

DESIGN REVIEW BOARD

September 28, 2015

Case Number
DRB2015-12

Applicant
NeighborWorks
Great Falls

Representative
Dani Grebe
LPW Architects

Owner
NeighborWorks
Great Falls

Property Location
1201 1st Avenue South

Recommendation
Approve the submitted
design with conditions

Project Planner
Garrett Norman

FIRST AVENUE ESTATES
1201 1ST AVENUE SOUTH



Project Description

The applicant is proposing to construct a new 12-unit apartment complex, located at the northeast corner of 12th St S and 1st Ave S. The subject property was aggregated from three standard city lots (50'x150') into one.

Background

- Legal Description: Lot 12A, Block 356, Great Falls Water Power and Townsite Company's First Addition Great Falls Townsite, Located in the NE 1/4 of Section 12, T20N, R3E, P.M. MT., Cascade County, Montana
- Property Area: ±22,694 square feet
- Property Zoning: R-5 Multi-family medium density
- Existing Land Use: Parking Lot
- Proposed Land Use: 12-unit Apartment Complex

Project Overview

Background

On September 2, 2014, the City Commission approved Ordinance 3124 for a zoning map amendment of the subject property from R-3 Single-family high density to R-5 Multi-family medium density. The intent during the rezone of this property was to construct a multi-family apartment unit.

The proposed apartment will provide 12 total units at three levels in one structure. Each unit will be approximately 900 square feet with 3 bedrooms, 2 bathrooms, a kitchen and dining area, and private laundry facilities in the unit. The total height of the structure will be approximately 35 feet from grade with each story at approximately 4,770 square feet for a total of 14,460 square feet.

The project provides a total of 19 parking spaces including 1 ADA accessible space. The required number of spaces is 18. Ingress to the parking lot will be from 12th Street South and egress will be onto the alley.

Landscaping

The project utilizes a variety of vegetation including grasses, perennial flowers, coniferous shrubs, and deciduous shrubs and trees. The project provides 10 trees within the 1st Avenue South and 12th Street South boulevards, 6 of which are existing. The boulevards also include sod. Surrounding the building will be a variety of shrubs and perennials that are planted on a mulched or river rock bed. There are several existing trees planted along the eastern property line that will remain. All exposed mechanical equipment is screened with vegetation. The proposed landscape plan is in compliance with the standards prescribed in Chapter 44 of Title 17 of the Official Code of the City of Great Falls (OCCGF). For reference, the proposed Landscape Plan is attached to this report in Exhibit E.

Outdoor Lighting

The proposal includes outdoor lighting on the façade of the building in the form of sconces and a pole light on the southern edge of the parking lot. The applicant has provided a photometric outdoor lighting plan for review. The plan complies with the requirements of Chapter 40 of Title 17 of the OCCGF. For reference, the photometric outdoor lighting plan is attached to this report in Exhibit E.

Exterior Elevations

The project provides articulation in height through various roof peaks, patios/balconies, and windows. Exterior finishes will utilize lap and board and batten siding with a stone veneer wainscot. The change in material and color provides for a more expressive façade treatment, creating an inviting and appealing look.

New Construction: Exhibit 28-1 Standards and Guidelines for specified projects and buildings

The proposed project is consistent with the guidelines and standards of Exhibit 28-1. The proposed building is a positive asset to the area. The building placement maximizes the space and takes advantage of southerly solar exposure. The proposed exterior material, façade design, and colors create an inviting visual interest. Overall, the design positively addresses access, natural terrain, and relationship to nearby buildings to the maximum extent feasible. The proposed trash enclosure will be surrounded by a slatted chain link fence. All ground mechanical equipment will be screened by vegetation.

Conformance with Title 17

The applicant's representative will develop plans and specifications in conformance with the relevant requirements of Title 17 Land Development Code.

Conformance with Title 15

The applicant's representative will develop plans and specifications in conformance with the relevant requirements of Title 15 Building and Construction.

Recommendation

Staff supports this application and recommends the Design Review Board approve the submitted design subject to the Conditions of Approval.

Suggested Motion

1. Board Member moves:

I move that the Design Review Board (approve/approve with conditions) the Design Review Board Application for the First Avenue Estates project, as shown in the conceptual development plans contained within this report and provided by the applicant's representative, subject to the following Conditions of Approval:

- A. The proposed project shall be developed consistent with the conditions in this staff report, all codes and ordinances of the City of Great Falls, the State of Montana and all other applicable regulatory agencies.
 - B. If after the approval of the concept development plan as approved by this Board, the owner proposes to expand or modify the conceptual development plans, the Director of the Planning and Community Development Department shall determine in writing if such proposed change would alter the concept for one or more review criteria. If such proposed change would alter the plan, the proposal shall be resubmitted for review as a new application.
 - C. The applicant shall submit plans and specifications to Planning and Community Development Department in conformance with the relevant requirements of Title 15 - Building and Construction, of the Official Code of the City of Great Falls.
 - D. The applicant shall submit plans and specifications to Planning and Community Development Department in conformance with the relevant requirements of Title 17 - Land Development Code, of the Official Code of the City of Great Falls.
-
-
-

2. Chairman calls for a second, discussion, inquiries from the public, and calls the vote.

Cc: Dave Dobbs, City Engineering
Patty Cadwell, Neighborhood Council Coordinator
Todd Seymanski, City Forester
Neil Fortier, NeighborWorks Great Falls; Nfortier@nwgf.org
Dani Grebe, Project Architect/Representative; danig@lpwarchitecture.com

EXHIBIT A - APPLICATION

CITY OF GREAT FALLS
 PLANNING & COMMUNITY DEVELOPMENT DEPT.
 P.O. BOX 5021, GREAT FALLS, MT, 59403-5021
 406.455.8430 • WWW.GREATFALLSMT.NET

Submittal Date: _____
 Application Number _____

DESIGN REVIEW BOARD APPLICATION

NeighborWorks First Avenue Estates Apartment Complex

Name of Project / Proposed Use:

NeighborWorks

Owner Name:

509 1st Ave S., Great Falls, MT 59401

nfortier@nwgf.org

Mailing Address:

(406) 761-5861

nfortier@nwgf.org

Phone:

Email:

Neil Fortier

Representative Name:

509 1st Ave S., Great Falls, MT 59401

Mailing Address:

(406) 216-3515

Phone:

Email:

PROJECT LOCATION:

1201 1st Ave South, Great Falls, MT

Site Address:

22,500

14,443

Sq. Ft. of Property:

Sq. Ft. of Structure:

LEGAL DESCRIPTION

012

12

T20N

R03E

Mark/Lot:

Section:

Township/Block

Range/Addition

I (We), the undersigned, attest that the above information is true and correct to the best of my (our) knowledge. Further, I (We) owner of said property authorize the above listed representative to act as my agent in this application.

Property Owner's Signature:

Date:

Dani Grebe

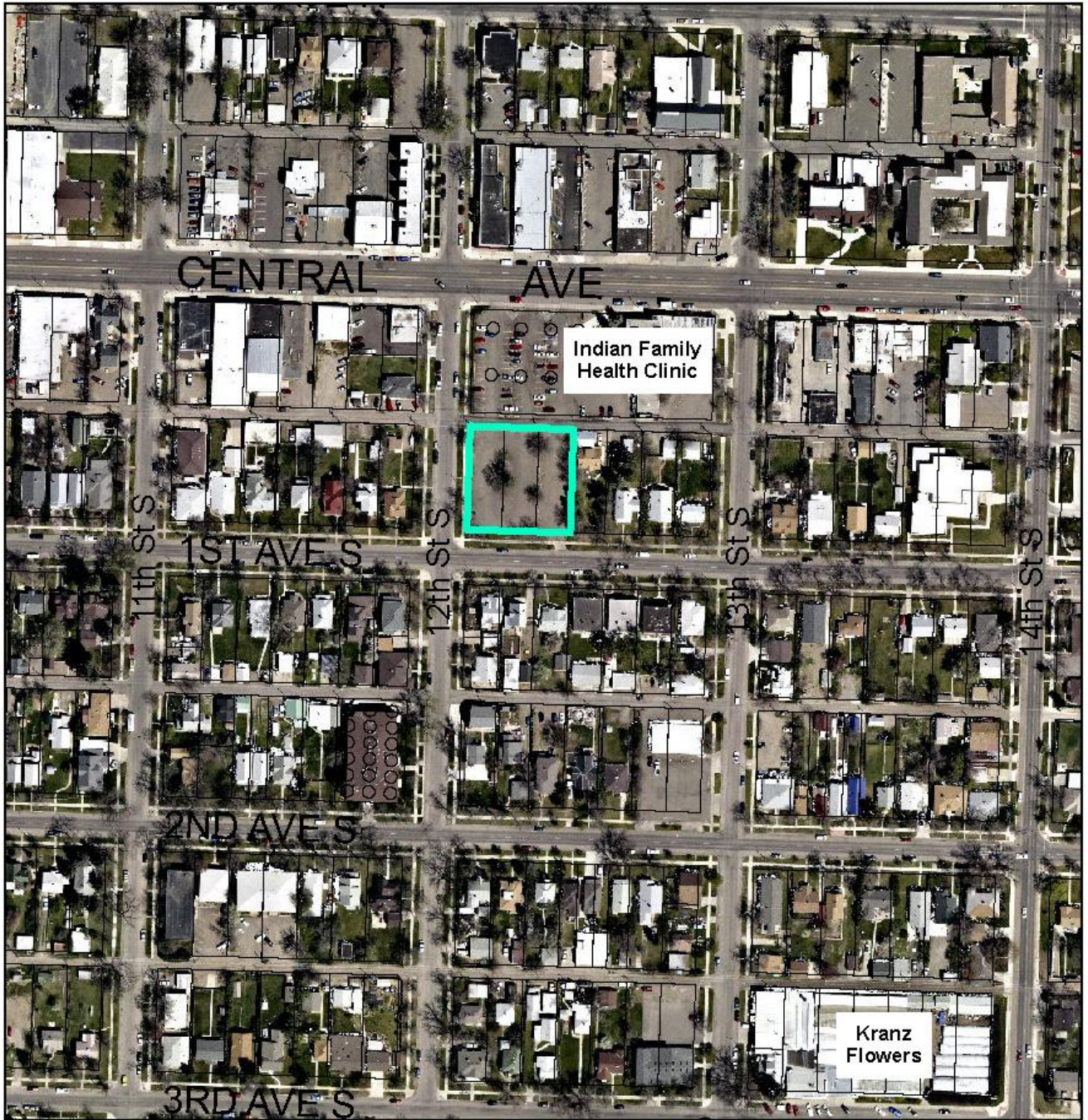
Digitally signed by Dani Grebe
 Date: 2015.09.14 10:57:47 -06'00'

9/14/15

Representative's Signature:

Date:

EXHIBIT B - AERIAL MAP





-  1201 1st Ave S
-  Tracts of Land



EXHIBIT C - SITE PHOTOS



VIEW LOOKING NE FROM 1ST AVE S AND 12TH ST S



VIEW LOOKING EAST FROM 12TH ST S



VIEW LOOKING SOUTH FROM THE ALLEY NORTH OF THE SUBJECT PROPERTY

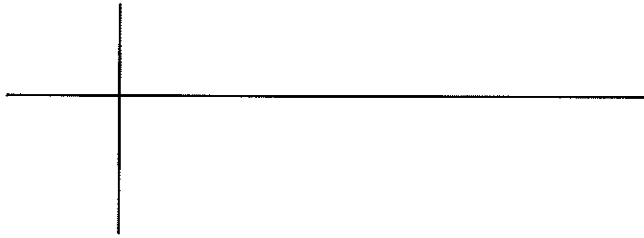


VIEW LOOKING NORTH FROM 1ST AVE S

EXHIBIT D - PROPOSED RENDERING



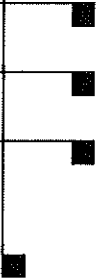
EXHIBIT E - PROJECT NARRATIVE AND PLAN SET



ARCHITECTURE

ENGINEERING

PLANNING



Design Review Board Application

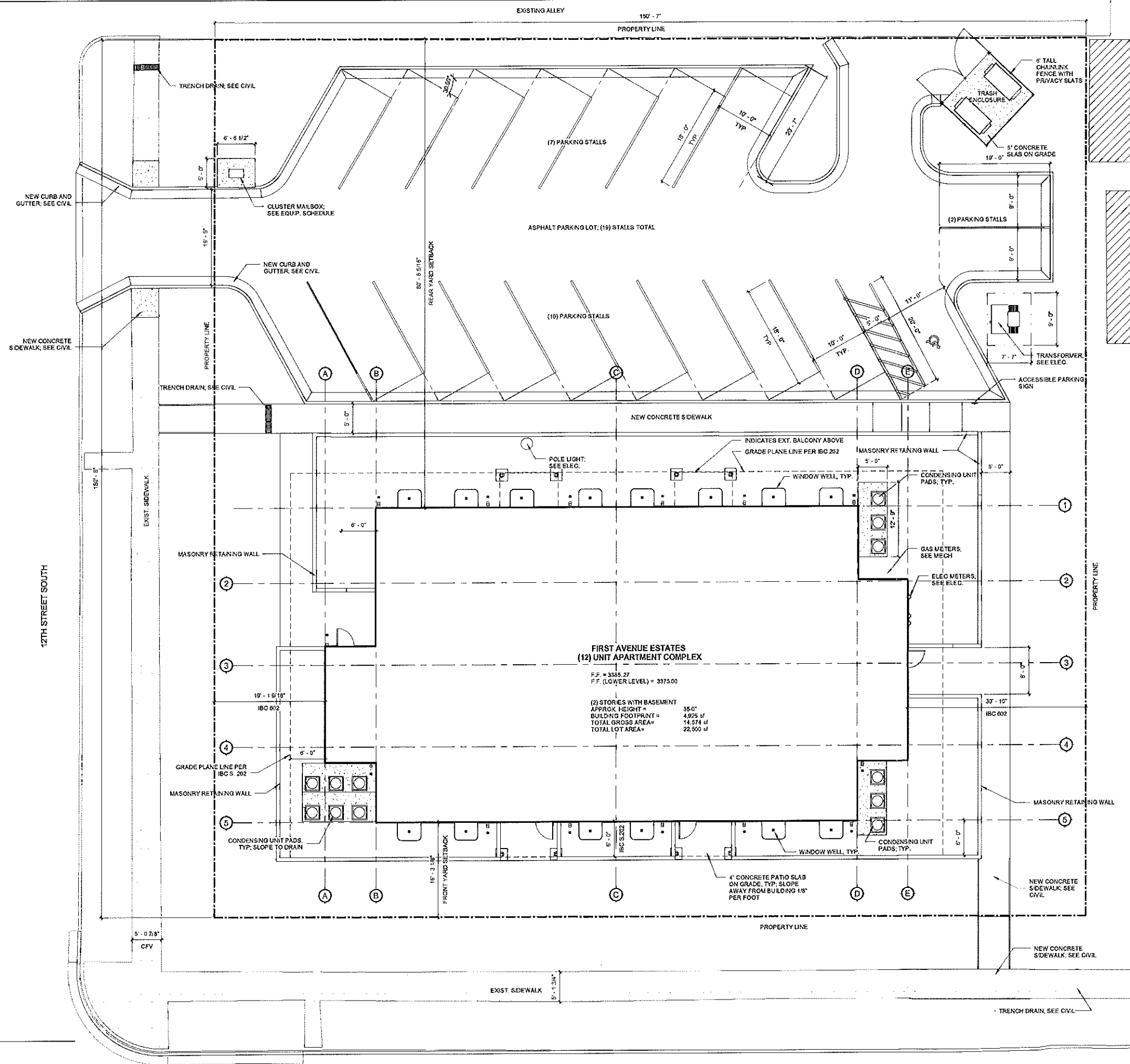
Narrative of Project

NeighborWorks Great Falls is proposing to build a 12 unit, three level (two-story) complex with on-site parking. The building is surrounded with landscaping and masonry block retaining walls with sodded areas around the parking lot and sidewalks. There will be two entrances on the east and west elevations to a common stairwell and hallway. All basement units will be ADA accessible. The above grade units each have private exterior balconies composed of residential style railing. Two of the below grade units will have walk out patios located on the south side of the building. There will be a shingled gable roof with smaller secondary gables on the stairwells and exterior balconies. The exterior finishes will complement the existing residences with a use of common residential lap and board and batten siding with a stone veneer wainscot.

The majority of the units will be low-income units with market rate units on the top floor. Each 900 sf apartment contains three bedrooms, two bathrooms, a kitchen and dining area, and private laundry facilities within the unit.

L'Heureux Page Werner





1 SITE PLAN
1/8" = 1'-0"

IRW
L'Heureux
Page Werner
ARCHITECTURAL ENGINEERS
15 First Street South
Orland Park, Missouri 63011
Phone (636) 211-2770

1ST AVENUE ESTATES
1201 1ST AVE SOUTH
NEIGHBORWORKS GREAT FALLS
SITE PLAN

No.	Revised/Issued as	Date

No.	Submitted Schedule	Date

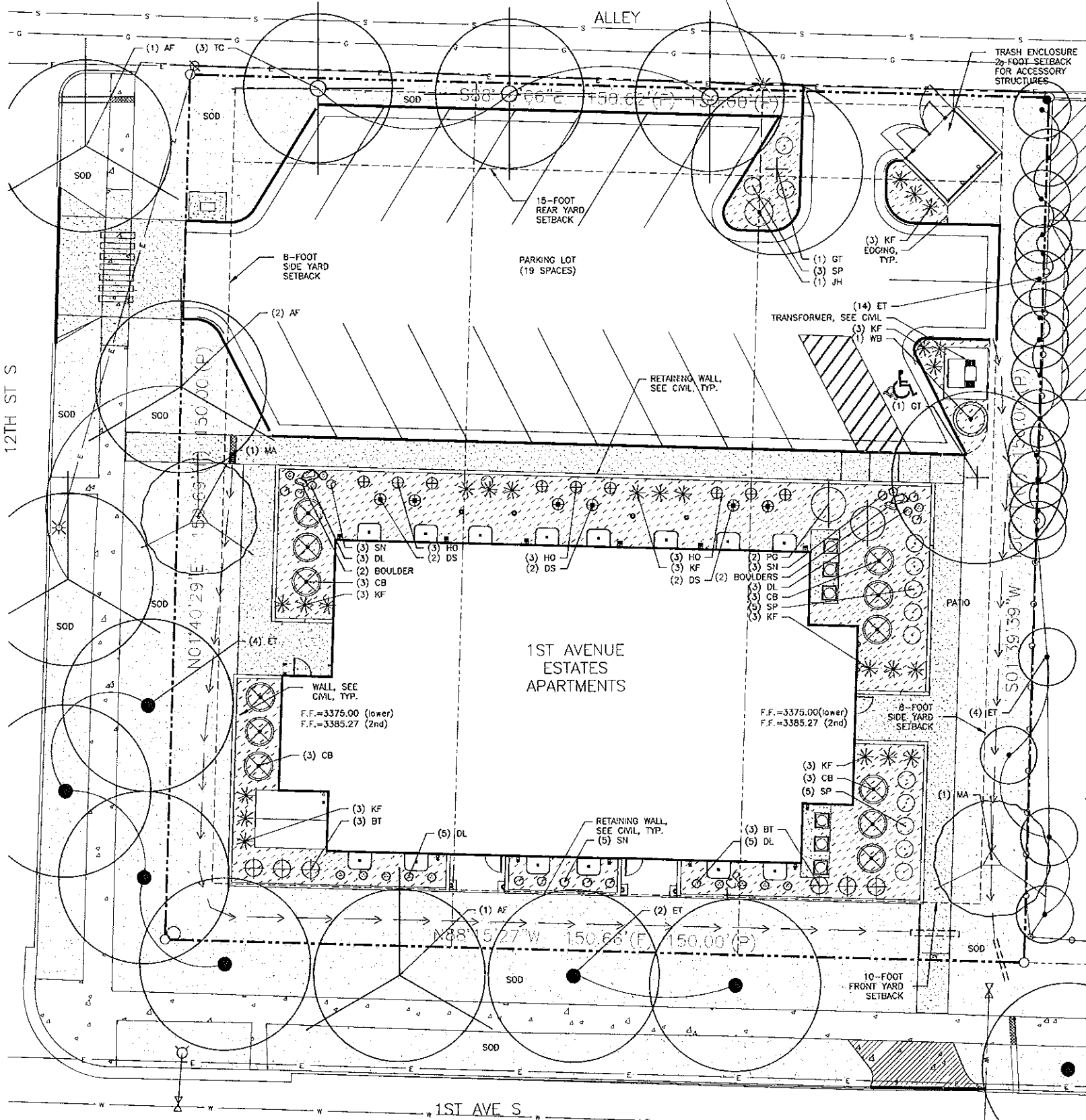
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WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

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DRAWN BY: DMG
CHECKED BY: []
DATE: 07/15/15
PROJECT NUMBER: 15-015
SHEET NUMBER: SP1.0



PLANTING PLAN SHEET L1.01



GENERAL NOTES

- ALL WORK SHALL BE CONTAINED WITHIN THE SUBJECT PROPERTY BOUNDARY LINES AND ADJACENT RIGHT-OF-WAY. PERMISSION TO ENTER ADJACENT, PRIVATE PROPERTY, IF NEEDED, IS THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL WORK WITHIN CITY RIGHT-OF-WAY WITH THE CITY.
- ALL TREES AND OTHER LARGE VEGETATION SHALL BE PLANTED NO CLOSER TO ANY UTILITY LINE THAN THE MINIMUM DISTANCE REQUIRED BY THE CITY OF GREAT FALLS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DISTANCE FROM ALL UTILITIES AT TIME OF INSTALLATION.
- ANY DAMAGE TO UTILITY LINES, RESULTING FROM THE ACTIONS OF THE CONTRACTOR IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF CONTRACTOR TO CORRECT.
- VERIFY WITH THE PROJECT MANAGER AND UTILITY COMPANIES THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START. REPAIR ANY DAMAGE TO EXISTING UTILITIES, CURBS, PAVEMENTS AND STRUCTURES WHICH OCCUR DURING THE CONSTRUCTION OF THE PROJECT OR AS A RESULT OF THE CONTRACTOR'S ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER.
- SAFEGUARD ALL BUILDING SURFACES, EQUIPMENT AND FURNISHINGS. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE IN THE EXECUTION OF THE WORK.

CODE REVIEW

CODE REQUIREMENT	REQUIRED	PROVIDED
BOULEVARD TREES 1 PER 35 LINEAL FEET	9 TREES	6 EXISTING TREES 4 NEW TREES
1 TREE PER 1,500 SQ FEET OF NET LOT AREA	10,250/1,500=7 TREES	7 NEW TREES
TURF GRASS OR GROUND COVER SHALL COVER 50% OF NET LOT AREA	LOT SIZE: 22,500 & BUILDING AREA: 12,783 NET LOT: 9,717 50% = 4,859 SQ. FT.	AREA WITH SOD HATCH WITHIN PROPERTY LINE= 4,934 SQ. FT.

PLANTING NOTES

- COORDINATE WITH ARCHITECTURE/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH GRADING, SURFACE AND UNDERGROUND CONDITIONS AND UTILITIES.
- ALL GRADES, DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON-SITE BEFORE CONSTRUCTION BEGINS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- SEE CIVIL FOR SITE GRADING.
- ONE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF BOTH THE PLANTING AND IRRIGATION INSTALLATION, UNLESS OTHERWISE APPROVED BY OWNER.
- COORDINATE WITH OTHER CONTRACTORS, AS NECESSARY, REGARDING LOCATION AND TIMING OF INSTALLATION OF PLANT MATERIALS.
- PLANT MATERIALS SHALL BE FURNISHED IN THE QUANTITIES AND/OR SPACING AS SHOWN OR NOTED. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT SCHEDULE, THE PLAN SHALL DICATE.
- PLANT MATERIALS ARE DRAWN AT OR NEAR THEIR MATURE SIZE. UTILIZE THE CENTER POINT OF THE SYMBOL TO DETERMINE PROPER PLANT LAYOUT AND PLACEMENT, PLANT TREES WITHIN 5-FEET OF LOCATION SHOWN ON PLANS, UNLESS UTILITY CONFLICTS EXIST OR OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
- ALL PLANTS ARE TO MEET OR EXCEED "AMERICAN STANDARDS FOR NURSERY STOCK", CURRENT EDITION, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION. ALL PLANTS SHALL BE NURSERY-GROWN UNLESS OTHERWISE NOTED.
- ALL SHRUB BEDS TO BE MULCHED WITH CLEAN, DEBRIS FREE, 3"-6" COBBLE ROCK, 3" MINIMUM DEPTH.
- PROVIDE A 3'-0" DIA. BED AROUND ALL TREES LOCATED IN LAWNS. MULCH WITH CLEAN BARK MULCH, 3" DEPTH. NO EDGING OR WEED BARRIER REQUIRED, SEE DETAILS.
- STAKE AND GUY ALL TREES IMMEDIATELY AFTER PLANTING. THE STABILITY AND PLUMB CONDITIONS OF ALL PLANT STOCK IS THE RESPONSIBILITY OF THE CONTRACTOR THROUGH THE WARRANTY PERIOD AND THE CONTRACTOR IS LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS.
- COORDINATE THE PLANTING WITH IRRIGATION SYSTEM. THE OWNER IS NOT RESPONSIBLE FOR DAMAGE CAUSED BY OTHER TRADES WHILE COMPLETING THIS WORK.
- ALL SUBSTITUTIONS AND PLAN CHANGES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER'S REPRESENTATIVE.
- ANY WORK OR MATERIAL WHICH IN THE OPINION OF THE OWNER'S REPRESENTATIVE DOES NOT MEET THE REQUIREMENTS OF THE PLANS WILL BE CAUSE FOR REJECTION. ALL REJECTED WORK AND MATERIALS SHALL BE IMMEDIATELY REMOVED, DISPOSED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- BEGIN MAINTENANCE AFTER EACH PLANT HAS BEEN INSTALLED AND CONTINUE UNTIL FINAL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, MULCHING, REPLACEMENT OF SICK OR DEAD PLANTS AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT STOCK.
- DURING THE COURSE OF THIS WORK, REMOVE EXCESS WASTE MATERIAL DAILY FROM THE SITE AND UPON COMPLETION OF ALL WORK.
- EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 1/8" X 4" STEEL SET LEVEL WITH TOP OF SOD, LOCATION PER PLANS.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITIES SHALL BE CONSERVED FOR LATER USE. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSEND. ORGANIC AMENDMENTS SUCH AS COMPOST, PEAT OR AGED MANURE SHALL BE THOROUGHLY INCORPORATED.
- UPON COMPLETION OF ALL LANDSCAPING, A SUBSTANTIAL COMPLETION WALK-THROUGH OF THE WORK WILL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR SCHEDULING THE WALK-THROUGH AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED DATE. WARRANTY ALL PLANT STOCK AND WORKMANSHIP FOR 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE. REPLACEMENT PLANTS SHALL BE WARRANTED FOR AN ADDITIONAL 90 DAYS.
- SOD ALL AREAS NOT INCLUDED IN PLANTING BEDS WITH A KENTUCKY BLUEGRASS, PER PLANS. SOD SHALL BE FROM A COMMERCIAL SOD FARM LOCATED IN CASCADE COUNTY, MONTANA. SOD TYPE, CONDITION AND SOURCE SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE.

IRRIGATION NOTES

- ALL LANDSCAPE AREAS WITHIN THE SITE SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE USE OF HOSE BIBS ON THE EXTERIOR OF EXISTING OR PROPOSED STRUCTURES IS NOT ACCEPTABLE.
- ALL IRRIGATION SYSTEMS AND LANDSCAPED AREAS SHALL BE DESIGNED, CONSTRUCTED, OPERATED AND MAINTAINED SO AS TO PROMOTE WATER CONSERVATION AND PREVENT WATER OVERFLOW OR SEEPAGE INTO THE STREET, SIDEWALK OR PARKING AREAS.
- ALL TURF AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES ARE TO BE IRRIGATED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER EQUIPMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- BACKFLOW PREVENTION DEVICE SHALL BE PROVIDED PER CITY STANDARDS. IRRIGATION SYSTEM TO MEET ALL LOCAL AND STATE CODES.
- CONTRACTOR SHALL MAKE HURDLE SUPPLYING AND INSTALLING ALL MATERIALS AND EQUIPMENT FOR A COMPLETE, AUTOMATIC IRRIGATION SYSTEM. ANY ITEMS REQUIRED TO CONFORM WITH SUCH INTENT ARE CONSIDERED TO BE INCIDENTAL TO THE WORK.
- DO NOT WILLFULLY INSTALL THE SYSTEM WHEN OBVIOUS OBSTRUCTIONS, GRADE CHANGES AND SITE GEOMETRY EXIST. SUCH DIFFERENCES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. IN THE EVENT NOTIFICATION IS NOT MADE, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- CONTRACTOR SHALL REFER TO LANDSCAPE AND UTILITY PLANS WHEN LAYING OUT HEAD PLACEMENT AND TRENCHING.

MASTER PLANT SCHEDULE

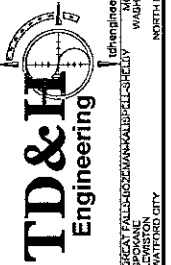
SYM	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	ROOT	NOTES	MATURE HEIGHT	MATURE WIDTH
DECIDUOUS TREES								
ET	25	EXISTING TREE	EXISTING TREE					
AF	4	ACER X FREEMANNI	AUTUMN BLAZE MAPLE	1.5" CAL	B & B		50-60'	30-40'
GT	2	GLEDITSIA TRACANTHOS 'SKYCOLE'	SKYLINE HONEYLOCUST	1.5" CAL	B & B		40-50'	30-35'
MA	2	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	1.5" CAL	B & B		25-30'	15'
TC	3	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	1.5" CAL	B & B		50'	30'
DECIDUOUS SHRUBS								
BT	6	BERBERIS THUNBERGII 'CONCORD'	CONCORD JAPANESE BARBERRY	1 GAL.	CONTAINER		2'	3'
CB	12	CORNUS ALBA 'BAUHALO'	WORY HALO DOGWOOD	2 GAL.	CONTAINER		5-6'	5-6'
SP	13	SPirea JAPONICA 'MAGIC CARPET'	MAGIC CARPET SP. REA	1 GAL.	CONTAINER		2'	3'
CONIFEROUS SHRUBS								
JH	1	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	2 GAL.	CONTAINER	SPREADING	12"	3-6"
WB	1	JUNIPERUS SCOOPULORUM 'WITCHITA BLUE'	WITCHITA BLUE JUNIPER	5 GAL.	CONTAINER	UPRIGHT	12-18"	5-7"
PG	2	PICEA PUNGENS 'GLAUCA GLOBOSA'	GLOBE BLUE SPRUCE	2 GAL.	CONTAINER		5-6"	6-7"
PERENNIALS								
KF	24	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL.	CONTAINER	GRASS	4'	2-3'
DS	6	DICENTRA SPECTABILIS	PINK BLEEDING HEART	1 GAL.	CONTAINER	SHADE TOLERANT	24-36"	24"
DL	17	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL.	CONTAINER	ORANGE	12-24"	18"
HO	9	HOSTA 'GOLDEN TIARA'	GOLDEN TIARA HOSTA	1 GAL.	CONTAINER	SHADE TOLERANT	6-8"	12"
SN	12	SALVIA NEMAROSA 'MAYNACHT'	MAY NIGHT SALVIA	1 GAL.	CONTAINER	PURPLE FLOWERS	16-20"	12"

- NOTES:
- PLANTS IN LEGEND NOTE SHOWN TO SCALE
 - ALL PLANTING BEDS TO BE MULCHED WITH 3" DEPTH RIVER ROCK, UNLESS OTHERWISE NOTED.
 - SEE CIVIL & ARCHITECTURAL PLANS FOR ADDITIONAL LEGEND ITEMS.



NOT FOR CONSTRUCTION

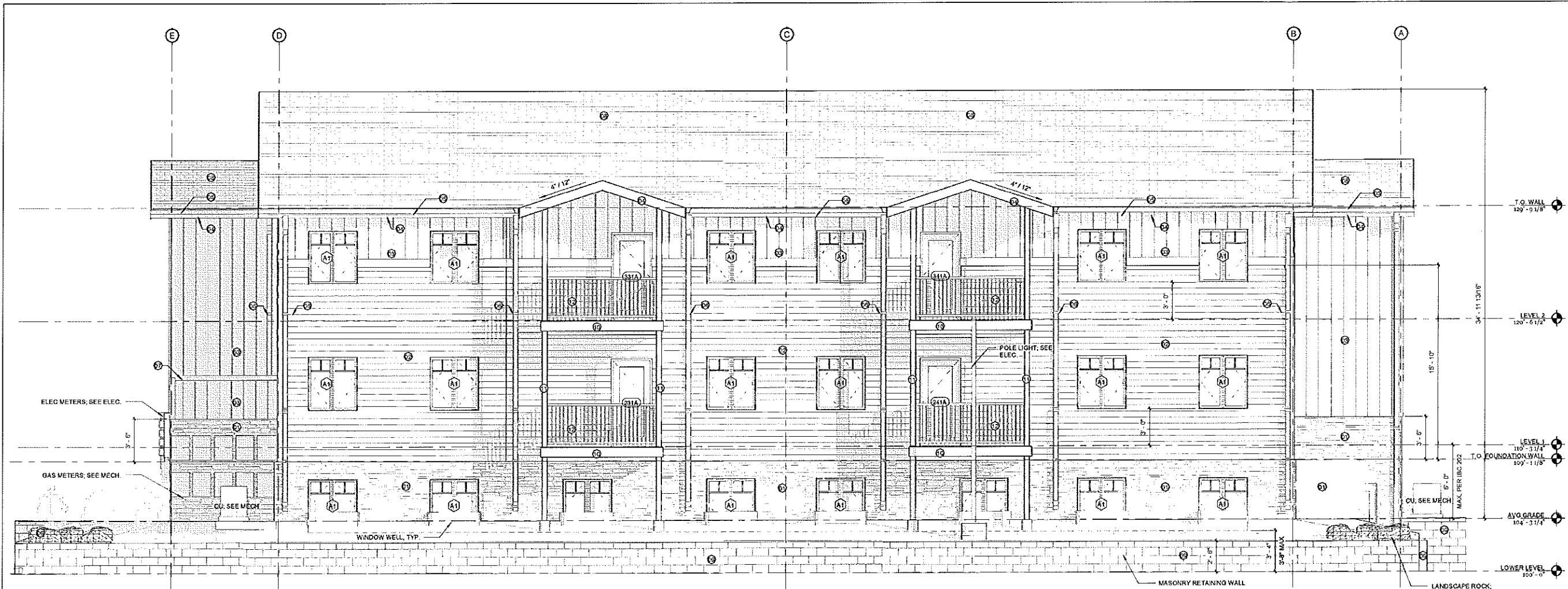
REV	DATE	REVISION



DRAWN BY: JC
 DESIGNED BY: JC
 QUALITY CHECK: WJD
 DATE: 09-14-15
 JOB NO.: 15-047
 FIELDBOOK

1ST AVE ESTATES
 GREAT FALLS, MONTANA

PLANTING PLAN



North Elevation
1/4" = 1'-0"

1ST AVENUE ESTATES
1201 1ST AVE SOUTH
NEIGHBORWORKS GREAT FALLS
EXTERIOR ELEVATIONS - NORTH

Exterior Finish Schedule					
Key Name	Description	MANUFACTURER	MODEL	COLOR	Comments
1	ASHLAR STONE VENEER	ELDORADO OR APPROVED EQUAL			ADD ALT #1
2	HORIZONTAL FIBER CEMENT LAP SIDING	CERTAINTEEED OR APPROVED EQUAL			
3	BOARD AND BATTEN FIBER CEMENT SIDING	CERTAINTEEED OR APPROVED EQUAL			
4	PREFINISHED METAL FASCIA				
5	PREFINISHED METAL GUTTER				
6	PREFINISHED METAL DOWNSPOUT				
7	PREFINISHED METAL PARAPET CAP				
8	ASPHALT SHINGLES	CERTAINTEEED OR APPROVED EQUAL	PATRIOT	DRIFTWOOD	
9	MASONRY BLOCK RETAINING WALL	BELGARD OR APPROVED EQUAL	ANCHOR DIAMOND	SANDSTONE	
10	PAINTED WOOD BALCONY RIM BOARD			STAIN PT. ; SEE SPEC	ADD ALT #2
11	PAINTED WOOD BALCONY COLUMNS			STAIN PT. ; SEE SPEC	ADD ALT #2
12	PAINTED WOOD BALCONY RAILING			STAIN PT. ; SEE SPEC	ADD ALT #2

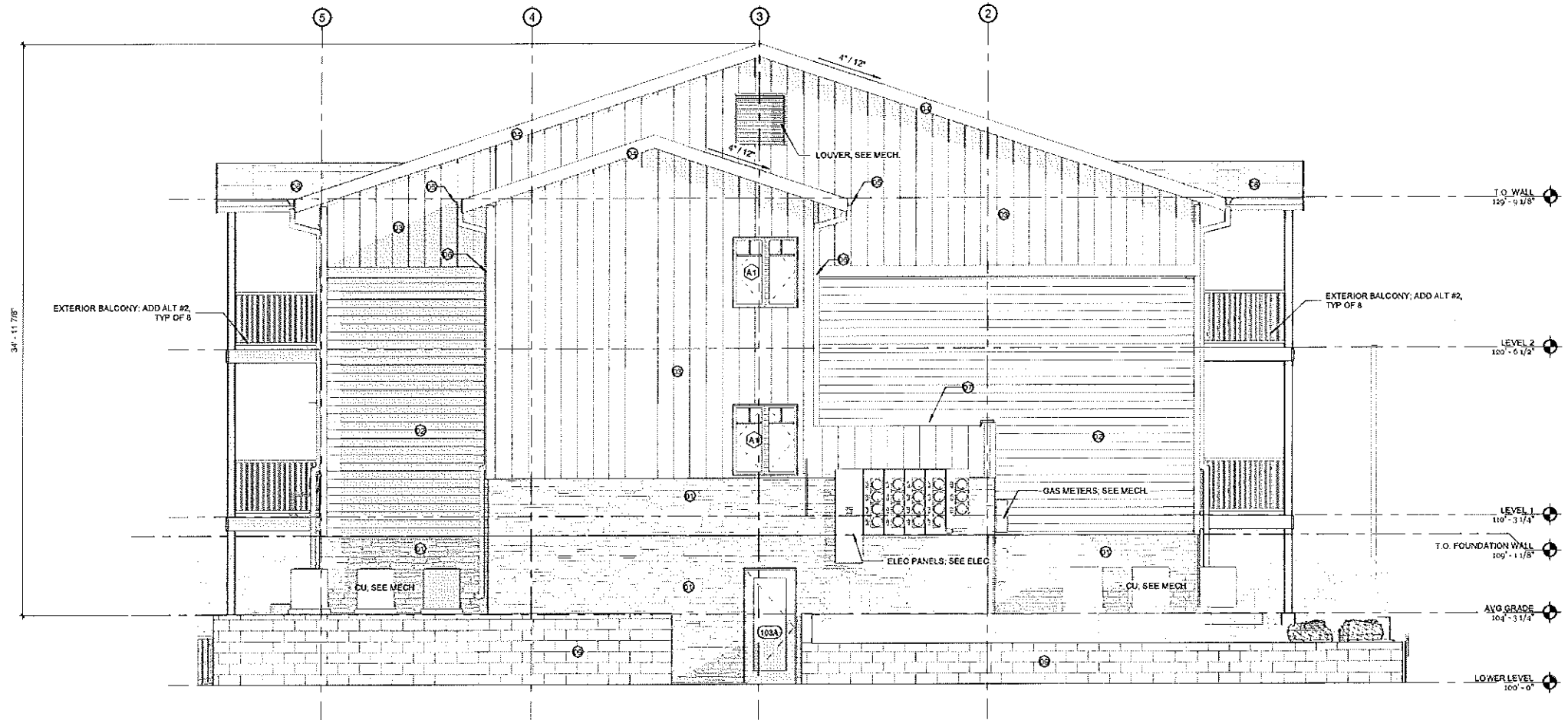
Revised Schedule		
No.	Revised	Date

Exterior Schedule		
No.	Approved	Date

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DESIGNED BY: DMG
CHECKED BY: [Signature]
DATE: 01/02/09
PROJECT NUMBER: 15-015
SHEET NUMBER: **A6.1**

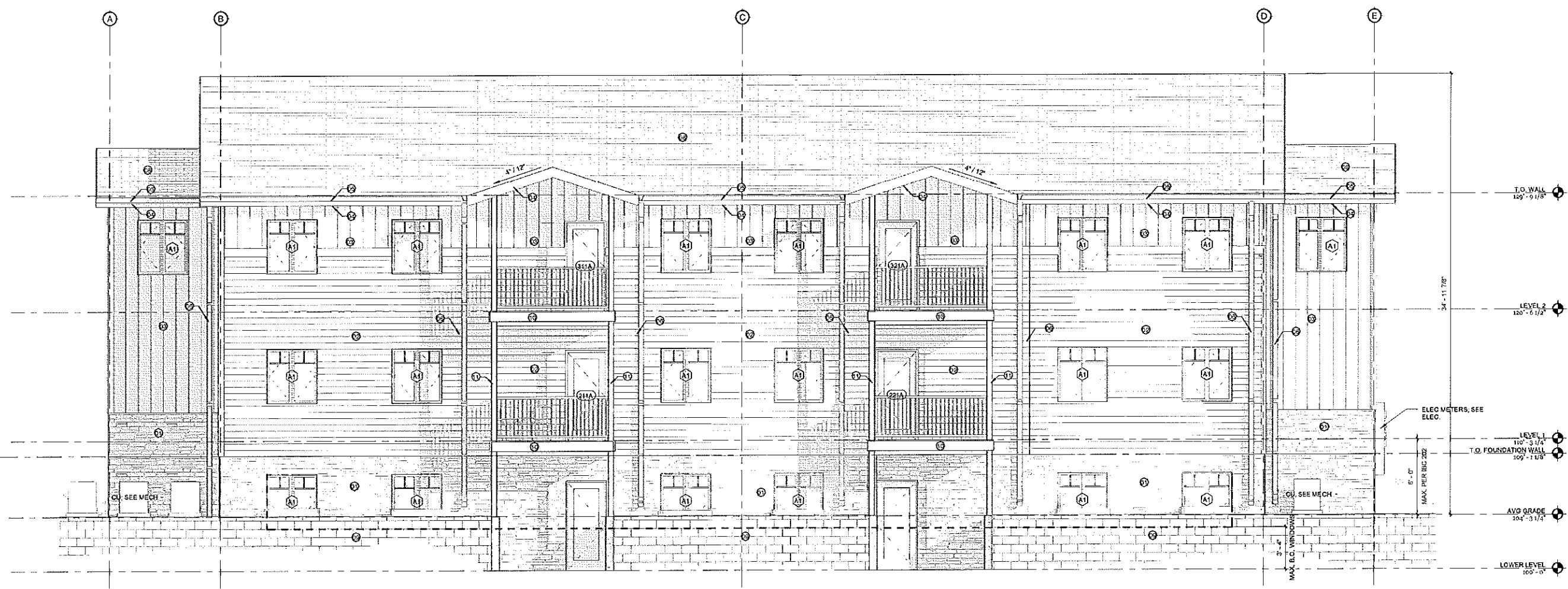


2 East Elevation
1/4" = 1'-0"

Exterior Finish Schedule					
Key Name	Description	MANUFACTURER	MODEL	COLOR	Comments
1	ASHLAR STONE VENEER	ELDORADO OR APPROVED EQUAL			ADD ALT #1
2	HORIZONTAL FIBER CEMENT LAP SIDING	CERTAINEED OR APPROVED EQUAL			
3	BOARD AND BATTEN FIBER CEMENT SIDING	CERTAINEED OR APPROVED EQUAL			
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5	PREFINISHED METAL GUTTER				
6	PREFINISHED METAL DOWNSPOUT				
7	PREFINISHED METAL PARAPET CAP				
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9	MASONRY BLOCK RETAINING WALL	BELGARD OR APPROVED EQUAL	ANCHOR DIAMOND	SANDSTONE	
10	PAINTED WOOD BALCONY RIM BOARD			STAIN PT. ; SEE SPEC	ADD ALT #2
11	PAINTED WOOD BALCONY COLUMNS			STAIN PT. ; SEE SPEC	ADD ALT #2
12	PAINTED WOOD BALCONY RAILING			STAIN PT. ; SEE SPEC	ADD ALT #2

Revised Schedule		
No.	Revised	Date

Submitted Schedule		
No.	Submitted	Date



1 South Elevation
 1/4" = 1'-0"

Exterior Finish Schedule					
Key Name	Description	MANUFACTURER	MODEL	COLOR	Comments
1	ASHLAR STONE VENEER	ELDORADO OR APPROVED EQUAL			ADD ALT #1
2	HORIZONTAL FIBER CEMENT LAP SIDING	CERTAINEED OR APPROVED EQUAL			
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7	PREFINISHED METAL PARAPET CAP				
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9	MASONRY BLOCK RETAINING WALL	BELGARD OR APPROVED EQUAL	ANCHOR DIAMOND	SANDSTONE	
10	PAINTED WOOD BALCONY RIM BOARD			STAIN PT. ; SEE SPEC	ADD ALT #2
11	PAINTED WOOD BALCONY COLUMNS			STAIN PT. ; SEE SPEC	ADD ALT #2
12	PAINTED WOOD BALCONY RAILING			STAIN PT. ; SEE SPEC	ADD ALT #2

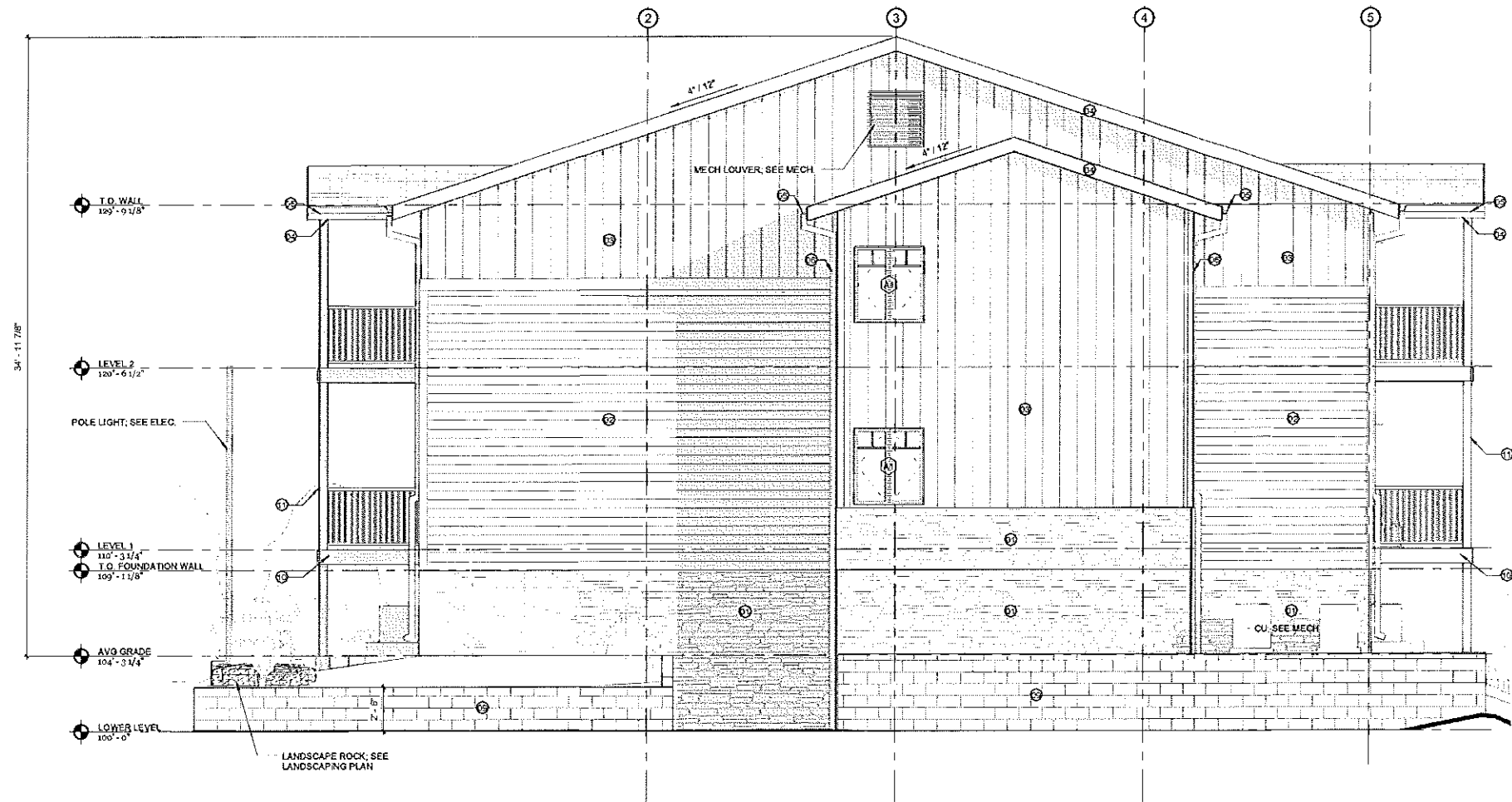
1ST AVENUE ESTATES
 1201 1ST AVE SOUTH
 NEIGHBORWORKS GREAT FALLS
 EXTERIOR ELEVATION SOUTH

Revised Schedule		
No.	Revised	Date

Submitted Schedule		
No.	Submitted	Date

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DESIGNED BY: DMG
 CHECKED BY: [Signature]
 DATE: 07/20/15
 PROJECT NUMBER: 15-015
 SHEET NUMBER: A6.3



1 West Elevation
1/4" = 1'-0"

Exterior Finish Schedule					
Key Name	Description	MANUFACTURER	MODEL	COLOR	Comments
1	ASHLAR STONE VENEER	ELDORADO OR APPROVED EQUAL			ADD ALT #1
2	HORIZONTAL FIBER CEMENT LAP SIDING	CERTAINTEEED OR APPROVED EQUAL			
3	BOARD AND BATTEN FIBER CEMENT SIDING	CERTAINTEEED OR APPROVED EQUAL			
4	PREFINISHED METAL FASCIA				
5	PREFINISHED METAL GUTTER				
6	PREFINISHED METAL DOWNSPOUT				
7	PREFINISHED METAL PARAPET CAP				
8	ASPHALT SHINGLES	CERTAINTEEED OR APPROVED EQUAL	PATRIOT	DRIFTWOOD	
9	MASONRY BLOCK RETAINING WALL	BELGARD OR APPROVED EQUAL	ANCHOR DIAMOND	SANDSTONE	
10	PAINTED WOOD BALCONY RIM BOARD			STAIN PT. - SEE SPEC	ADD ALT #2
11	PAINTED WOOD BALCONY COLUMNS			STAIN PT. - SEE SPEC	ADD ALT #2
12	PAINTED WOOD BALCONY RAILING			STAIN PT. - SEE SPEC	ADD ALT #2

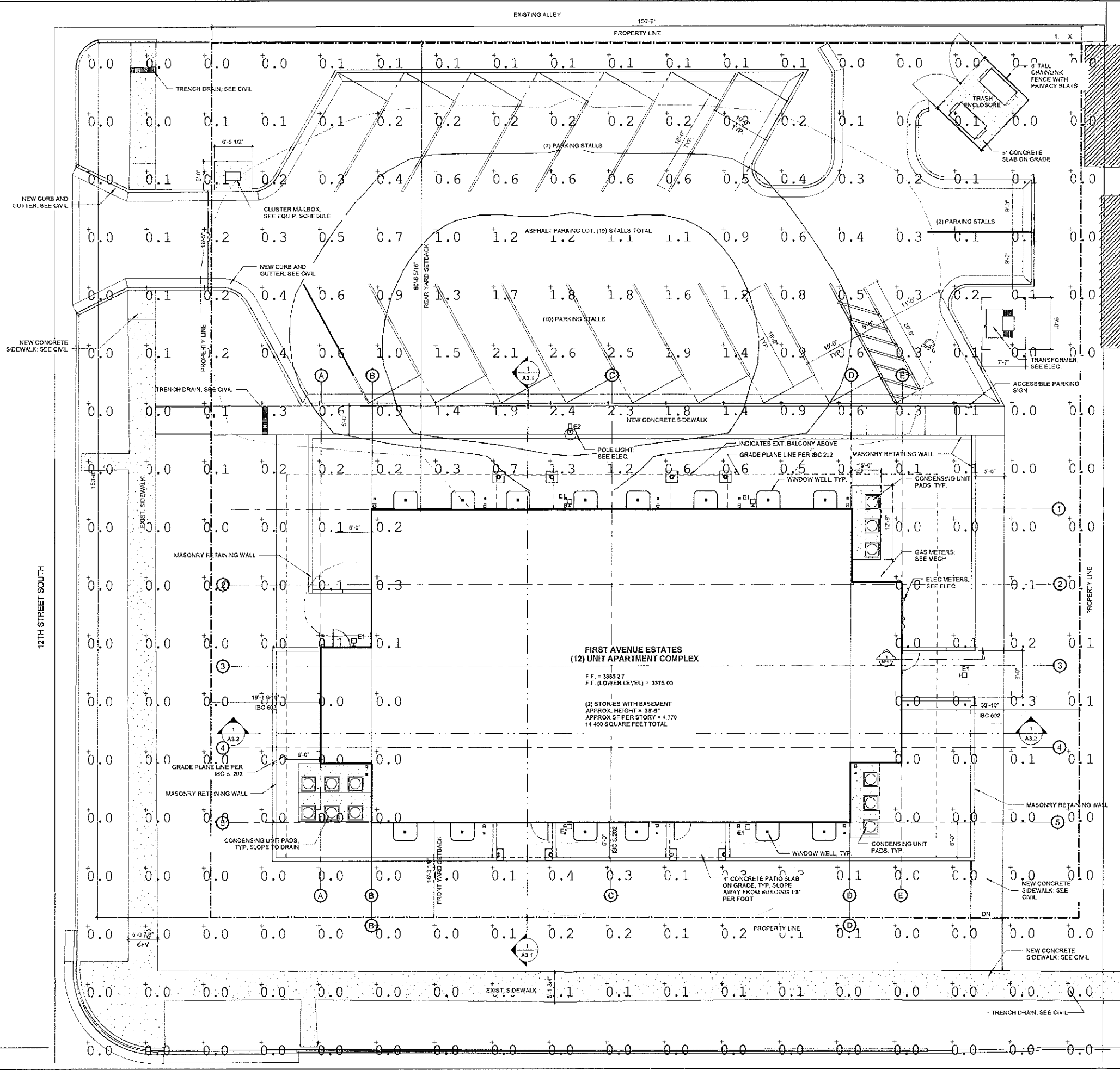
Revised Schedule		
No.	Revised	Date

Submittal Schedule		
No.	Submittal	Date

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DESIGNED BY: _____ Author
CHECKED BY: _____ Checker
DATE: 06/02/15
PROJECT NUMBER: 15-015
SHEET NUMBER: **A6.4**



KEY			
■	1 FC		
■	5 FC		
■	2 FC		

SCHEDULE			
SYM	WATTS	DESCRIPTION	MODEL
(E1)	60W	EXTERIOR SCENCE	PROGRESS LIGHTING - P7052
(E1)	135W	POLE LIGHT	LITHONIA - DSX0

LFW
L'Heureux
Page Werner
 ARCHITECTURE ENGINEERING
 15 Fifth Street South
 Great Falls, Montana 59401
 Phone (406) 733-0175

MORRISON MAIERLE, INC.
 ENGINEERS SURVEYORS PLANNERS SCIENTISTS

1ST AVENUE ESTATES
1201 1ST AVE SOUTH
 NEIGHBORWORKS GREAT FALLS
 SITE LIGHTING PLAN

Revision Schedule		
No.	Revision	Date

Submittal Schedule		
No.	Submittal	Date

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DRAWN BY: ASJ
 CHECKED BY: AGJ
 DATE: 8/11/2013
 PROJECT NUMBER:
 SHEET NUMBER: E1

1 SITE LIGHTING PLAN
 1/8" = 1'-0"