

# DESIGN REVIEW BOARD

November 23, 2015

**Case Number**

DRB2015-30

**Applicant/Owner**

Great Falls Apartment, LLC

**Representative**

Jana Cooper, PLA - TD&H Engineering

**Property Location**

SW corner of the 21st Ave S and 23rd St S intersection, adjacent to Talus Phase I

**Requested Action**

Design Review of the second phase of the Talus Apartments complex

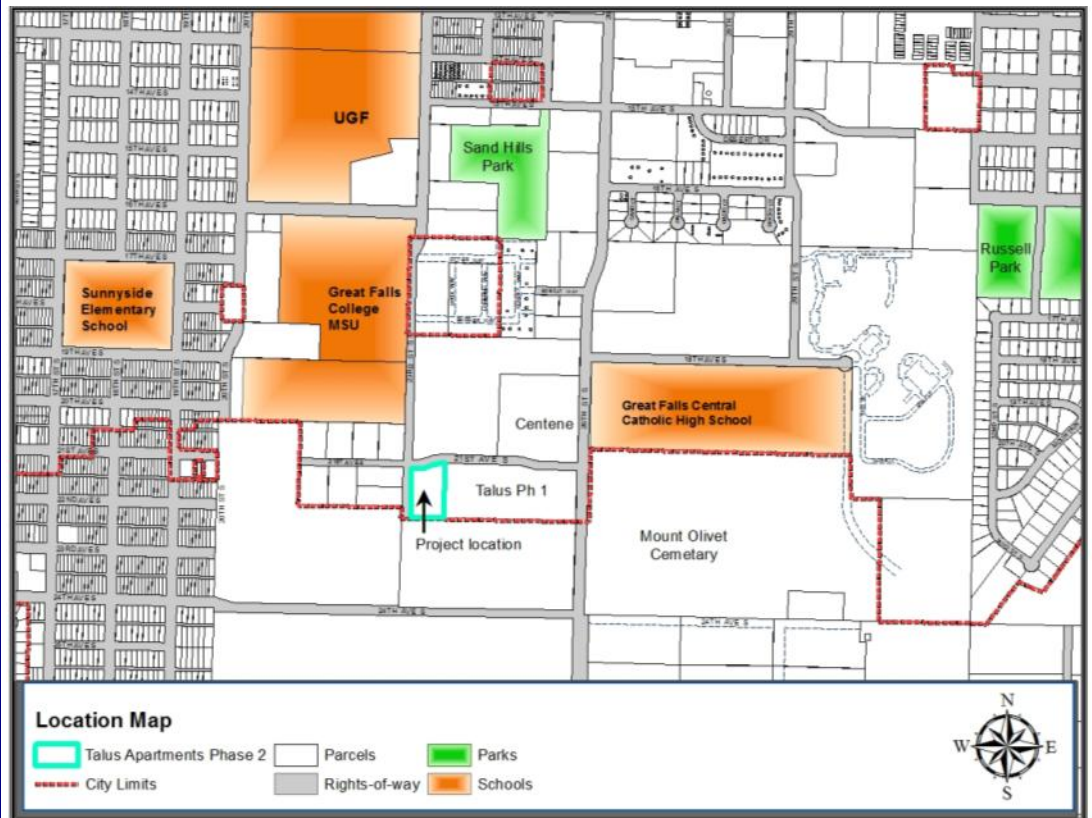
**Recommendation**

Approve design with conditions

**Project Planner**

Galen Steffens

## TALUS APARTMENTS—PHASE II 2103 & 2105 23RD STREET SOUTH



### Project Description

The applicant is proposing development of the second phase of the Talus Apartment complex, which will consist of two 36-unit buildings and related parking lot. The subject property was annexed in 2014 and is currently vacant. The new apartment complex will complement the Medical District, as well as both the University of Great Falls and Great Falls College MSU, by providing more diversity of housing stock and rental choices, and meeting an existing demand and need in the City.

### Background

- Legal Description: Lot 2A, Medical Tech Park Minor Subdivision, in the SE1/4, Section 18, T20N, R4E, P.M.M., Cascade County, Montana
- Property Area: ± 106,940 square feet or ± 2.45 acres
- Property Zoning: M-1 Mixed-use District

## Project Overview

### **New Construction: Exhibit 28-1 Standards and Guidelines for specific projects and buildings**

The proposed project complies with the guidelines for design review of new construction and exterior renovations contained within Exhibit 28-1.

The applicant is proposing two apartment buildings that are 3-story, non-elevator, wood frame construction, consisting of 36 units each. The proposed apartment buildings are a continuation of the same design established in Talus Apartments Phase I, in which the façade has been divided into smaller sections with vertical and horizontal offsets created by siding texture, a plentitude of windows and/or the use of gables and small balconies. The gables will consist of vertical board and batten vinyl siding. The mechanical equipment has been efficiently incorporated into the building design with under-window architectural screening. This is true for both the front and backs of the building façades. The buildings will be grounded by stone veneer wainscoting that will vary in height across the front façade to help create a craftsman style design (see Exhibit D).

Primary access to the complex will be off of 23rd Street South, with cross access on the east side of the property to Talus Apartments Phase I. A shared access and maintenance agreement will need to be established for this access. There are four centrally located dumpster kiosks that will be screened by concrete enclosures and some landscaping. The landscaping plan will also be consistent with the approach taken by Phase I with a plentitude of foundation plantings and boulevard trees along 21st Avenue South and 23rd Street South.

There will also be a bike rack, maintenance shed, and possible continuation of the recreational trail around the complex, connecting to Phase I.

The applicant also provided a comprehensive summary of the project's design, building materials and color pallet attached as Exhibit B, and the design team will provide a color palette board at the Design Review Board meeting.

### **Conformance with Title 17**

The proposed project is in conformance with the relevant requirements of Title 17 - Land Development Code, of the Official Code of the City of Great Falls, including but not limited to zoning, setbacks, building height and lot coverage. The site plan includes the conceptual parking layout showing 109 parking spaces, 2 are shown to be ADA accessible. However, per Section 17.36.2.070, Ex. 36-4, 5 spaces are required, so this will need to be updated to meet the code requirements. In addition, the applicant applied for a Design Waiver to reduce the parking stall width from 10 feet to 9 feet, and this is under consideration.

Staff recommends the applicant use the bike rack credit outlined in section 17.36.3.010 in order to remove a couple of the parking spaces shown on the southeast corner of the subject property in order to shift the parking that is encroaching on the adjacent lot to the east off of that lot. This would be much cleaner for the perpetuity of the lots, while still allowing for the possibility that Phase II could be sold to a separate owner down the road. If the site plan remains as shown in Exhibit E, then a parking encroachment easement for said parking area shall be recorded at the County Clerk and Recorder's Office prior to issuance of a Certificate of Occupancy by the Building Department.

The apartment complex will have impervious surfaces of more than 15,000 square feet; therefore, the developer is required to provide a storm water management plan in compliance with the City of Great Falls Storm Design Manual and City standards. The plan will be reviewed and approved by the Public Works Department prior to the issuance of building permits for the development. Also, the applicant has been working with the City Fire Department regarding the turning radius for fire truck access throughout the project, location of fire hydrants and fire connections. All final plans will be approved by the City.

The developer has previously contributed to their proportional share of the future extension of 23rd St S, which will not be constructed at the is time. However, they are installing all required boulevard style sidewalk along the 23rd Street South and 21st Avenue South right-of-way. The site plan includes sidewalks, crosswalks, connection to, and possible expansion of, the recreational trail throughout the Phase I complex, providing for safe, straightforward pedestrian connectivity.

The applicant has provided an outdoor lighting plan which appears to meet the intent of the Land Development Code, and the proposed landscaping goes beyond meeting the minimum requirements of the Land Development Code. Any proposed signage will be reviewed under a separate application.

**Summary**

The construction of additional multi-family high density apartments is compatible with nearby properties, natural features, and identified Great Falls housing needs. Staff supports approval of this application.

**Suggested Motion**

1. Board Member moves:

“I move that the Design Review Board (approve/approve with conditions) the Design Review Application of Talus Apartments Phase II, as shown in the conceptual development plans contained within this report and provided by the project property Owner’s Agent, subject to the follows conditions:

- ◆ The applicant shall add an additional 3 ADA accessible parking spaces.
- ◆ The applicant shall design and construct an additional pedestrian crosswalk connection going west across 23rd Street South.
- ◆ If the site plan remains as shown on Exhibit E, then a parking encroachment easement for said parking area shall be recorded at the Cascade County Clerk and Recorder’s Office prior to issuance of a Certificate of Occupancy by the Building Department.
- ◆ The applicant shall establish a shared access and maintenance agreement for the east-west drive aisle located between the Talus Apartments Phase I and Phase II properties, located near the south property line of both lots, prior to issuance of a Certificate of Occupancy by the Building Department.
- ◆ The proposed project shall be developed consistent with the conditions in this staff report, all codes and ordinances of the City of Great Falls, the State of Montana, and all other applicable regulatory agencies.
- ◆ If after the approval of the concept development plan as amended by this Board, the owner proposes to expand or modify the conceptual development plans, the Director of the Planning and Community Development Department shall determine in writing if such proposed change would alter the concept for one or more review criteria. If such proposed change would alter the plan, the proposal shall be resubmitted for review as a new application.
- ◆ The applicant shall develop plans and specifications in conformance with the relevant requirements of Title 15 - Building and Construction, of the Official Code of the City of Great Falls.

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2. Chairman calls for a second, discussion, inquiries from the public, and calls the vote.

CC Dave Dobbs, City Engineer  
Patty Cadwell, Neighborhood and Youth Council Coordinator  
Todd Seymanski, City Forester  
Jana Cooper, PLA, TD&H Engineering, jana.cooper@tdhengeneering.com  
Jim McLeod, Farran Realty Partners, LLC, jmcLeod@farranco.com

# EXHIBIT A - APPLICATION

CITY OF GREAT FALLS  
 PLANNING & COMMUNITY DEVELOPMENT DEPT.  
 P.O. BOX 5021, GREAT FALLS, MT, 59403-5021  
 406.455.8430 • WWW.GREATFALLSMT.NET

Submittal Date: 10/26/15  
 Application Number DRB2015-30

## DESIGN REVIEW BOARD APPLICATION

Talus Apartments - Phase II

Name of Project / Proposed Use:

Great Falls Apartment, LLC

Owner Name:

Jim McLeod, Farran Realty Partners, LLC, 101 East Front St. Suite 304, Missoula, MT 59802

Mailing Address:

406.541.9000

jmcleod@farranco.com

Phone:

Email:

Jana Cooper, TD&H Engineering

Representative Name:

1800 River Drive North, Great Falls, MT 59401

Mailing Address:

406.761.3010

jana.cooper@tdhengineering.com

Phone:

Email:

### PROJECT LOCATION:

21st Ave South & 23rd Street S - 2103 & 2105 23rd St S

Site Address:

106,940 sq. ft. (2.45 acres)

33,909 per building x 2=67,818 sq ft

Sq. Ft. of Property:

Sq. Ft. of Structure:

### LEGAL DESCRIPTION

<u>2A</u>	<u>SE 1/4 Section 18</u>	<u>T20N</u>	<u>R4E</u>
Mark/Lot:	Section:	Township/Block	Range/Addition

I (We), the undersigned, attest that the above information is true and correct to the best of my (our) knowledge. Further, I (We) owner of said property authorize the above listed representative to act as my agent in this application.

  
 Property Owner's Signature: \_\_\_\_\_ Date: 10.13.15

  
 Representative's Signature: \_\_\_\_\_ Date: 10/26/15



## EXHIBIT B - APPLICATION NARRATIVE



**10/26/15**

**Talus Apartments Phase II Design Review Board Narrative:**

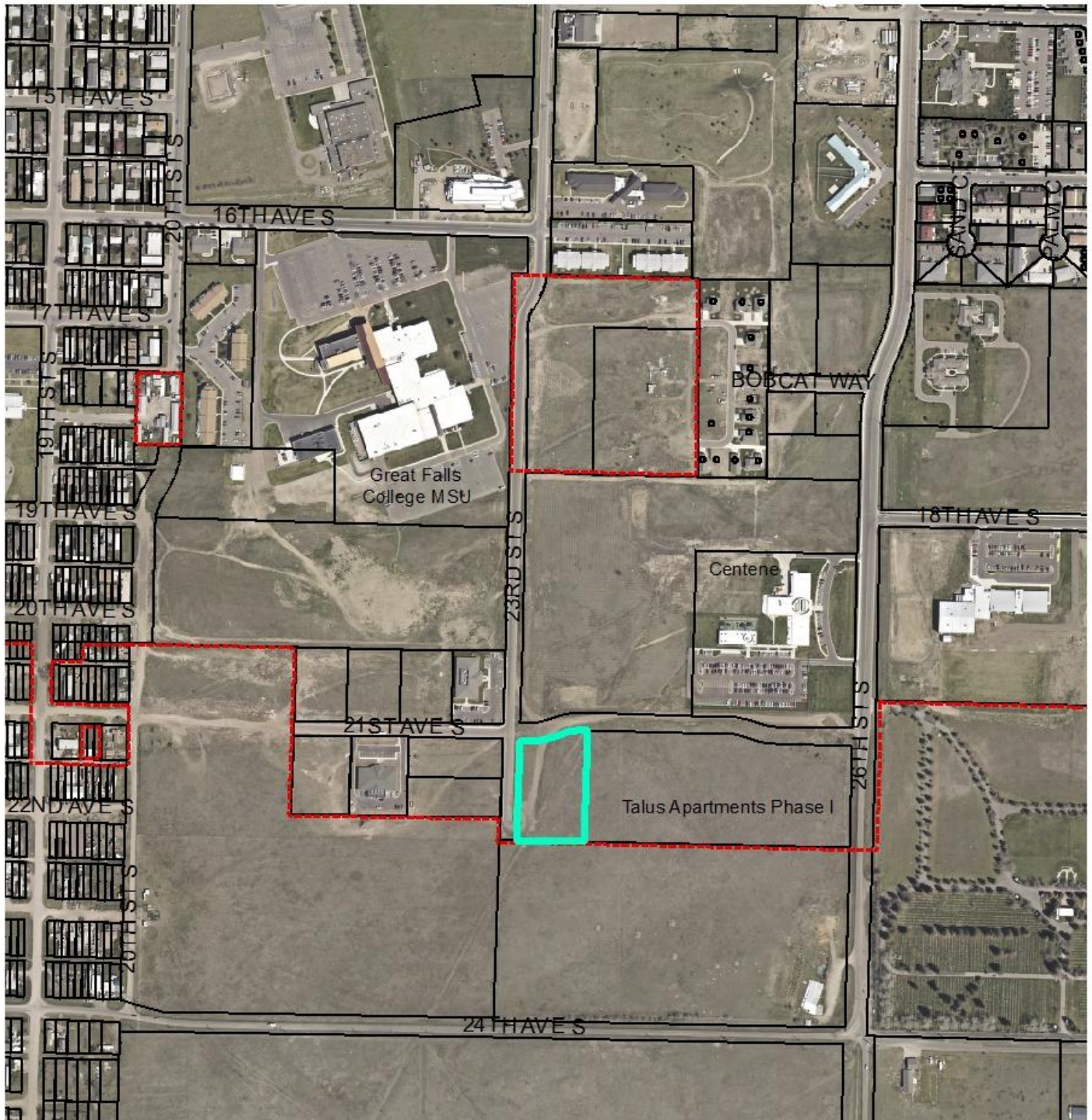
Talus Apartments – Phase II includes two residential apartment buildings, including 36 units per building. These buildings are part of Phase II of the overall Talus project, Phase I included 216 residential rental units. Phase II is located on the western portion of the site south of 21<sup>st</sup> Avenue South and east of 23<sup>rd</sup> Street South. The site consists of approximately 2.45 acres.

The apartment buildings will be three-story wood frame construction, non elevator buildings and consist of 36-units each. The buildings will consist of a pitched roof that will be covered in architectural laminated fiberglass shingles. The buildings color pallet is to be earth-tones and will be covered with clapboard style vinyl siding (2 colors) and will be accented with numerous windows to provide ample light and air for the residents. There are projecting gable end forms at the front and rear elevations to provide each unit with a balcony and storage space. The gables will consist of either a vertical board & batten vinyl siding with LP smart trim battens over the panel seams and will be consistent in design to Phase I of the project. These gable end forms give the building some modulation and variety to avoid long uninterrupted wall planes. They also act to afford the units additional privacy from each other. The buildings will be grounded with a stone veneer wainscoting that will vary in height across the front elevation to help create a craftsman's style design. The desire of the project is to create a vibrant and inviting atmosphere in which to live, work and play.

The landscaping for the project will be consistent with Phase I and will include boulevard trees along 21<sup>st</sup> Avenue South and 23<sup>rd</sup> Street South, foundation planting around the buildings and turf areas. Residents of Phase II will have access to the amenities areas within Phase I of the project such as the clubhouse and pool. These amenities provide great opportunities for residents to interact with each other or just sit, relax and watch the community activities. The community trail that runs along the southern property line will be continued to the west to 23<sup>rd</sup> Street South. Phase II will include additional bike parking for residents. Access to the site is intended primarily from 23<sup>th</sup> Street South and there is an additional access point internally between Phase I and Phase II of the project. Trash collection is located in central dumpster kiosk, which will be screened by a CMU enclosure. A common maintenance shed for general building and clubhouse maintenance is located in Phase I. There are 109 parking spaces provided in Phase II.



# EXHIBIT C - AERIAL MAP



-  Talus Apartments Phase II
-  City Limits
-  Parcels





# EXHIBIT D - RENDERING & COLOR BOARD



Artistic Rendering by Others

Timberline Prestique High Def Shingles  
Color: Barkwood



Vertical Vinyl Siding  
Color: Cabot Brown



Horizontal Vinyl Siding  
Color: Khaki



Window Trim  
Color: Sandstone



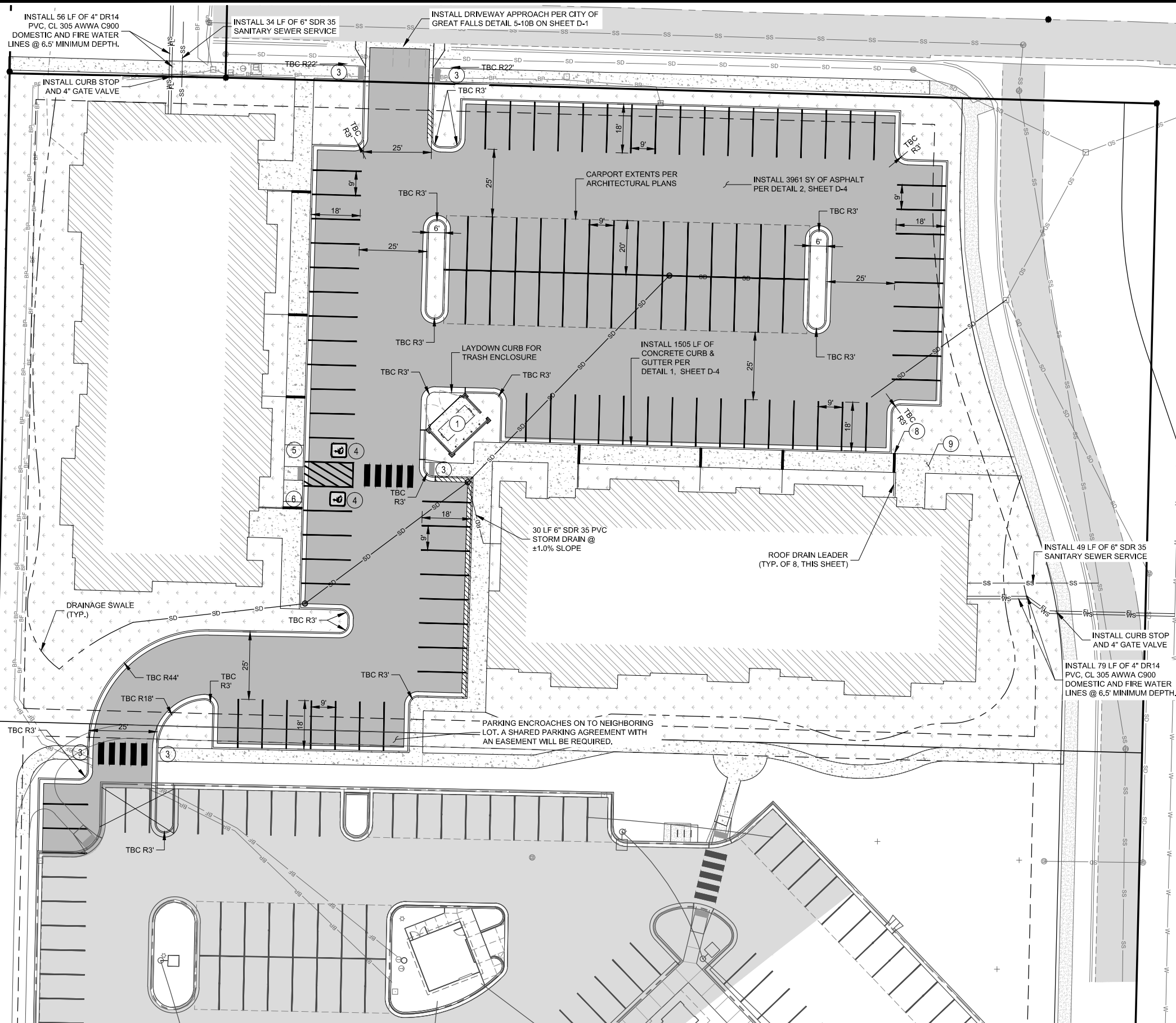
Cultured Stone - Coronado Pro-ledge  
Color: Dakota Brown







EXHIBIT E - SITE PLAN

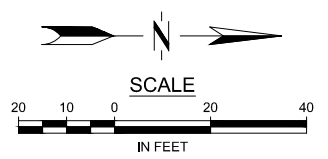


- GENERAL NOTES:**
- ALL IMPROVEMENTS ON THIS PROJECT SHALL BE COMPLETED IN ACCORDANCE WITH THE MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS, 6TH EDITION DATED APRIL 2010 (MPWSS); THE CITY OF GREAT FALLS SPECIFICATIONS; AND THE PROJECT SPECIFICATIONS.
  - THE CONTRACTOR SHALL RESTORE ALL ROADWAY SURFACES TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO EXCAVATION AS DETERMINED BY AGENCY, OWNER, AND/OR ENGINEER.
  - ASPHALT, CONCRETE CURB, AND SIDEWALK SHALL BE SAW CUT OR NEAT CUT AS APPROVED BY THE ENGINEER.
  - DIMENSIONS SHOWN ARE MEASURED TO TOP BACK OF CURB UNLESS STATED OTHERWISE.
  - TOP BACK OF CURB RADIUS TO BE 3.00' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
  - ALL TEXT AND FEATURES SHOWN SCREENED ARE EXISTING.
  - PAVEMENT MARKINGS WITHIN THE SITE SHALL BE FOUR INCH (4") WHITE PAINTED MARKINGS WHERE SHOWN ON THE SITE PLAN IN ACCORDANCE WITH SECTION 02581 OF THE MPWSS UNLESS OTHERWISE INDICATED OR DIRECTED BY THE ENGINEER OR OWNER.
  - BASE COURSE AND SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698.
  - CONSTRUCTION JOINTS SHALL BE PLACED AT TEN FOOT (10') INTERVALS ALONG TANGENT CURB SECTIONS AND A MINIMUM OF 5.25' WITHIN THE RADIUS OF ANY CURVES, HAVING A MINIMUM DEPTH OF THREE-QUARTER INCHES (3/4") AND WIDTH OF ONE-EIGHTH INCH (1/8").
  - ONE-HALF INCH (1/2") EXPANSION JOINT MATERIAL SHALL BE PLACED AT ALL PCS, PTS, CURB RETURNS, AND AT NOT MORE THAN 300' INTERVALS. THE EXPANSION JOINT MATERIAL SHALL EXTEND THROUGH THE FULL DEPTH OF CURB AND GUTTER.
  - NO CURB AND GUTTER SHALL BE PLACED WITHOUT A FINAL FORM INSPECTION BY THE OWNER, HIS AUTHORIZED REPRESENTATIVE, AND/OR THE CITY OF BILLINGS (AS REQUIRED).
  - CONCRETE SHALL BE CLASS M-4000.
  - EXTEND CRUSHED BASE COURSE BEYOND THE BACK OF CURB A MINIMUM DISTANCE OF SIX INCHES (6"). MINIMUM THICKNESS OF CRUSHED BASE COURSE BENEATH CURB AND GUTTER SHALL BE SIX INCHES (6").

- NOTES BY SYMBOL:**
- TRASH ENCLOSURE: REFER TO ARCHITECTURAL DRAWINGS FOR CONSTRUCTION DETAILS.
  - TRANSFORMER PAD: COORDINATE LOCATION AND CONSTRUCTION REQUIREMENTS WITH NORTHWESTERN ENERGY.
  - BOULEVARD STYLE PEDESTRIAN RAMP: REFER TO DETAIL 4 ON SHEET D-5.
  - ACCESSIBLE PARKING PAVEMENT MARKING SYMBOL: REFER TO DETAIL 7 ON SHEET D-5.
  - STANDARD ACCESSIBLE PARKING SIGN: REFER TO DETAIL 3 ON SHEET D-5.
  - VAN ACCESSIBLE PARKING SIGN: REFER TO DETAIL 3 ON SHEET D-5.
  - TAPER CURB HEAD 5.00' FROM EDGE OF WALK TO MATCH TOP-BACK OF CURB TO SIDEWALK GRADE.
  - NEW 6" (W) X 7.0' (L) SIDEWALK CROSS DRAIN WITH NEENAH R-4999-AD SOLID LID (TYP. OF 8, THIS SHEET).
  - INSTALL 2226 SY OF CONCRETE SIDEWALK PER DETAIL 6, SHEET D-5.

**PARKING COUNTS**

TOTAL DWELLING UNITS =	72
MULTI-FAMILY REQUIRED PARKING:	1.5 SPACES PER DWELLING UNIT
APARTMENT REQUIRED PARKING:	108 SPACES
<b>TOTAL REQUIRED PARKING =</b>	<b>108 SPACES</b>
HC ACCESSIBLE PARKING REQUIRED =	1 SPACE PER APARTMENT BUILDING
TOTAL ACCESSIBLE PARKING REQUIRED =	2 SPACES
LOSE 3 PARKING SPACES ON ADJOINING PROJECT FOR CROSS CONNECTION.	
ADD 3 PARKING SPACES ON ADJOINING PROJECT BY RECONFIGURATION.	
STANDARD PARKING PROVIDED =	107 ON-SITE SPACES
HC ACCESSIBLE PARKING SPACES =	2 ON-SITE SPACES
<b>TOTAL PARKING PROVIDED =</b>	<b>109 SPACES</b>



**ISSUE FOR REVIEW**  
10/13/2015

VERIFY SCALE!		REVISIONS			
NO.	DESCRIPTION	DATE	BY		

THESE PRINTS MAY BE REDUCED. LINE BELOW MEASURES ONE INCH ON ORIGINAL DRAWING.

MODIFY SCALE ACCORDINGLY!

**MORRISON MAIERLE, INC.**  
An Employee-Owned Company

Engineers  
Surveyors  
Scientists  
Planners

3011 Palmer Street  
Missoula, MT 59808

Phone: (406) 542-8880  
Fax: (406) 542-4801

DRAWN BY: CRH  
DSGN. BY: KTS  
APPR. BY: CAS  
DATE: 10/2015  
Q.C. REVIEW BY: ...  
DATE: ...

TALUS APARTMENT PROJECT	PROJECT NUMBER 3959.018
GREAT FALLS	SHEET NUMBER 4
MONTANA	DRAWING NUMBER C-1
SITE PLAN	

## EXHIBIT F - ELEVATIONS

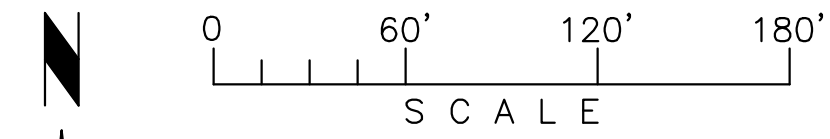
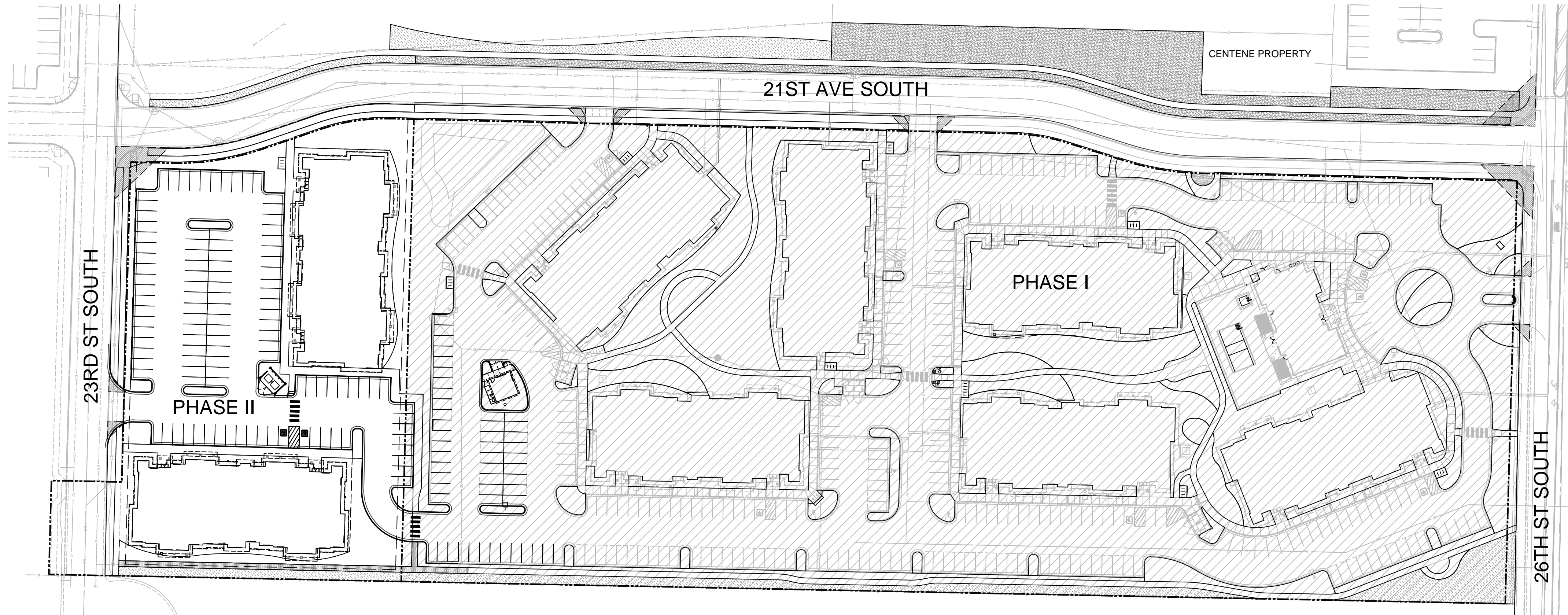




## EXHIBIT G - LANDSCAPING PLAN



LANDSCAPE SHEET MAP



CONTACT INFORMATION

TD&H ENGINEERING  
 JANA COOPER, PLA  
 LANDSCAPE ARCHITECTURE  
 AND PLANNING MANAGER  
 1800 RIVER DRIVE NORTH  
 GREAT FALLS, MT 59401  
 406-761-3010

FARRAN REALTY PARTNERS, LLC  
 JIM MCLEOD  
 101 EAST FRONT STREET  
 SUITE 304  
 MISSOULA, MT 59802

LEGAL DESCRIPTION

LOT 2A, BLOCK 1, MEDICAL TECH PARK ADDITION, SECTION 18,  
 TOWNSHIP 20 NORTH, RANGE 3 EAST, P.M.M.

SHEET INDEX

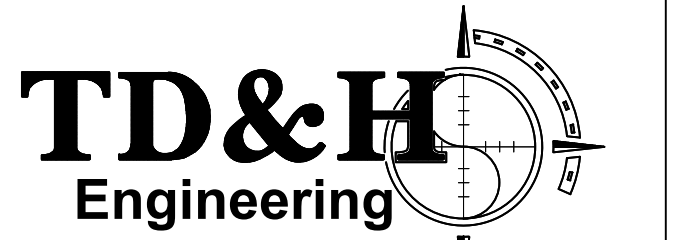
L1.0 GENERAL PLANTING INFORMATION  
 L1.1 PLANTING PLAN  
 L1.2 PLANTING DETAILS

GENERAL NOTES

- ALL WORK SHALL BE CONTAINED WITHIN THE SUBJECT PROPERTY BOUNDARY LINES AND ADJACENT RIGHT-OF-WAY. PERMISSION TO ENTER ADJACENT, PRIVATE PROPERTY, IF NEEDED, IS THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL WORK WITHIN CITY RIGHT-OF-WAY WITH THE CITY.
- IN ORDER TO PREVENT DAMAGE TO BOTH VEGETATION AND PUBLIC UTILITY LINES, ALL TREES AND OTHER LARGE VEGETATION SHALL BE PLANTED NO CLOSER THAN THE MINIMUM DISTANCE SPECIFIED BY THE CITY OF GREAT FALLS OR 10-FEET IF THE CITY DOESN'T HAVE A REQUIREMENT. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY DISTANCE FROM ALL UTILITIES AT TIME OF INSTALLATION.
- ANY DAMAGE TO UTILITY LINES, RESULTING FROM THE ACTIONS OF THE CONTRACTOR IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF CONTRACTOR TO CORRECT.
- VERIFY WITH THE PROJECT MANAGER AND UTILITY COMPANIES THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START. REPAIR ANY DAMAGE TO EXISTING UTILITIES, CURBS, PAVEMENTS AND STRUCTURES WHICH OCCUR DURING THE CONSTRUCTION OF THE PROJECT OR AS A RESULT OF THE CONTRACTOR'S ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER.
- SAFEGUARD ALL BUILDING SURFACES, EQUIPMENT AND FURNISHINGS. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE IN THE EXECUTION OF THE WORK.

INKSTONE ARCHITECTURE

259 West Front Street #5 • Missoula, MT 59802  
 phone 406-549-0577 • fax 406-542-0256



tdhengineering.com  
 GREAT FALLS-BOZEMAN-KALISPELL-SHELBY MONTANA  
 SPOKANE WASHINGTON  
 LEWISTON IDAHO  
 WATFORD CITY NORTH DAKOTA

REV	DATE	DESCRIPTION
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ISSUE	10.20.15	PHASE II ISSUE

PLANTING NOTES

- COORDINATE WITH ARCHITECTURE/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH GRADING, SURFACE AND UNDERGROUND CONDITIONS AND UTILITIES.
- ALL GRADES, DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON-SITE BEFORE CONSTRUCTION BEGINS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- MATCH GRADES OF LAWNS TO CURBS AND WALKS @ 20:1 MAX SLOPE AND A 2% MINIMUM SLOPE. POSITIVELY SLOPE GRADES TO DRAIN AWAY FROM ALL BUILDINGS AT A 5% MINIMUM FOR THE FIRST 10 FEET FROM BUILDINGS AND 2% MINIMUM BEYOND 10 FEET. TAPER TO EXISTING GRADES. CONTRACTOR IS RESPONSIBLE FOR TOPSOIL FILL AND LANDSCAPE GRADING. SEE CIVIL FOR ADDITIONAL SITE GRADING.
- ONE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF BOTH THE PLANTING AND IRRIGATION INSTALLATION, UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
- ALL SHRUB BEDS TO BE MULCHED WITH A SHREDDED BARK MULCH WITH A CHIP SIZE OF ONE AND ONE-HALF INCH TO TWO INCHES FREE OF SAWDUST.
- COORDINATE WITH OTHER CONTRACTORS, AS NECESSARY, REGARDING LOCATION AND TIMING OF INSTALLATION OF PLANT MATERIALS.
- PLANT MATERIALS SHALL BE FURNISHED IN THE QUANTITIES AND/OR SPACING AS SHOWN OR NOTED. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT SCHEDULE, THE PLAN SHALL DICTATE.
- PLANT MATERIALS ARE DRAWN AT OR NEAR THEIR MATURE SIZE. UTILIZE THE CENTER POINT OF THE SYMBOL TO DETERMINE PROPER PLANT LAYOUT AND PLACEMENT, PLANT TREES WITHIN 5-FOOT OF LOCATION SHOWN ON PLANS, PLANT SHRUBS WITHIN 1-FOOT OF LOCATION SHOWN ON PLANS, UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
- ALL PLANTS ARE TO MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION. ALL PLANTS SHALL BE NURSERY-GROWN UNLESS OTHERWISE NOTED.
- PROVIDE A 3'-0" DIA. BED AROUND ALL TREES LOCATED IN LAWNS. MULCH WITH CLEAN BARK MULCH. NO EDGING OR WEED BARRIER REQUIRED, SEE DETAILS.
- COORDINATE THE PLANTING WITH IRRIGATION SYSTEM. THE OWNER IS NOT RESPONSIBLE FOR DAMAGE CAUSED BY OTHER TRADES WHILE COMPLETING THIS WORK.
- ALL SUBSTITUTIONS AND PLAN CHANGES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER'S REPRESENTATIVE.
- ANY WORK OR MATERIAL WHICH IN THE OPINION OF THE OWNER'S REPRESENTATIVE DOES NOT MEET THE REQUIREMENTS OF THE PLANS WILL BE CAUSE FOR REJECTION. ALL REJECTED WORK AND MATERIALS SHALL BE IMMEDIATELY REMOVED, DISPOSED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- BEGIN MAINTENANCE AFTER EACH PLANT HAS BEEN INSTALLED AND CONTINUE UNTIL FINAL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, MULCHING, REPLACEMENT OF SICK OR DEAD PLANTS AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT STOCK.
- DURING THE COURSE OF THIS WORK, REMOVE EXCESS WASTE MATERIAL DAILY FROM THE SITE AND UPON COMPLETION OF ALL WORK.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITIES SHALL BE CONSERVED FOR LATER USE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED. ORGANIC AMENDMENTS SUCH AS COMPOST, PEAT OR AGED MANURE SHALL BE THOROUGHLY INCORPORATED.
- UPON COMPLETION OF ALL LANDSCAPING, A SUBSTANTIAL COMPLETION WALK-THROUGH OF THE WORK WILL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR SCHEDULING THE WALK-THROUGH AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED DATE.
- WARRANTY ALL PLANT STOCK AND WORKMANSHIP FOR 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE. REPLACEMENT PLANTS SHALL BE WARRANTED FOR AN ADDITIONAL 90 DAYS.
- SOD ALL AREAS NOT INCLUDED IN PLANTING BEDS WITH A KENTUCKY BLUEGRASS, PER PLANS AND SPECIFICATIONS. SOD SHALL BE FROM A COMMERCIAL SOD FARM LOCATED IN MONTANA. SOD TYPE, CONDITION AND SOURCE SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE.

IRRIGATION NOTES

- ALL LANDSCAPE AREAS WITHIN THE SITE SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE USE OF HOSE BIBS ON THE EXTERIOR OF EXISTING OR PROPOSED STRUCTURES IS NOT ACCEPTABLE.
- ALL IRRIGATION SYSTEMS AND LANDSCAPED AREAS SHALL BE DESIGNED, CONSTRUCTED, OPERATED AND MAINTAINED SO AS TO PROMOTE WATER CONSERVATION AND PREVENT WATER OVERFLOW OR SEEPAGE INTO THE STREET, SIDEWALK OR PARKING AREAS.
- ALL TURF AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES ARE TO BE IRRIGATED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER EQUIPMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- IRRIGATION SYSTEM WATER SOURCE SHALL BE FROM CITY WATER MAIN LOCATED IN 21ST AVENUE SOUTH. BACKFLOW PREVENTION DEVICE SHALL BE PROVIDED PER CITY STANDARDS. IRRIGATION SYSTEM TO MEET ALL LOCAL AND STATE CODES.
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL EXISTING AND PROPOSED SITE CONDITIONS, INCLUDING PLANTING, GRADING, BUILDING CONSTRUCTION, WATER DEVELOPMENT, ELECTRIC SERVICE, AND SUPPLY, PRIOR TO COMMENCEMENT OF WORK. NOTE ANY SLEEVES AND IRRIGATION STUBS FOR FUTURE WORK.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL UNDERGROUND UTILITIES, CONDUITS, AND STRUCTURES AND SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED.
- THE IRRIGATION CONTRACTOR SHALL CAREFULLY SCHEDULE HIS WORK WITH THE CONTRACTOR AND ALL OTHER CONSTRUCTION ACTIVITIES.
- THE IRRIGATION CONTRACT INCLUDES SUPPLYING AND INSTALLING ALL MATERIALS AND EQUIPMENT FOR A COMPLETE, AUTOMATIC IRRIGATION SYSTEM. ANY ITEMS REQUIRED TO CONFORM WITH SUCH INTENT ARE CONSIDERED TO BE INCIDENTAL TO THE WORK.
- DO NOT WILLFULLY INSTALL THE SYSTEM WHEN OBVIOUS OBSTRUCTIONS, GRADE CHANGES AND SITE GEOMETRY EXIST. SUCH DIFFERENCES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. IN THE EVENT NOTIFICATION IS NOT MADE, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- CONTRACTOR SHALL REFER TO LANDSCAPE AND UTILITY PLANS WHEN LAYING OUT HEAD PLACEMENT AND TRENCHING.

CODE REVIEW

CODE REQUIREMENT	REQUIRED	PROVIDED
BOULEVARD TREES 1 PER 35 LINEAL FEET	21ST AVE S: 7 TREES 23RD ST S: 10 TREES	7 TREES 10 TREES
1 TREE PER 1,500 SQ. FT. NET LOT AREA	30 TREES	41 TREES 17 ARE BLVD TREES
GROUND COVER SHALL COVER 50% OF NET LOT AREA	22,144 S.F. REQUIRED	22,329 SQ. FT. PROVIDED
PARKING (1.5 PER DWELLING UNIT-72 UNITS)	108 SPACES	109 SPACES

MASTER PLANT SCHEDULE

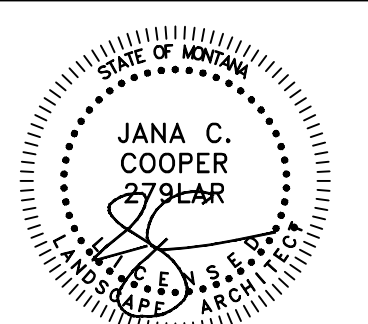
SYM	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	ROOT	NOTES	MATURE HEIGHT	MATURE WIDTH
DECIDUOUS TREES								
AF	5	ACER X FREEMANII	AUTUMN BLAZE MAPLE	1.5" GAL	B & B		50-60'	30-40'
GT	15	GLEDITSIA TRIACANTHOS 'SKYCOLE'	SKYLINE HONEYLOCUST	1.5" GAL	B & B		40-50'	30-35'
PO	12	POPULUS TREMULA 'ERECTA'	SWEDISH COLUMNAR ASPEN	1.5" GAL	B & B	UPRIGHT FORM	40'	8'
PT	3	POPULUS TREMULOIDES	QUAKING ASPEN	1.5" GAL	B & B	MULTI-STEM	25-35'	20-30'
QM	2	QUERCUS MACROCARPA	BUR OAK	1.5" GAL	B & B		60-80'	60-80'
TC	4	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN					
DECIDUOUS SHRUBS								
BT	26	BERBERIS THUNBERGII	JAPANESE BARBERRY	2 GAL.	CONTAINER		3-4'	3-4'
PF	22	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER POTENTILLA	2 GAL.	CONTAINER		3'	3-4'
RO	24	ROSA 'MORDEN CENTENNIAL'	MORDEN CENTENNIAL ROSE	2 GAL.	CONTAINER		3-5'	3'
SP	39	SPIREA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	2 GAL.	CONTAINER		2-3'	4-5'
VO	11	VIBURNUM OPULUS 'COMPACTUM'	EUROPEAN COMPACT CRANBERRYBUSH	2 GAL.	CONTAINER		5'	5-6'
CONIFEROUS SHRUBS								
JH	8	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	5 GAL.	CONTAINER	SPREADING	12"	3-6'
MP	22	PINUS MUGO 'PUMILA'	DWARF MUGO PINE	5 GAL.	CONTAINER		3-5'	3-6'
PERENNIALS/ORNAMENTAL GRASSES								
KF	74	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL.	CONTAINER	GRASS	4'	2-3'
DS	12	DICENTRA SPECTABILIS	PINK BLEEDING HEART	1 GAL.	CONTAINER	SHADE TOLERANT	24-36"	24"
HE	3	HELENIUM 'MARDI GRAS'	HELENIUM MARDI GRAS	4.5" POT	CONTAINER	ORANGE/RED	30"	30"
HS	10	HELICTOTRICHON SEMPERVIRENS 'SAPHIRSPRUDEL'	SAPPHIRE BLUE OAT GRASS	1 GAL.	CONTAINER	GRASS	18"	12"
DL	6	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL.	CONTAINER	ORANGE	12-24"	18"
HF	6	HOSTA X 'FRANCEE'	HOSTA FRANCEE	4.5" POT	CONTAINER	SHADE TOLERANT	24"	30-36"
PV	12	PERVOISKIA ATRIPLICIFOLIA	RUSSIAN SAGE	1 GAL.	CONTAINER	PURPLE	36-42"	24-36"
RF	24	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK EYED SUSAN RUDBECKIA	4.5" POT	CONTAINER	YELLOW FLOWER	24-30"	12-24"
SC	9	SALVIA NEMOROSA 'CARADONNA'	CARADONNA SALVIA	1 GAL.	CONTAINER	PURPLE/BLUE	24"	24"
VM	33	VINCA MINOR	PERIWINKLE VINCA	4.5" POT	CONTAINER	PURPLE	6-12"	12" +

\*\*PLANT SYMBOLS IN LEGEND NOT SHOWN TO SCALE

Additional Two Buildings:

*Talus*  
*Apartments II*  
 26th Street South  
 Great Falls, Montana

SEAL :



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CONTENTS:

GENERAL PLANTING INFORMATION

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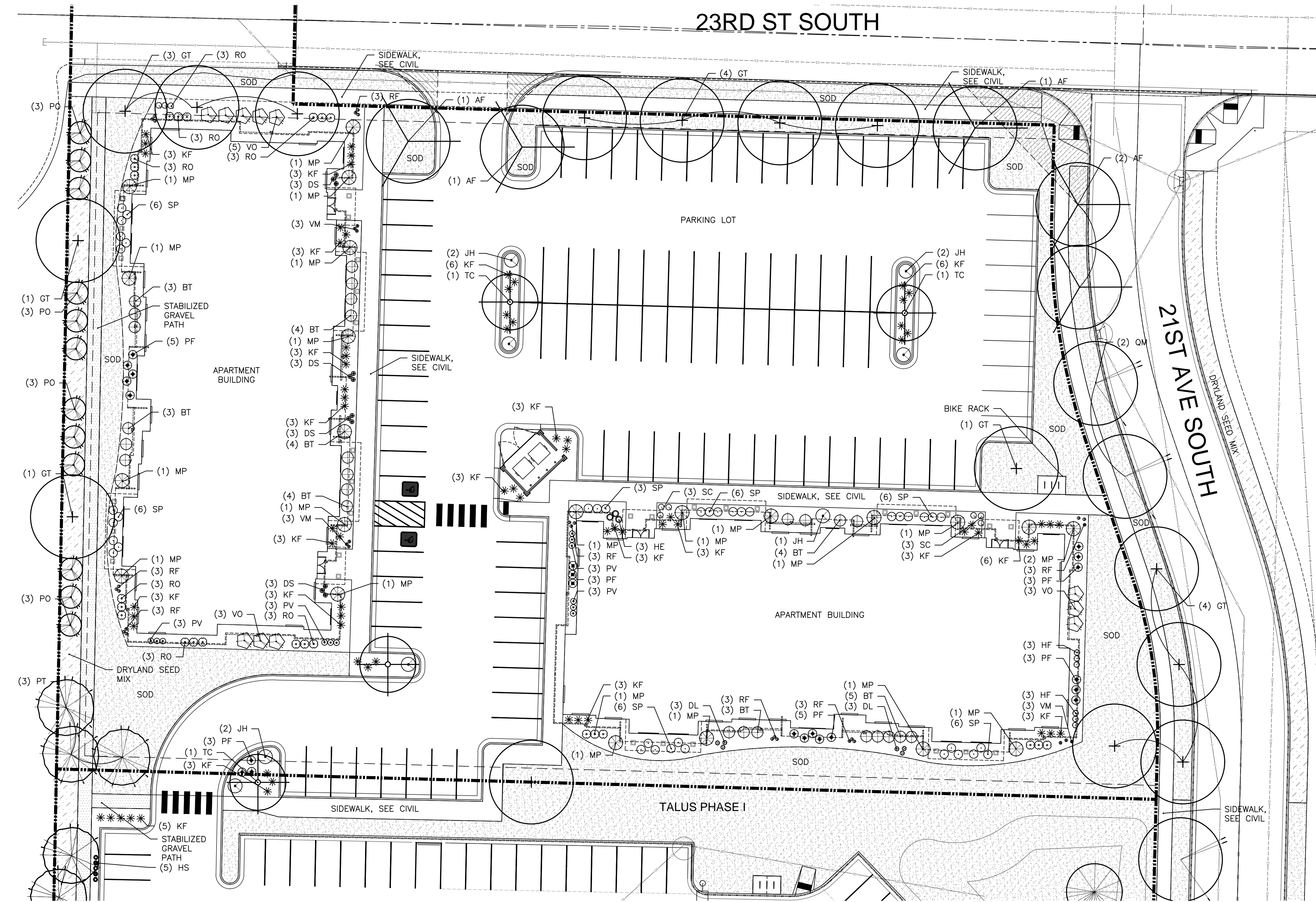
CHECKED BY: JC  
 SCALE: AS NOTED

SHEET NO:

L1.0



PLANTING PLAN: SHEET L1.1



LEGEND

- SOD - PROVIDED BY A COMMERCIAL SOD FARM LOCATED IN THE CASCADE COUNTY
  - CLEAR VISION TRIANGLE
  - STABILIZED GRAVEL PATH, SEE 7/L1.2
  - DRYLAND SEED MIX
  - PROPERTY BOUNDARY
  - METAL EDGING - SEE 4/L1.2
  - BUILDING SETBACKS
  - BOULDER - SEE 5/L1.2
  - BIKE RACK - SEE 6/L1.2
- NOTE:  
 1. SEE CIVIL AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL LEGEND ITEMS.  
 2. ALL SHRUB BEDS TO BE MULCHED WITH A SHREDDED BARK MULCH WITH A CHIP SIZE OF ONE AND ONE-HALF INCH TO TWO INCHES FREE OF SAWDUST.

**INKSTONE ARCHITECTURE**

259 West Front Street #5 • Missoula, MT 59802  
 phone 406-549-0577 • fax 406-542-0256

**TD&H Engineering**

tdhengineering.com

GREAT FALLS-BOZEMAN-KALISPELL-SHELBY MONTANA  
 SPOKANE WASHINGTON  
 LEWISTON IDAHO  
 WATFORD CITY NORTH DAKOTA

REV	DATE	DESCRIPTION
--	--	--
ISSUE	10.20.15	PHASE II ISSUE

Additional Two Buildings:  
**Talus Apartments II**  
 26th Street South  
 Great Falls, Montana

SEAL:

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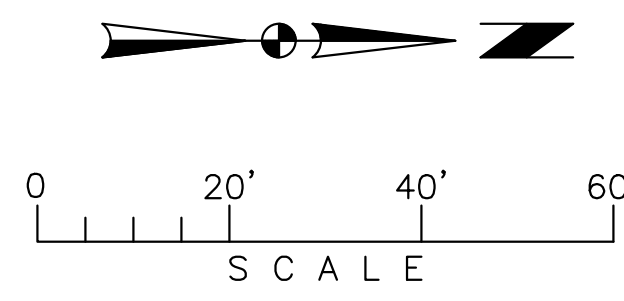
CONTENTS:

<b>PLANTING PLAN</b>
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DRAWN BY: JC  
 CHECKED BY: JC  
 SCALE: AS NOTED

SHEET NO:

# L1.1



PLANT SCHEDULE		
SYM	BOTANICAL NAME	COMMON NAME
DECIDUOUS TREES		
AF	ACER X FREEMANII	AUTUMN BLAZE MAPLE
GT	GLEDITSIA TRIACANTHOS 'SKYCOLE'	SKYLINE HONEYLOCUST
PO	POPULUS TREMULA 'ERECTA'	SWEDISH COLUMNAR ASPEN
PT	POPULUS TREMULOIDES	QUAKING ASPEN
QM	QUERCUS MACROCARPA	BUR OAK
TC	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN
CONIFEROUS TREES		
PI	PINUS FLEXILIS	LIMBER PINE
DECIDUOUS SHRUBS		
BT	BERBERIS THUNBERGII	JAPANESE BARBERRY
PF	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER POTENTILLA
RO	ROSA 'MORDEN CENTENNIAL'	MORDEN CENTENNIAL ROSE
SP	SPIREA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA
VO	VIBURNUM OPULUS 'COMPACTUM'	EUROPEAN COMPACT CRANBERRYBUSH

PLANT SCHEDULE		
SYM	BOTANICAL NAME	COMMON NAME
CONIFEROUS SHRUBS		
JH	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER
MP	PINUS MUGO 'PUMILIA'	DWARF MUGO PINE
PERENNIALS/ORNAMENTAL GRASSES		
KF	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS
DS	DICENTRA SPECTABILIS	PINK BLEEDING HEART
HE	HELENIUM 'MARDI GRAS'	HELENIUM MARDI GRAS
HS	HELICTOTRICHON SEMPERVIRENS 'SAPHIRSPRUDEL'	SAPPHIRE BLUE OAT GRASS
DL	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY
HF	HOSTA X 'FRANCEE'	HOSTA FRANCEE
PV	PERVOSKIA ATRIPLICIFOLIA	RUSSIAN SAGE
RF	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK EYED SUSAN RUDBECKIA
SC	SALVIA NEMOROSA 'CARADONNA'	CARADONNA SALVIA
VM	VINCA MINOR	PERIWINKLE VINCA

\*\*PLANT SYMBOLS IN LEGEND NOT SHOWN TO SCALE

PLANT SCHEDULE		
DRYLAND SEED MIX - WESTERN NATIVE MIX (OR APPROVED EQUAL)		
25%	CRITANA THICKSPIKE WHEATGRASS	PROVIDE FRESH, CLEAN, AND DRY NEW SEED WITH NOT LESS THAN 80% GERMINATION, NOT LESS THAN 95% PURE SEED, AND NOT MORE THAN 0.5% WEED SEED. APPLY DRYLAND SEED MIXTURE AT A RATE OF 8-10 LBS/ACRE. FERTILIZER FOR DRYLAND SEEDING AREAS SHALL CONSIST OF NITROGEN 11%, PHOSPHATE 55%, POTASH 12%. APPLICATION RATE SHALL BE 200 LBS/ACRE.
25%	SLENDER WHEATGRASS	
20%	LLODM GREEN NEEDLE GRASS	
20%	WESTERN WHEATGRASS	
10%	SECAR BLUE BUNCH WHEATGRASS	

