

DESIGN REVIEW BOARD

June 13, 2016

Case Number

DRB2016-10

Owner/Applicant

Galloway Investments Inc.

Applicant Representative

Steven Galloway

Property Location

On the corner of Fox Farm Road and Alder Drive.

Requested Action

Design Review for changes to the facade of the building and site layout.

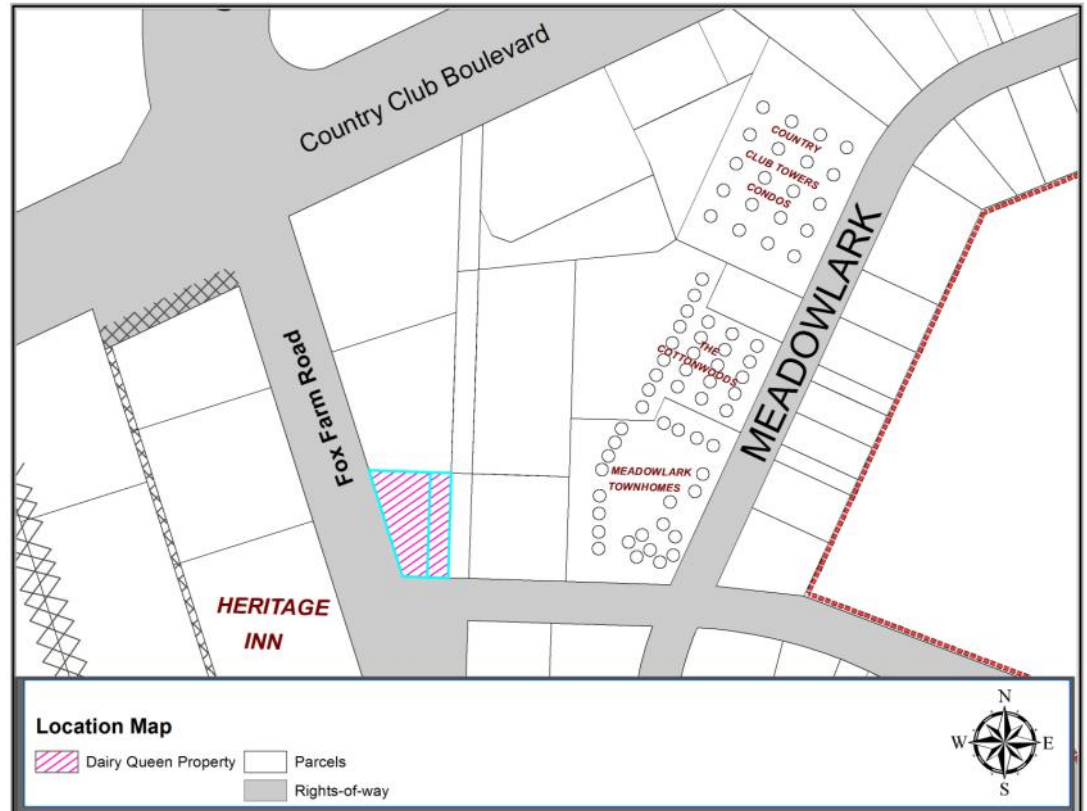
Recommendation

Approve the submitted design with conditions

Project Planner

Erin Borland

DAIRY QUEEN - 1651 FOX FARM ROAD



Project Description

The applicant is proposing the construction of a new facade and changes to the existing building, with the addition of a new cooler, freezer and trash enclosure area. A reconfigured parking lot and drive thru are also proposed along with the addition of new landscaping.

Background

- Legal Description: Lot 1A, Tietjen Triangle, of Section 14, Township 20 North, Range 3 East, P.M. MT
- Property Zoning: C-1 Neighborhood commercial
- Parcel Area: ±13,716 square feet or ±0.31 acres
- Structure Size: Existing Building ± 2,086 square feet
Proposed Additions ± 361 square feet

New Construction: Exhibit 28-1 Standards and Guidelines for specific projects and buildings

The applicant is proposing renovation to the existing building and site to meet the current franchise requirements. The façade upgrade has been designed with a stone accent exterior finish with a new color palette as shown in the development drawings provided. The two story building renovation has been designed to match the current franchise standards located at the other existing Dairy Queen restaurants in town. The trash enclosure, located at the northeast corner of the property, will be incorporated into the building of the new cooler and freezer. The walls will be extended to include the trash enclosure with a chain link gate for access. Details and an example are provided in the attached Development Plans.

Conformance with Title 17

The pre-existing site was developed under prior code requirements, therefore classifying the site as non conforming. The proposed project will bring the site closer to conformance with the relevant requirements of Title 17 - Land Development Code, of the Official Code of the City of Great Falls (OCCGF), including but not limited to zoning, setbacks, building height and lot coverage.

The OCCGF requires 1 parking space per 2.5 seats plus 1 per employee per shift. The restaurant provides 43 seats with a minimum of 2 employees per shift. This would require a total of 19 spaces. The OCCGF further requires that if the total number of required parking spaces is between 1 to 25 spaces then a minimum of 1 accessible space is required. The applicant has submitted an application for a design waiver requesting the use of 9 foot wide spaces by 19 foot long spaces rather than the standard 10 foot wide spaces by 19 foot long spaces. This design waiver has been approved by Staff to keep spaces out of the public right of way. The site plan includes the conceptual parking layout showing 18 parking spaces, 2 of which are compact spaces and 1 will be ADA accessible. In addition, the applicant is proposing bicycle parking which may substitute for five percent of the required number of vehicle parking spaces. The bicycle parking will account for one vehicle parking space which will bring the total into conformance with Title 17. The proposed drive thru will utilize the existing circulation and meets the stacking requirements. The applicant has proposed curbing in order to establish the drive thru lane and define the property boundary. The applicant will also be utilizing the existing sidewalks around the building, adding a sidewalk and crosswalk for connectivity in the parking lot, as well as incorporating a new slab for the existing patio.

The applicant has existing outdoor lighting which will require minor modification. There are existing pole lights that will remain as well as the relocation of an existing pole light which is shown in the attached development plans. The applicant will also be proposing new building mounted lights. The specifications of these lights are required to be submitted to ensure compliance with Chapter 40 of the OCCGF.

The proposed landscaping will bring the site closer to compliance with Title 17, Chapter 44 - Landscaping of the OCCGF. Paved or nonliving surfaces are currently the dominant texture within the interior of the site, with existing cement walkways surrounding the building, asphalt parking and drive aisle, an asphalt drive thru lane, and rock mulch in all landscape beds. The exterior of the site is proposed to be softened by landscaping including sod, landscape beds and ornamental trees. Due to visibility of Fox Farm Road from the drive thru exit and site size constraints, Staff has recommended that boulevard trees not be required along Fox Farm Road.

Title 17, Chapter 44 – Landscaping, requires a minimum of one (1) tree and seven (7) shrubs planted and maintained per four hundred (400) square feet, or fraction thereof, of required interior landscaping. For this site, there are 5 interior trees and 35 shrubs required to be installed. The landscaping plan submitted does not meet the required rate of planting, but brings the non conforming site closer to compliance with Chapter 44. Staff has recommended additional planting along the patio area for aesthetics due to the location along Fox Farm Road. The City Forester has reviewed the landscaping plan and has approved the plan with no recommended changes.

The applicant is proposing new signage on the façade of the building to be consistent with the new franchise requirements as well as adding small wall signs. This proposed signage will be reviewed under a separate application. The existing pole signs on the property are not being altered with this petition.

Recommendation

Staff supports this application and recommends the Design Review Board approve the submitted design with conditions.

Suggested Motion

Board Member moves:

“I move that the Design Review Board (approve/approve with conditions) the Design Review Application for the façade update and layout construction of Dairy Queen, located at 1651 Fox Farm Road, as shown in the conceptual development plans contained within this report and provided by the Applicant, subject to the following conditions:

- A. The proposed project shall be developed consistent with the conditions in this staff report, all codes and ordinances of the City of Great Falls, the State of Montana, and all other applicable regulatory agencies.
- B. If after the approval of the concept development plan as amended by this Board, the owner proposes to expand or modify the conceptual development plans, the Director of the Planning and Community Development Department shall determine in writing if such proposed change would alter the concept for one or more review criteria. If such proposed change would alter the plan, the proposal shall be resubmitted for review as a new application.
- C. The applicant will provide specifications of new building mounted lighting for approval from Staff.
- D. Additional landscaped beds and shrub plantings shall be added to soften the proposed patio area along Fox Farm Road.

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- 2. Chairman calls for a second, discussion, inquiries from the public, and calls the vote.

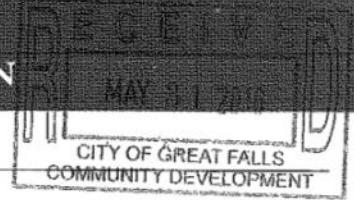
CC Dave Dobbs, City Engineering
Patty Cadwell, Neighborhood Council Coordinator
Todd Seymanski, City Forester
Steven Galloway, Galloway Inv. Inc., representative, segdreams@yahoo.com

EXHIBIT A - APPLICATION

CITY OF GREAT FALLS
PLANNING & COMMUNITY DEVELOPMENT DEPT.
P.O. BOX 5021, GREAT FALLS, MT, 59403-5021
406.455.8430 • WWW.GREATFALLSMT.NET

Submittal Date: _____
Application Number _____

DESIGN REVIEW BOARD APPLICATION



Fox Farm DQ.
Name of Project / Proposed Use:

Ballouay Inv. Inc (Steven & Lola Ballouay)
Owner Name:

310 - 65750. of mt 59405
Mailing Address:

406 453 5413 Phone: segdreams@yahoo.com Email:

Steven E Ballouay
Representative Name:

same
Mailing Address:

same Phone: segdreams@yahoo.com Email:

PROJECT LOCATION:
1651 Fox Farm Road
Site Address:

13,716
Sq. Ft. of Property: Sq. Ft. of Structure:

LEGAL DESCRIPTION

S 14, T 20 N, R 03 E, Lot 01A TIETJEN Triangle
Mark/Lot: Section: Township/Block Range/Addition

I (We), the undersigned, attest that the above information is true and correct to the best of my (our) knowledge. Further, I (We) owner of said property authorize the above listed representative to act as my agent in this application.

[Signature] 5/27/16
Property Owner's Signature: Date:

[Signature] 5/27/16
Representative's Signature: Date:

EXHIBIT B - PROJECT NARRATIVE

This project is the remodel of the Fox Farm Dairy Queen. The project scope is to renovate the existing building and site to meet the current requirements of our franchiser International Dairy Queen. This will include the rearranging and updating of the existing floor layout, renovation of the exterior of the building, and updating the parking lot, landscaping, and drive thru.

The site had a building constructed originally in 1975. The building was set on fire in 1990 and renovated to the existing structure standing there today. We are going to bring new life to this corner lot with the proposed renovations.

EXHIBIT C - AERIAL MAP



-  Dairy Queen Property
-  City Limits
-  Tracts of Land

160 80 0 160 Feet



EXHIBIT D - SITE PHOTOGRAPHS (JUNE 2016)



View looking north from Alder Drive.



View looking south along Fox Farm Road showing the drive thru lane and the access drive off of Fox Farm Road.



View looking north from the curb cut on Alder Drive. This is the existing drive thru that will be revised.

EXHIBIT E - DESIGN WAIVER

RECEIVED
JUN - 3 2016

CITY OF GREAT FALLS
 PLANNING & COMMUNITY DEVELOPMENT DEPT.
 P.O. BOX 5021, GREAT FALLS, MT, 59403-5021
 406.455.8415 • WWW.GREATFALLSMT.NET

DESIGN WAIVER APPLICATION

Steven + Lori Galloway
 Owner/Representative Name:
406-453-5413
 Phone:

6-3-16
 Submittal Date:
DRP2016-10
 Application Number:

310 6th St. S Great Falls MT 59405
 Mailing Address:

PROPERTY LOCATION:

O1A S14 T20N R03 E
 Mark / Lot: Section: Township/Block: Range/Addition:

1651 Fox Farm Road Great Falls, MT 59404
 Street Address:

ZONING:

LAND USE

C-2 C-2 _____ _____
 Current: Proposed: Current: Proposed:

PROJECT DESCRIPTION/REQUEST: (ATTACH ADDITIONAL INFO AS REQUIRED SEE CHECKLIST)

Renovation of FFDQ. Due to the size + shape of our lot it would make it possible to meet parking requirements by allowing 9'x19' parking stalls. Please allow our project to use this design criteria.

[Signature] 6/3/16
 Property Owner's Signature: Date:

I, Craig Raymond, Director of Planning and Community Development, hereby approve the above Design Waiver request.
[Signature] 6/3/16
 Director Approval Signature: Date:

DEVELOPMENT PLANS:

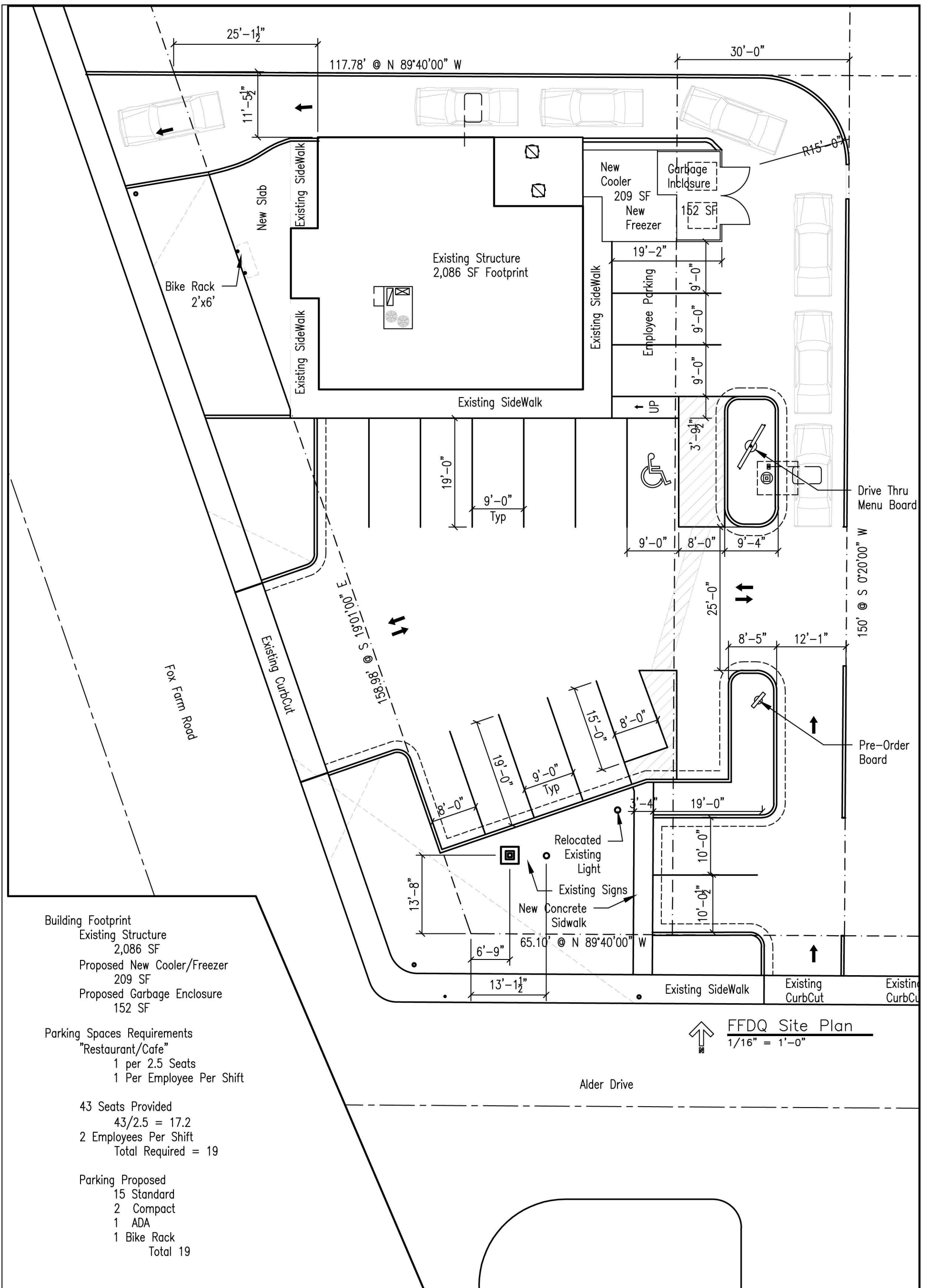
SITE PLAN

LANDSCAPING PLAN

BUILDING ELEVATIONS

COLOR PALETTE, TRASH ENCLOSURE

AND SIGNAGE PLAN



Building Footprint
 Existing Structure
 2,086 SF
 Proposed New Cooler/Freezer
 209 SF
 Proposed Garbage Enclosure
 152 SF

Parking Spaces Requirements
 "Restaurant/Cafe"
 1 per 2.5 Seats
 1 Per Employee Per Shift

43 Seats Provided
 $43/2.5 = 17.2$
 2 Employees Per Shift
 Total Required = 19

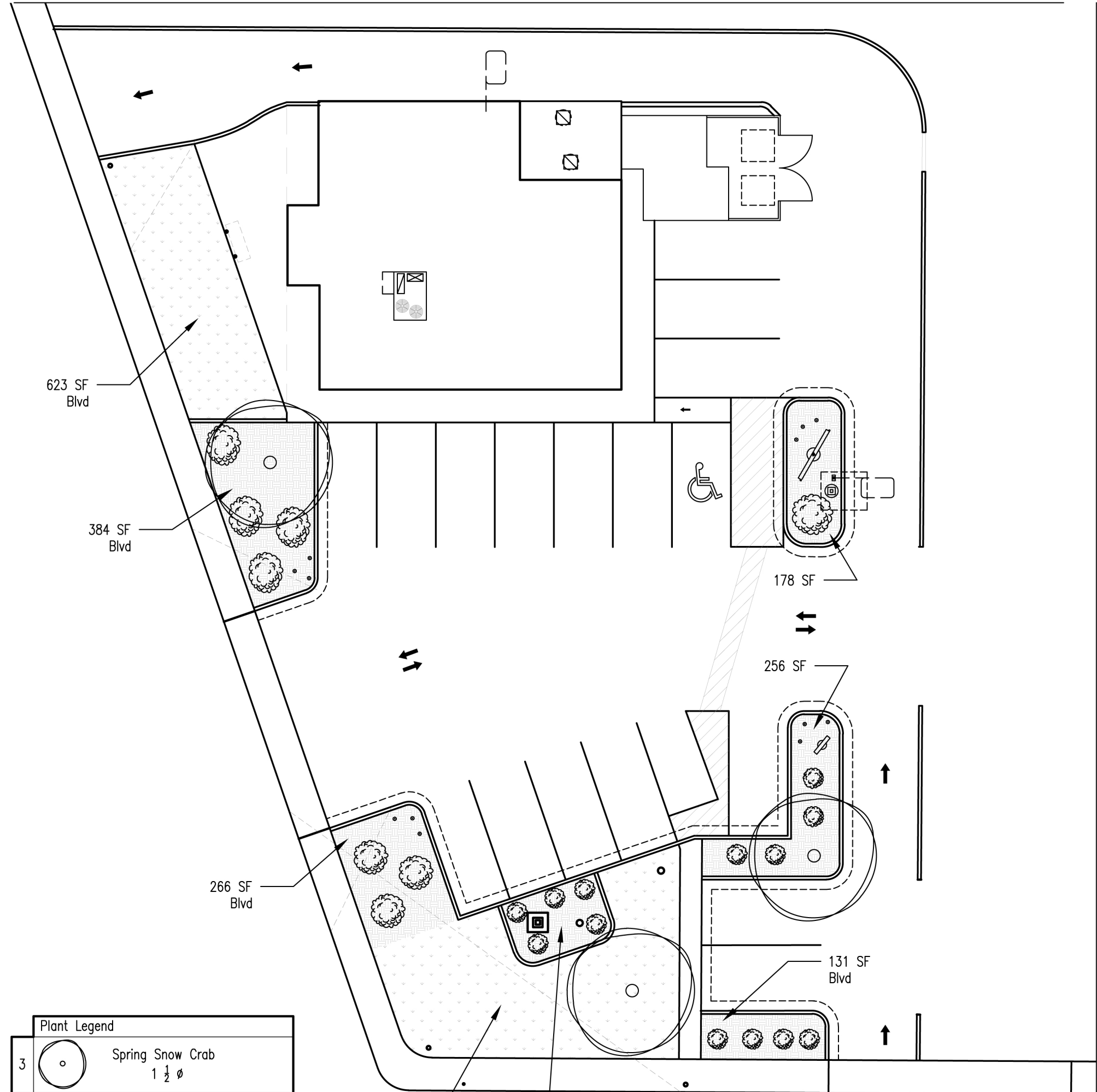
Parking Proposed
 15 Standard
 2 Compact
 1 ADA
 1 Bike Rack
 Total 19

PROJECT NO: 18118
CAD DWG FILE: A100 FFDQ SITE PLAN.DWG
DATE: June 7, 2016
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A100
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SHEET - OF 7

FOX FARM DAIRY QUEEN

Tietjen Triangle Addition
 S14, T20 N, R03 E, Lot 01A
 1651 Fox Farm Rd
 Great Falls, MT 59404



FFDQ LANDSCAPE PLAN
 1/16" = 1'-0"

Plant Legend	
3	Spring Snow Crab 1 1/2 Ø
8	Sirra Spreader Juniper 3 Gallon
6	Dwarf Spreader Anthony Water 2 Gallon
7	Setting Sun Potentilla 2 Gallon
12	Karl Forester Grass 2 Gallon
1,564 SF	Grass
1,215 SF	Wash Gravel

Lot SQFT - 13,715 SF
 Required Landscaping
 $13,715 * 15\% = 2,057.25$ SF
 Boulevard Landscaping
 1,900 SF
 $1,900 * 25\% = 475$ SF
 Proposed Landscaping
 1,017 SF
 Total Landscaping
 1,492 SF

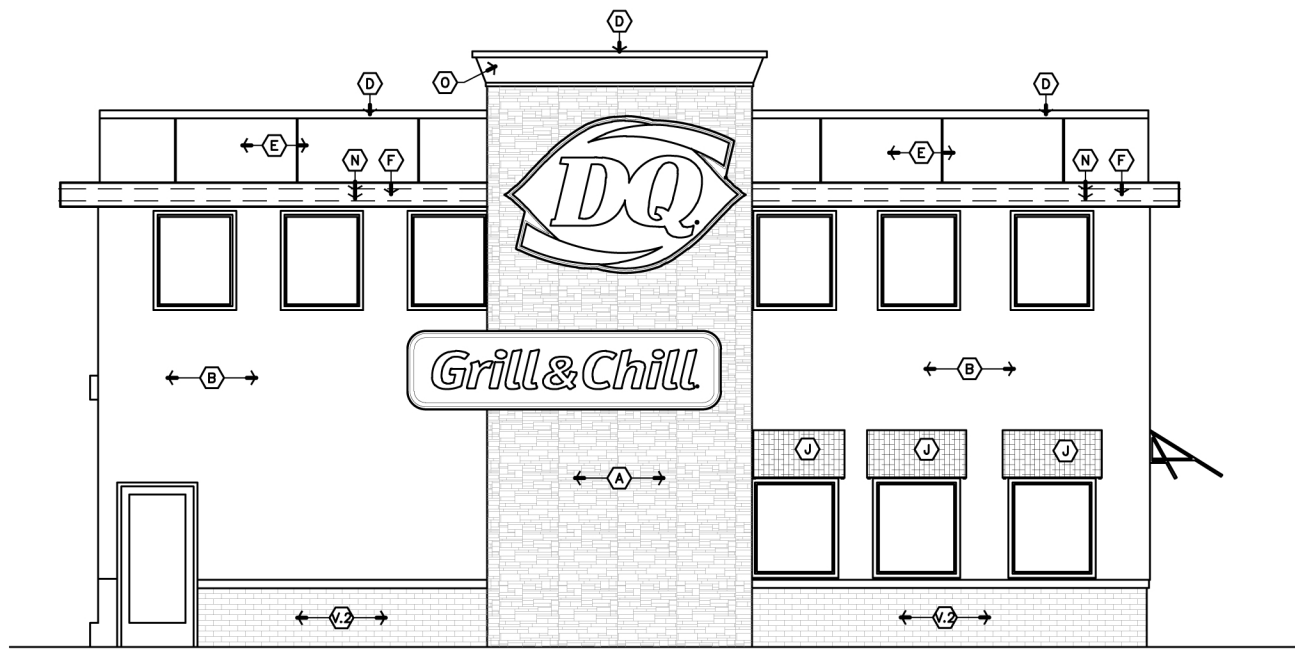
Required Trees & Shrubs
 Required Landscaping
 $13,715 * 15\% = 2,057.25$ SF
 Required Trees
 $2,057/400 = 5$
 Required Shrubs
 $2,057/400 = 5$
 $5 * 7 = 35$
 Proposed Trees & Shrubs
 See Plant Legend
 3 - Trees
 34 - Shrubs

PROJECT NO: 18118
 CAD DWG FILE: A100.1 LANDSCAPE PLAN.DWG
 DATE: June 7, 2016
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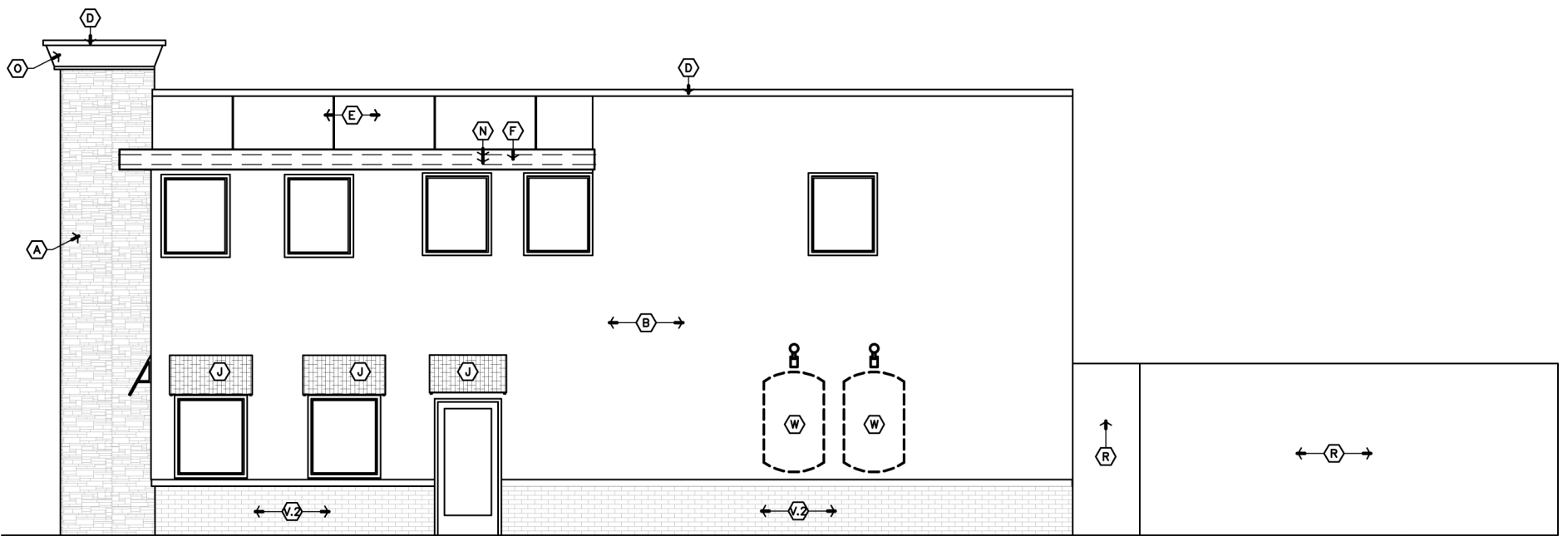
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 SHEET - OF 7

FOX FARM DAIRY QUEEN

Tietjen Triangle Addition
 S14, T20 N, R03 E, Lot 01A
 1651 Fox Farm Rd
 Great Falls, MT 59404

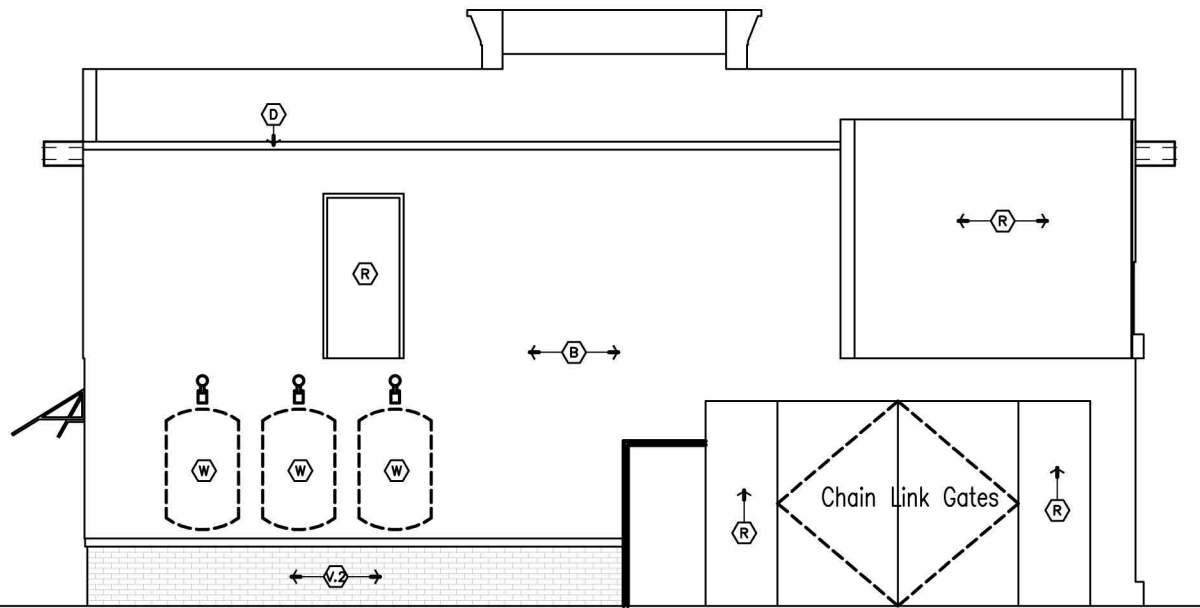


1 FFdq WEST ELEVATION
1/8" = 1'-0"

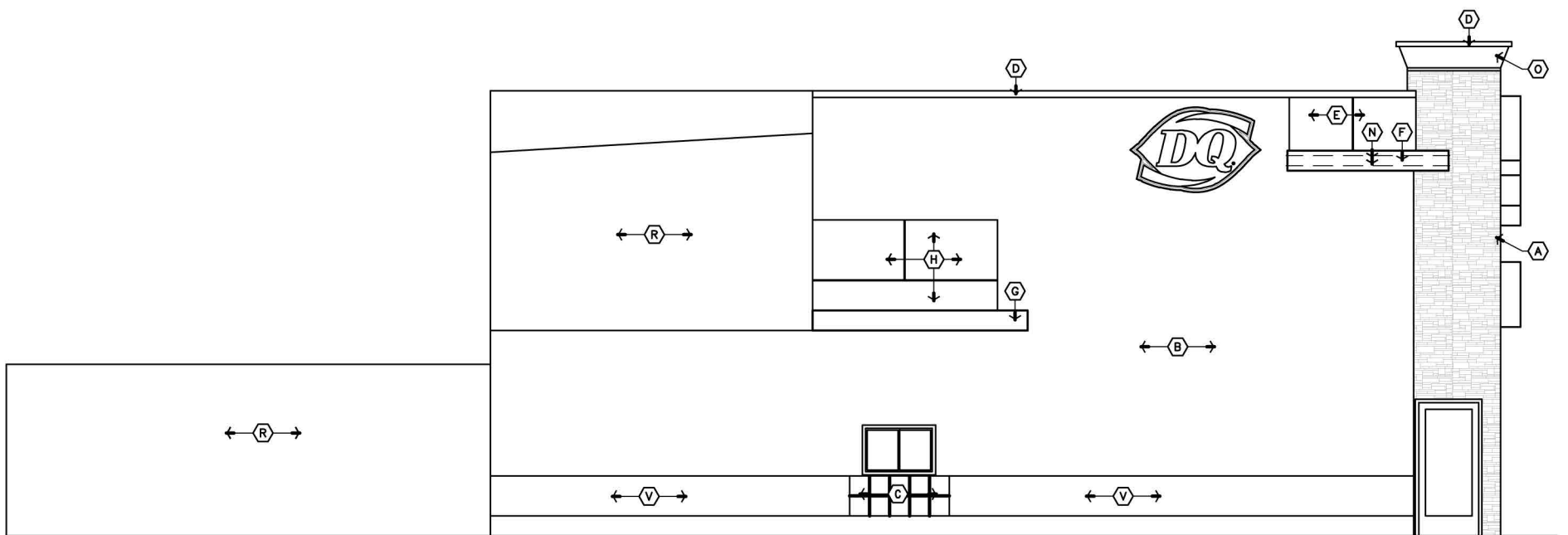


2 FFdq SOUTH ELEVATION
1/8" = 1'-0"

PROJECT NO: 18118	A201	<h1>FOX FARM DAIRY QUEEN</h1> <p>Tietjen Triangle Addition S14, T20 N, R03 E, Lot 01A 1651 Fox Farm Rd Great Falls, MT 59404</p>
CAD DWG FILE: A201 EXTERIOR ELEVATION.DWG		
DATE: June 7, 2016		
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1 FFdq EAST ELEVATION
1/8" = 1'-0"



2 FFdq NORTH ELEVATION
1/8" = 1'-0"

PROJECT NO: 18118	A202	<h1>FOX FARM DAIRY QUEEN</h1> <p>Tietjen Triangle Addition S14, T20 N, R03 E, Lot 01A 1651 Fox Farm Rd Great Falls, MT 59404</p>
CAD DWG FILE: A202 EXTERIOR ELEVATION.DWG		
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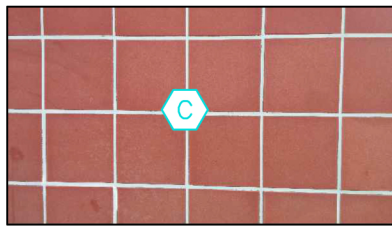


Material picture taken from NSDQ at 116 9th Street North



Example of Cooler, Freezer, and Garbage Inclosure. Picture taken at Dairy Queen in Minnesota

Supplier:	Sherwin Williams	Sample:	
Finish ID:	R		
Status:	Alternate		
Location:	Plant Building Main Color		
MGR:	Sherwin Williams		
Color:	Howe House Tan SW7000		
Finish:	Egg Shell		
Product:	Exterior Paint Low Lustre		



Supplier:	Dry-Vit Systems, Inc.	Sample:	
Finish ID:	V		
Status:	Alternate		
Location:	Accent EIFS		
MGR:	Dryvit		
Color:	DAGU021202		
Finish:	Sand Febble Fine		
Series:	Accent Finish High Impact		



Supplier:	Sherwin Williams	Sample:	
Finish ID:	V2		
Status:	Alternate		
Location:	Accent Polishing Paint over existing approved surface		
MGR:	Sherwin Williams		
Color:	Top Sat 6300		
Finish:	Egg Shell Low Lustre		
Related Items:	Primer on wood, block, or brick Primer on 1/2 in. or larger block		



Pre-Order Board



Drive Thru Menu Board



Wall Signage

PROJECT NO: 18118

CAD DWG FILE: A203 EXTERIOR FINISHES.DWG

DATE: June 7, 2016

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A203

A203

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FOX FARM DAIRY QUEEN

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Great Falls, MT 59404