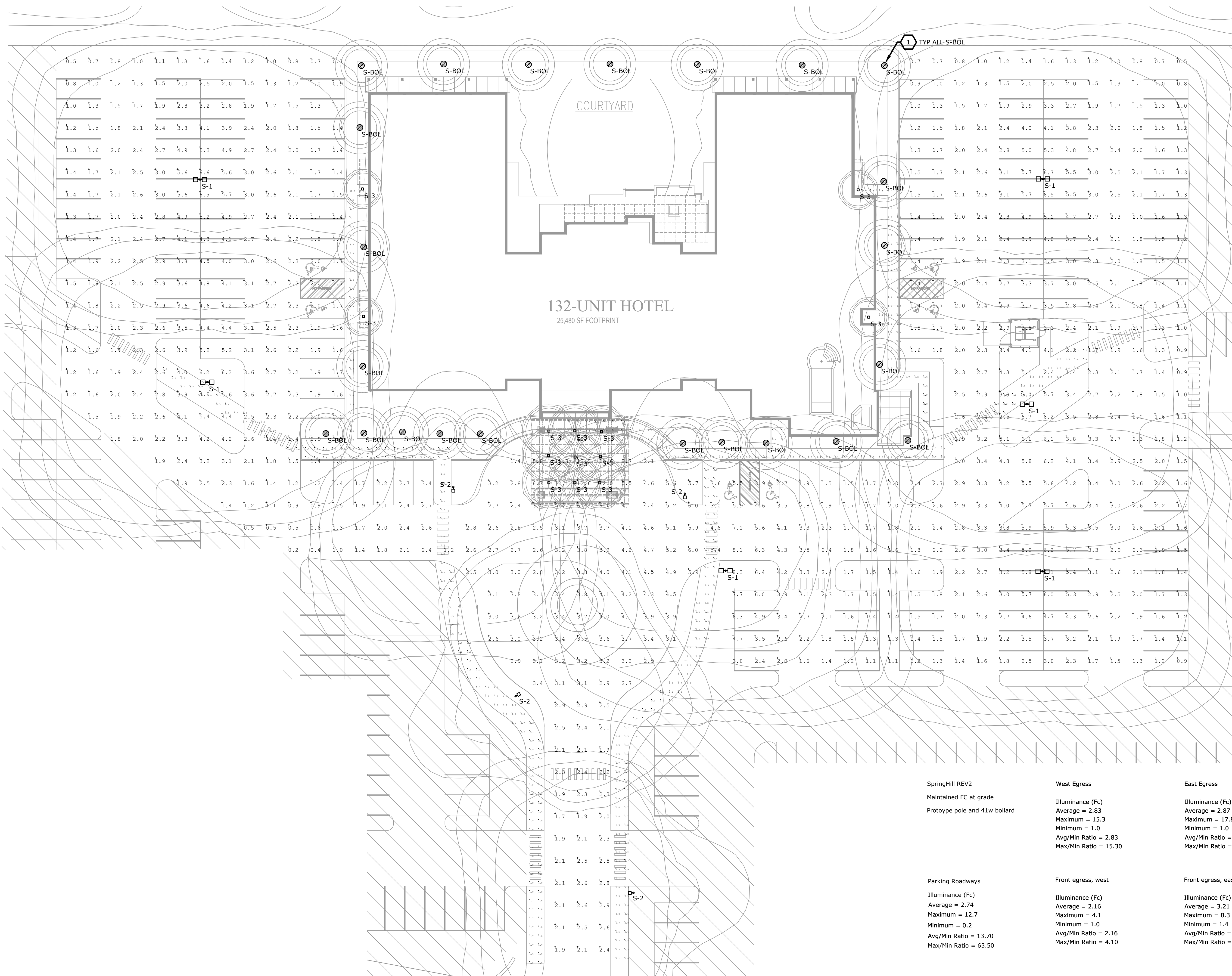
SHEET NOTES

1.

KEY NOTES

1 SITE BOLLARD TYPE BRM830-CW-360-BRP

PRELIMINARY
NOT FOR
CONSTRUCTION

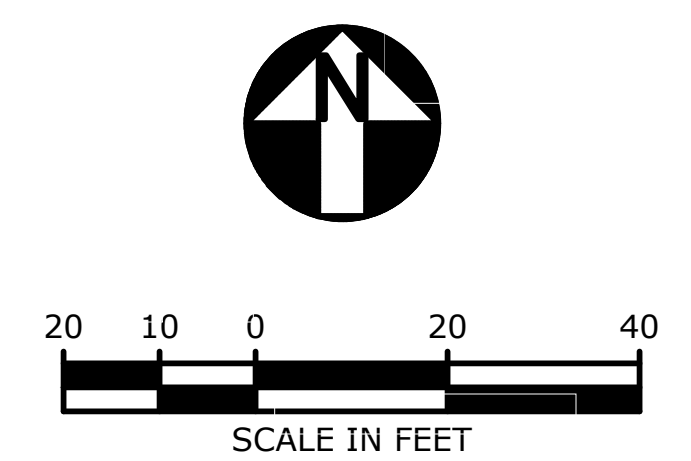


132-UNIT HOTEL
25,480 SF FOOTPRINT

SpringHill REV2	West Egress	East Egress
Maintained FC at grade	Illuminance (Fc) Average = 2.83 Maximum = 15.3 Minimum = 1.0 Avg/Min Ratio = 2.83 Max/Min Ratio = 15.30	Illuminance (Fc) Average = 2.87 Maximum = 17.8 Minimum = 1.0 Avg/Min Ratio = 2.87 Max/Min Ratio = 17.80
Prototype pole and 41w bollard		

Parking Roadways	Front egress, west	Front egress, east
Illuminance (Fc) Average = 2.74 Maximum = 12.7 Minimum = 0.2 Avg/Min Ratio = 13.70 Max/Min Ratio = 63.50	Illuminance (Fc) Average = 2.16 Maximum = 4.1 Minimum = 1.0 Avg/Min Ratio = 2.16 Max/Min Ratio = 4.10	Illuminance (Fc) Average = 3.21 Maximum = 8.3 Minimum = 1.4 Avg/Min Ratio = 2.29 Max/Min Ratio = 5.93

SITE PHOTOMETRICS PLAN
SCALE: 1"=20'-0"



**JAMES
ALCOTT
CONSTRUCTION, INC.**
4415 River Dr N
Great Falls, MT 59405
(406) 761-0018

WEDGWOOD
ARCHITECTURAL SERVICES
Lyle Andrew Bremmeyer, Architect
7600 N.E. 41st Street, Suite #330
Vancouver, Washington 98662
(360) 892-9090
FAX (360) 256-2366
www.WedwoodServices.com

STATES LICENSED:
Washington Wyoming
Oregon New Mexico
Michigan Texas
Colorado Arizona
Florida Nevada
Utah Montana
Georgia Missouri
Idaho Illinois

Springhill Suites
132 Unit Hotel

3rd Street NW
Great Falls, Montana

SCALE: 3/32"=1'-0"
DATE OF ISSUE: June 17, 2015

DESIGN DOCUMENTS		
DESIGN DOCUMENTS	_____	
APPROVAL	_____	
PERMIT DOCUMENTS	_____	
BID DOCUMENTS	_____	
CONTRACT DOC.	_____	
REVISIONS		
#	DATE	SUBJECT
1	11/26/15	DESIGN DEVELOPMENT

SITE PHOTOMETRICS PLAN

SHEET NO.
EK 100

PROJECT NO.
15124

MONUMENT SPECIFICATIONS

Monument Specifications:

Construction: Aluminum angle frame with .125" aluminum shoe-box style faces

Face Construction: Routed aluminum with backer panel

Retainer: Bleed face

Illumination: White LED's

Exterior Finish: Paint Matthews MAP-LVS929 Carbon Black, satin finish (or Pantone® 7545 C, satin finish for slate blue option) and Pantone® 877 C Silver, satin finish

Interior Finish: Paint reflective white

Monument Face Specifications:

Face Construction: Routed aluminum with backer panel

Face Decoration: Paint Matthews MAP-LVS929 Carbon Black, satin finish (or Pantone® 7545 C, satin finish for slate blue option)

Backer Panel: .118" white solar grade polycarbonate

* "SpringHill Suites" and "Marriott" to appear white during the day and to illuminate white at nighttime.

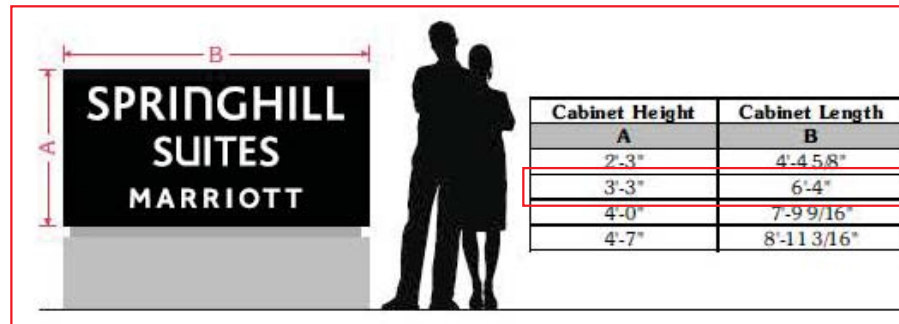
Pole Cover Specifications:

* Preferred method to have monument base match building hardscape (stone, brick, etc., provided by general contractor)

Construction: Aluminum angle frame with .080" aluminum skins

Exterior Finish: Paint Matthews 41342SP Brushed Aluminum, satin finish

** If optional brand color is used, all other freestanding signs must be the brand color as well. This includes mid-rise signs, monument signs, and directional signs.



Cabinet Height	Cabinet Length
C	D
2'-3"	10'-6"
2'-6"	11'-8"
3'-0"	14'-0"
3'-6"	16'-4"



** Shown above in the slate blue option. Available in all sizes.



** Shown above in the slate blue option. Available in all sizes.

CHANNEL LETTER SPECIFICATIONS

Channel Letter Specifications:

Construction: .050" aluminum channel letter with .063" aluminum backs

Face Material: 3/16" 2447 white acrylic

Trim Cap: 1" black

Illumination: White LED's as required

Exterior Finish: Pre-finished black

Interior Finish: Paint reflective white

Channel Letter Face Specifications:

Face Material: 3/16" 2447 white acrylic

Decoration: 3M 3635-222 Matte Black dual-color film applied to 1st surface to appear black during the day and illuminate white at night



	"S" Height A	"M" Height B	Overall Height C	Overall Length D
SHS CL 24	24"	13 1/2"	4'-6 11/16"	25'-0 11/16"
SHS CL 30	30"	16 7/8"	5'-8 3/8"	31'-3 7/8"
SHS CL 36	36"	20 1/4"	6'-10 1/16"	37'-7"
SHS CL 48	48"	27"	9'-1 7/16"	50'-1 3/8"



Daytime Appearance



Nighttime Appearance



Side Profile



Detail E

For Light Colored Building Backgrounds | "SpringHill Suites" letters to appear green during the day and illuminate white at night.

CHANNEL LETTER LAYOUTS

Channel letters are available in three layouts. Left justified, center justified and right justified. The layout is dependent upon where the letters are placed on the building elevation.

Left Justified

Letters that are installed on the left end of a building elevation or architectural feature should be left justified.

Center Justified

Letters that are centered on the building elevation or architectural feature should be center justified.

Right Justified

Letters that are installed on the right end of a building elevation or architectural feature should be right justified.

SPRINGHILL SUITES
MARRIOTT

SPRINGHILL
SUITES
MARRIOTT

SPRINGHILL SUITES
MARRIOTT

SPRINGHILL
SUITES
MARRIOTT

SPRINGHILL SUITES
MARRIOTT

SPRINGHILL
SUITES
MARRIOTT