

BOARD OF APPEALS

JANUARY 9, 2014

Case Number

BOA2013-8

Appellant

Jay Nash

Owner

Jay Nash

Property Location

1015 24th Street South,
Great Falls, MT

Parcel ID Number

Lots 22-28, Block 2,
Lincoln Heights Addition

Requested Action

The appellant requests his
appeal be granted

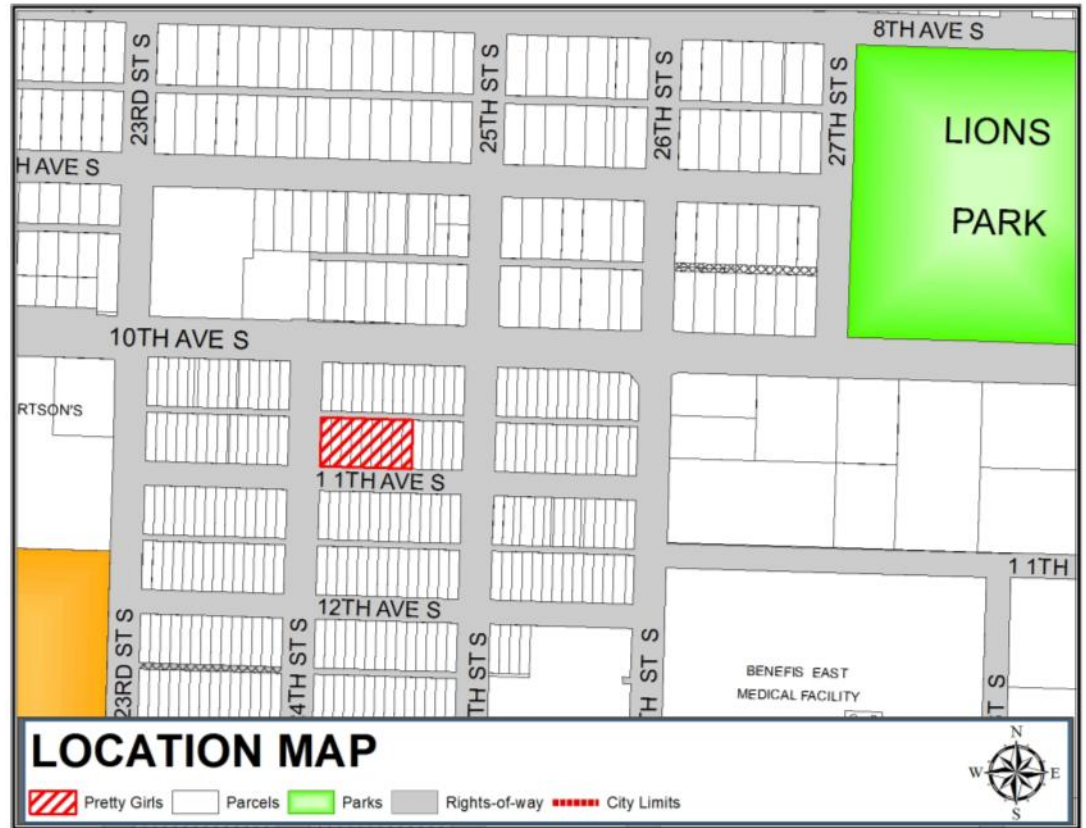
Recommendation

Deny the appeal and up-
hold the decision of the
Building Official

Project Planner

Craig Raymond, CBO

JAY NASH “PRETTY GIRLS” APPEAL



SUMMARY

Jay Nash has appealed a determination by the Building Official that plans submitted for the permitting and construction of a commercial building shall be sealed or “stamped” by an Architect or Engineer licensed in the State of Montana in accordance with Title 37, chapter 65 MCA and IBC 107.3.4.

BACKGROUND INFORMATION

On October 28, 2012, the previous multi-tenant commercial building located at 1015 24th Street South was destroyed by fire. The original building was a multi-use structure which housed various retail operations, including “Pretty Girls” and a window/door retail shop, as well as an electrical contractor office and shop space. As the result of a fire, the site was eventually cleared of all debris and left vacant, as shown in the photographs on the following pages. The owner, Jay Nash, now wishes to construct a single tenant retail commercial building.

JAY NASH “PRETTY GIRLS” APPEAL

CRITERIA FOR APPEAL OF A DECISION BY AN ADMINISTRATIVE OFFICIAL

In accordance with the City Code Section 17.16.34.010, appellants filing an appeal of a decision by an administrative official through a request to the Director of Planning and Community Development must substantiate their appeal in written form, which has been provided by the Appellant in the appeal application and supporting documents attached hereto.

To grant Nash’s appeal, the Board of Appeals must determine that the decision is incorrect because of one or more of the following:

- a) It was against the express language of the OCCGF, or
- b) It was against the express intent of the OCCGF, or
- c) It is unreasonable, or
- d) It is erroneous, or
- e) It is clearly contrary to law.

Per the Montana Code Annotated 2013, 76-2-323, the Board of Appeals has the following powers:

- (1)(a) to hear and decide appeals where it is alleged there is error in any order, requirement, decision, or determination made by an administrative official in the enforcement of this part or of any ordinance adopted pursuant thereto;
- (b) to hear and decide special exceptions to the terms of the ordinance upon which such board is required to pass under such ordinance;
- (c) to authorize upon appeal in specific cases such variance from the terms of the ordinance as will not be contrary to the public interest, where, owing to special conditions, a literal enforcement of the ordinance will result in unnecessary hardship and so that the spirit of the ordinance shall be observed and substantial justice done.
- (2) In exercising the above-mentioned powers, such board may, in conformity with the provisions of this part, reverse or affirm, wholly or partly, or modify the order, requirement, decision, or determination appealed from and may make such order, requirement, decision, or determination as ought to be made and to that end shall have all the powers of the officer from whom the appeal is taken.



JAY NASH “PRETTY GIRLS” APPEAL

ANALYSIS OF APPEAL ISSUES/CONFORMANCE WITH THE MONTANA CODE ANNOTATED, OFFICIAL CODE OF THE CITY OF GREAT FALLS AND THE INTERNATIONAL BUILDING CODE:

The facts of this case are as follows:

During the summer of 2013, a building permit application was filed for the construction of a single tenant commercial building. Upon initial review for completeness, it was noted that the plans lacked the appropriate seal of a licensed design professional. In fact, it was apparent that the plans had been prepared and submitted by Preston Burrow on behalf of the owner, Jay Nash. Mr. Burrow is not known to be a registered design professional. The application was rejected at that time.

On August 22, 2013 The Director (Building Official) made a written determination with regard to Title 37, Chapter 65 MCA, which requires that, unless specifically exempted by MCA 37-65-103, plans submitted shall bear the seal of a Montana state licensed Architect or Engineer. Although the plans did have an engineer’s stamp on the drawings, it was accompanied by a disclaimer “Structural Only”; essentially the engineer is disclaiming any responsibility or liability outside of a narrow scope of work for which he was hired, which was structural design. He is not taking responsibility as the design professional in charge of the project.

ARM 24.301.131 adopts by reference the 2009 International Building Code and the City of Great Falls adopts the same building code by administrative action.

IBC 107.3.4 states *“When it is required that documents be prepared by a registered design professional, the building official shall be authorized to require the owner to engage and designate on the building permit application a registered design professional who shall act as the registered design professional in charge...”*

In this case, the Director (Building Official) has determined that the submitted plans do not conform to this requirement.



JAY NASH “PRETTY GIRLS” APPEAL

INFORMATION:

The Notice of Public Hearing was published in the *Great Falls Tribune* on December 22, 2013.

PUBLIC INPUT:

To date, staff has not received any public comment on the appeal or record decision.

RECOMMENDATION:

Staff respectfully requests that the Board of Appeals affirm the decision of the Building Official.

If the decision of the Building Official is affirmed, it will maintain consistency with state law, and a professional standard in the practice of architecture and preparation of plans for non-exempt projects.

If the appeal is upheld and the decision of the Building Official is overturned, it could create a precedent for the acceptance of non-complying permit and construction documents.

SUGGESTED MOTIONS:

Based upon the evidence presented at the Public Hearing, including the Staff Report with attachments, the Building Official was correct in his determination that non-exempt projects shall be prepared under the supervision of and sealed by a responsible, registered design professional in charge. Therefore I move that the determination of the Building Official be affirmed.

OR

Based upon the evidence presented at the Public Hearing, including the Staff Report with attachments, the Building Official was incorrect in his determination that non-exempt projects shall be prepared under the supervision of and sealed by a registered design professional in charge. Therefore I move that the appeal be granted, reversing the decision of the Building Official.

Prepared by: Craig Raymond, CBO, Director of Planning and Community Development

Attachments:

- Exhibit A - Application
- Exhibit B - Basis for Request
- Exhibit C - CBO Determination Letter dated August 22, 2013
- Exhibit D - Zoning Map
- Exhibit E - Pertinent Sections of the Montana Code Annotated
- Exhibit F - Handbook for Building Projects
- Exhibit G- The Professional Use of Seals
- Exhibit H - Montana Cities Policies
- Exhibit I - Pretty Girls Site Plan & Building Plans

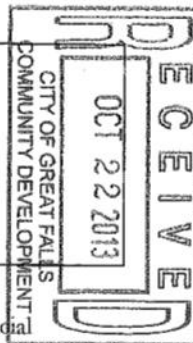
Cc: Matthew Meade, Attorney for Jay Nash
Jay Nash, Appellant, PO Box 2685, Great Falls, MT 59403

EXHIBIT A - APPLICATION

CITY OF GREAT FALLS
 PLANNING & COMMUNITY DEVELOPMENT DEPT.
 P.O. Box 5021, GREAT FALLS, MT, 59403-5021
 406.455.8431 • WWW.GREATFALLSMT.NET

APPEAL APPLICATION

Date: _____
 Application Number: _____
 Fee: \$200
 Paid (Official Use ONLY):



CONDITION FOR APPEAL

Appeal means a process initiated by an aggrieved party to review where it is alleged that an administrative official responsible for administering the Land Development Code or the housing or building regulations: (1) failed to act as required; (2) made an error in issuing a permit or in denying an application; (3) made an error in enforcement; or (4) made an error in an interpretation or any other determination.

Owner / Representative Name: Jay Nash / Represented by Smith Oblander PC, Matt Meade, Attorney

Mailing Address: P.O. Box 2685, Great Falls, MT 59403-2685

Phone: (406) 453-8144 Email: matt@bigskyllaw.com

Appeal Request: To overturn the decision made by Craig Raymond regarding construction of "Pretty Girls" and to authorize construction with an Engineer stamp.

Basis for Request: See attached

PROPERTY DESCRIPTION LOCATION:

Mark/Lot: 22, 23, 24, 25, 26, 27, 28 Section: 18 Township/Block: Block 2 Range/Addition: Lincoln Heights

Street Address: 1015 24th Street S, Great Falls, MT

ZONING:

Current: C-2 Zone

LAND USE:

Current: Commercial

I (We) the undersigned understand that the filing fee accompanying this application is not refundable. I (we) further understand that the fee pays for the cost of processing, and the fee does not constitute a payment for approval of the application. I (we) further understand that other fees may be applicable per City Ordinances. I (We) also attest that the above information is true and correct to the best of my (our) knowledge. NOTE: If the applicant is not the owner of record, the signature of the owner of record must also be obtained.

Property Owner's Signature: [Signature] Date: 10-22-13

Representative's Signature: [Signature] Date: 10/22/2013

EXHIBIT B - APPELLANT'S BASIS FOR REQUEST

Basis for Request

I. An Engineer or Architect is Required for Construction, not Both

Municipal code 15.57.010 states

Where structural integrity or mechanical, electrical, or plumbing complexity, or any other applicable code provision necessitates, the Building Official may require plans, computations, and specification to be prepared and designed by an **engineer or architect** licensed by the State to practice as such even if not required by State Law.

In accordance with the code, C. Preston Burrow, lead contractor for the site, hired Davidson Architecture, who then hired Matt Miller, a licensed engineer, to perform the structural engineering design. Additionally, Mr. Burrow engaged various firms to provide soils engineering, professional landscaping design, structural engineering, mechanical engineering, electrical engineering and roof truss engineering. Subsequently, Pretty Girls was approved by the Great Falls Design Review Board.

Craig Raymond, the Great Falls Building Official/Director, denied approval of Pretty Girls construction for failure to obtain an architect. As Mr. Raymond stated in his August 22, 2013 letter (copy attached)

Further, it is our interpretation of MCA 37-65-102(5) 'Practice of Architecture' that the work that you have performed as a professional service for the owner of the Pretty Girls project is indeed the 'practice of Architecture', and therefore we cannot accept these plans as submitted.

Municipal code 15.57.010 clearly provides that either an engineer **or** an architect is required for these projects, not both.

II. The City Wrongfully Required a "Lead Design Professional"

Additionally, Mr. Raymond denied the application because the Engineer that stamped the site plan "seems to be unwilling to be the principle or lead design professional on this project." The interpretation that the structural engineer must serve as a "lead design professional" in this matter is erroneous and was wrongfully used as a basis for denying the Pretty Girls project.

EXHIBIT C - CBO DETERMINATION LETTER



P.O. Box 5021, 59403-5021
August 22, 2013

Telephone 406 / 727-5881

Preston Burrow
49 Embry Lane
Great Falls, MT. 59404

Dear Mr. Burrow:

The City of Great Falls has received your most recent submittal of design drawings for the "Pretty Girls" project located at 1015 25th St. S. in Great Falls, Mt. Unfortunately, we are not able to process the permit application any further due to the fact that the plans as submitted are incomplete. As we had discussed prior to this most recent re-submittal, the City of Great Falls is requiring these design drawings to be sealed by a licensed Architect or Engineer. If you recall, when we met early on during the project I stated that a registered design professional would be required to oversee this project. At that time you stated you would engage the services of an Architect. Subsequent to that you followed up with the statement that you had indeed hired a certain Architect and had already started collaboration with him.

The submitted drawings do show an Engineer's stamp however the Engineer that stamped the drawings "structural only" seems to be unwilling to be the principle or lead design professional on this project. Based on MCA 37-65-103 "Exemptions", this project is not exempt from the requirement for the plans to be sealed by a licensed Architect or Engineer taking responsible charge of the project. Further, it is our interpretation of MCA 37-65-102 (5) "Practice of Architecture" that the work that you have performed as a professional service for the owner of the Pretty Girls project is indeed the "Practice of Architecture", and therefore we cannot accept these plans as submitted.

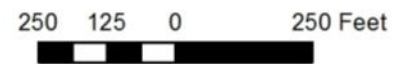
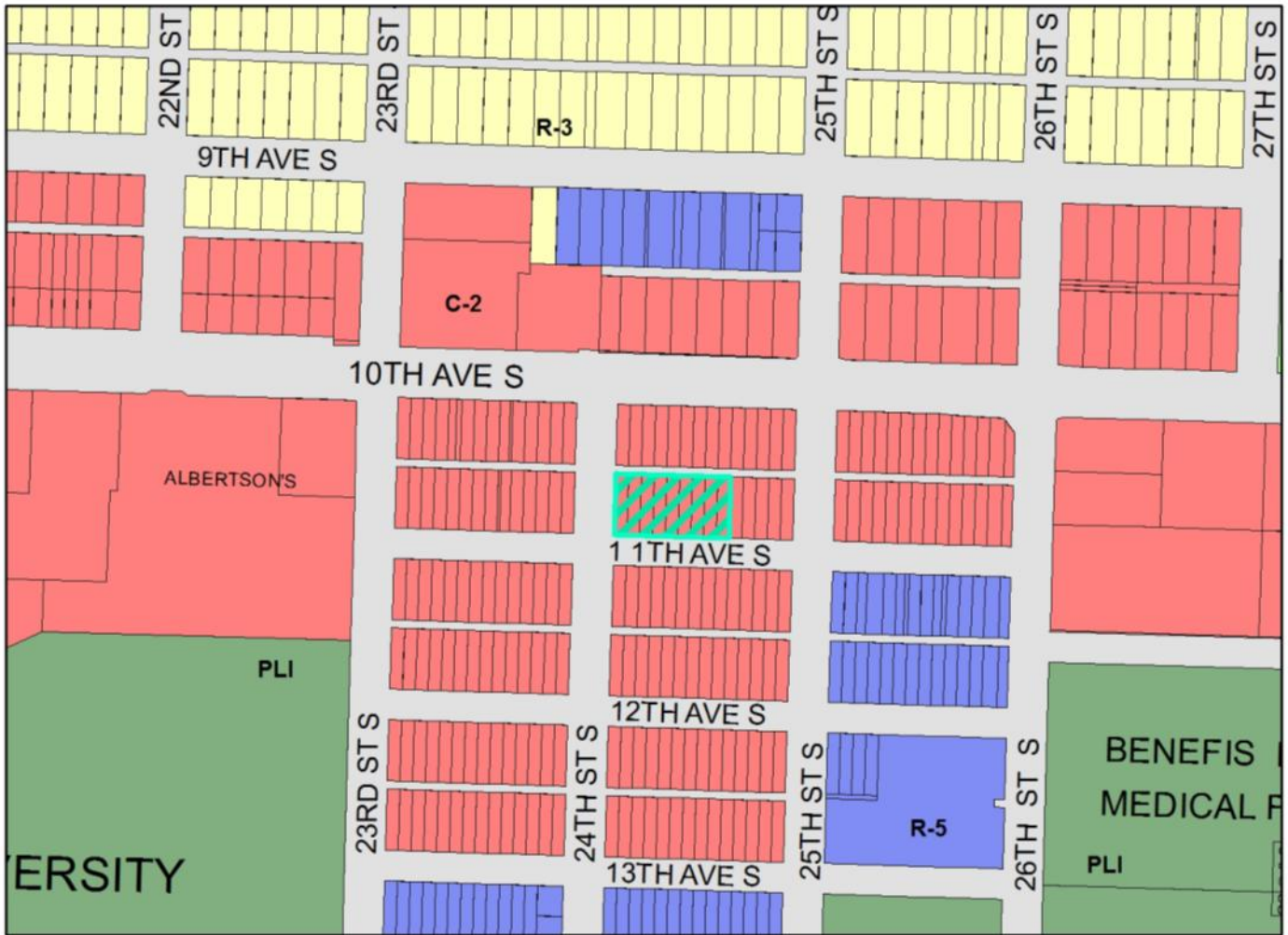
This letter shall serve as my final record decision on the matter. Per the Official Code of the City of Great Falls, you may appeal this decision to the Board of Adjustment within 2 months of the date of this decision. The process and procedures for an appeal can be found within OCCGF, including but not limited to Title 17, Articles 12 and 16. This information can be found online at www.greatfallsmt.net. If you cannot obtain a copy of the code in this manner please feel free to contact our office and we would be happy to provide a copy to you.

Sincerely,

A handwritten signature in black ink, appearing to read "Craig Raymond", written over a horizontal line.

Craig Raymond, C.B.O.
Building Official/Director, Planning and Community Development Dept.
City of Great Falls

EXHIBIT D - ZONING MAP



- | | | |
|-----------------------------|--------------------------------|----------------------------------|
| Pretty Girls | C-5 Central business periphery | R-1 Single-family suburban |
| Tracts of Land | I-1 Light industrial | R-2 Single-family medium density |
| ZONING | I-2 Heavy industrial | R-3 Single-family high density |
| AI Airport Industrial | M-1 Mixed-use district | R-5 Multi-family medium density |
| C-1 Neighborhood commercial | M-2 Mixed-use transitional | R-6 Multi-family high density |
| C-2 General commercial | PLI Public lands institutional | R-9 Mixed residential |
| C-3 Highway commercial | POS Park Open Space | R-10 Mobile home park |
| C-4 Central business core | PUD Planned unit development | Unincorporated |
| | | Right of Way |

EXHIBIT E - PERTINENT SECTIONS OF THE
MONTANA CODE ANNOTATED

Montana Code Annotated 2013

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50-60-101. Definitions. As used in parts 1 through 4 and 7 of this chapter, unless the context requires otherwise, the following definitions apply:

(1) "Alteration" means any change, addition, or modification in construction or occupancy.

(2) "Building" means a combination of any materials, whether mobile, portable, or fixed, to form a structure and the related facilities for the use or occupancy by persons or property. The term must be construed as though followed by the words "or part or parts of a building".

(3) (a) "Building regulations" means any law, rule, resolution, regulation, ordinance, or code, general or special, or compilation of laws, rules, resolutions, regulations, ordinances, or codes enacted or adopted by the state or any municipality, including departments, boards, bureaus, commissions, or other agencies of the state or a municipality relating to the design, construction, reconstruction, alteration, conversion, repair, inspection, or use of buildings and installation of equipment in buildings.

(b) The term does not include zoning ordinances.

(4) "City or town" means an incorporated city or town as provided for in Title 7, chapter 2, part 41.

(5) "Code enforcement program" means the plan for enforcement of the building regulations adopted by a municipality or county and includes the local building department and the staff associated with executing any aspect of the program's purposes or functions.

(6) "Construction" means the original construction and equipment of buildings and requirements or standards relating to or affecting materials used, including provisions for safety and sanitary conditions.

(7) "Department" means the department of labor and industry provided for in Title 2, chapter 15, part 17.

(8) "Equipment" means plumbing, heating, electrical, ventilating, air-conditioning, and refrigerating equipment, elevators, dumbwaiters, escalators, and other mechanical additions or installations.

(9) (a) "Factory-built building" means a factory-assembled structure or structures equipped with the necessary service connections but not made so as to be readily movable as a unit or units and designed to be used with a permanent foundation.

(b) The term does not include manufactured housing constructed after June 15, 1976, under the National Mobile Home Construction and Safety Standards Act of 1974, 42 U.S.C. 5401, et seq.

(10) "Local building department" means the agency or agencies of a county, city, or town charged with the administration, supervision, or enforcement of building regulations, the approval of plans, the inspection of buildings, or the issuance of permits, licenses, certificates, and similar documents prescribed or required by state or local building regulations.

(11) "Local legislative body" means the council or commission charged with governing the county, city, or town.

(12) "Owner" means the owner or owners of the premises or lesser estate, a mortgagee or vendee in possession, assignee of rents, receiver, executor, trustee, lessee, or other person, firm, or corporation in control of a building.

(13) (a) "Primary function area" means an area of a building or facility in which a major activity for which the building or facility is designed is carried out. Primary function areas include but are not limited to a customer service lobby of a savings institution, a cafeteria dining area, and meeting rooms of a conference center.

(b) Areas that are not primary function areas include but are not limited to boiler rooms, storage rooms, employee lounges, janitorial closets, entrances, corridors, and restrooms.

(14) "Public building" means a building or facility owned or operated by a governmental entity or a

private sector building or facility that is open to members of the public.

(15) "Public sidewalk" means a sidewalk located in a public right-of-way.

(16) "Recreational vehicle" means a vehicular type unit primarily designed as temporary living quarters for recreational, camping, or travel use that either has its own mode of power or is mounted on or towed by another vehicle, including but not limited to a:

- (a) travel trailer;
- (b) camping trailer;
- (c) truck camper; or
- (d) motor home.

(17) "Site" means a parcel of land bounded by property lines or a designated portion of a public right-of-way.

(18) "State agency" means any state officer, department, board, bureau, commission, or other agency of this state.

(19) "State building code" means the state building code provided for in 50-60-203 or any portion of the code of limited application and any of its modifications or amendments.

History: En. Sec. 2, Ch. 366, L. 1969; amd. Sec. 1, Ch. 226, L. 1974; amd. Sec. 1, Ch. 244, L. 1975; amd. Sec. 1, Ch. 459, L. 1975; amd. Sec. 1, Ch. 504, L. 1977; R.C.M. 1947, 69-2105; amd. Sec. 1, Ch. 315, L. 1979; amd. Sec. 1, Ch. 555, L. 1981; amd. Sec. 1, Ch. 33, L. 1985; amd. Sec. 8, Ch. 140, L. 1985; amd. Sec. 4, Ch. 352, L. 1985; amd. Sec. 229, Ch. 42, L. 1997; amd. Sec. 5, Ch. 331, L. 1997; amd. Sec. 1, Ch. 488, L. 1997; amd. Sec. 167, Ch. 483, L. 2001; amd. Sec. 2, Ch. 546, L. 2001; amd. Sec. 3, Ch. 443, L. 2003.

Provided by Montana Legislative Services

Montana Code Annotated 2011

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37-65-101. Purpose. It is hereby declared, as a matter of legislative policy in the state of Montana, that the practice of architecture is a privilege granted by legislative authority and is not a natural right of individuals and that it is necessary, as a matter of such policy and in the interests of the health, safety, and welfare of the people of Montana, to provide laws covering the granting of that privilege and its subsequent use, control, and regulation for the purpose of protecting the public from the unprofessional, improper, unauthorized, and unqualified practice of architecture.

History: En. 66-101.1 by Sec. 1, Ch. 544, L. 1977; R.C.M. 1947, 66-101.1.

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Montana Code Annotated 2011

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37-65-102. Definitions. Unless the context requires otherwise, in this chapter the following definitions apply:

- (1) "Architect" means an individual who is technically and legally qualified to practice architecture and who is authorized under this chapter to practice architecture.
- (2) "Board" means the board of architects and landscape architects provided for in [2-15-1761](#).
- (3) "Building" means a structure intended primarily for human occupancy or use.
- (4) "Department" means the department of labor and industry provided for in Title 2, chapter 15, part 17.
- (5) "Practice of architecture" means any professional service or creative work requiring the application of advanced knowledge of architectural design, building construction, and standards and involving the constant exercise of discretion and judgment in those activities, in which the safeguarding of life, health, or property is concerned, as consultation, investigation, evaluation, planning, design, or inspection of construction for any public or private building.
- (6) "Public building" means any building that the state or any political subdivision of the state maintains for the use of the public.

History: En. Sec. 3, Ch. 158, L. 1917; re-en. Sec. 3231, R.C.M. 1921; re-en. Sec. 3231, R.C.M. 1935; amd. Sec. 1, Ch. 149, L. 1957; amd. Sec. 2, Ch. 439, L. 1973; amd. Sec. 26, Ch. 350, L. 1974; amd. Sec. 2, Ch. 544, L. 1977; R.C.M. 1947, 66-103(2); amd. Sec. 5, Ch. 388, L. 1979; amd. Sec. 3, Ch. 274, L. 1981; amd. Sec. 1, Ch. 490, L. 1983; amd. Sec. 148, Ch. 483, L. 2001; amd. Sec. 19, Ch. 11, L. 2007.

Provided by Montana Legislative Services

Montana Code Annotated 2011

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37-65-103. Exemptions. (1) This chapter does not prevent drafters, students, clerks of work, superintendents, and other employees of those lawfully practicing as architects under the provisions of this chapter from acting under the instruction, control, or supervision of their employers or to prevent the employment of superintendents of the construction, enlargement, or structural alteration of buildings or any appurtenance to buildings.

(2) This chapter may not be construed to:

(a) apply to alterations to any building that do not involve changes affecting the structural safety of a building or the public health;

(b) prevent the preparation of details and shop drawings by persons other than architects for use in connection with the execution of their work; or

(c) prevent the preparation of drawings or details for fixtures, cabinetwork, furniture, or other interior appliances or equipment or for any work necessary to provide for installation unless the drawings or installation involves public health or safety.

(3) The acts enumerated in subsections (1) and (2) may not be interpreted or construed as the practice of architecture.

(4) This chapter may not be construed to affect or prevent the following, provided that words, letters, figures, or other device may not be used in a manner that tends to convey the impression that the person rendering the service is an architect registered under this chapter:

(a) consultants, officers, and employees of the United States while engaged solely in the practice of architecture for the United States;

(b) professional engineers from performing architectural services that are purely incidental to their engineering practice;

(c) any person from planning, designing, altering, repairing, supervising, or engaging in residential construction consisting of less than eight living units regardless of size or cost or farm buildings that are not intended for use or used as a public building;

(d) the planning, design, alteration, construction, repair, or supervision of construction of a building by its owner if the building is not intended for use or used as a public building.

History: En. Sec. 7, Ch. 158, L. 1917; re-en. Sec. 3235, R.C.M. 1921; re-en. Sec. 3235, R.C.M. 1935; amd. Sec. 2, Ch. 149, L. 1957; amd. Sec. 3, Ch. 439, L. 1973; amd. Sec. 4, Ch. 544, L. 1977; R.C.M. 1947, 66-107(b), (c); amd. Sec. 1443, Ch. 56, L. 2009.

Provided by Montana Legislative Services

EXHIBIT F - HANDBOOK FOR BUILDING PROJECTS

Handbook for Building Projects



This handbook is a direct result of the collaboration and cooperation of the Montana Board of Architects & Landscape Architects and the Montana Board of Professional Engineers and Professional Land Surveyors.

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Disclaimer

This publication is written as a general guide only. It should not be relied upon as a substitute for specific legal and/or other professional advice. Professional advice should always be sought before taking any action based on the information provided. Every effort has been made to ensure that the information in this guide is correct at the time of publication.

Introduction

This handout has been prepared in the spirit of service to the public by the Board of Architects & Landscape Architects and the Board of Professional Engineers & Professional Land Surveyors and in cooperation of the Montana Building Codes Bureau. It is intended as a source of basic information and requirements as required for building renovation, remodel and new construction in the State of Montana. Further information or assistance concerning the requirements may be obtained by contacting the Board of Architects & Landscape Architects and Board of Professional Engineers & Professional Land Surveyors.

Architectural and Engineering and Land Surveyors licensing boards each exist to protect the public against unsafe structures and site conditions. If unlicensed practice is suspected or there are any questions about the content of this document please contact the Boards at one of the following:

Board of Architects & Landscape Architects: (406) 841-2017
www.architect.mt.gov or www.landscapearchitect.mt.gov

Board of Professional Engineers & Professional Land Surveyors: (406) 841-2017
www.engineer.mt.gov or www.landsurveyor.mt.gov

To ensure a individual has the required license please go to the Licensee Look Up System available at: <http://app.mt.gov/lookup/>

Definition of Architect & Architecture

An architect is defined as an individual who is technically and legally qualified and licensed in the State of Montana to practice architecture. (MCA 37-65-102(1))

The practice of Architecture is defined as any professional service or creative work requiring the application of advanced knowledge of architectural design, building construction, and standards and involving the constant exercise of discretion and judgment in those activities, in which the safeguarding of life, health, or property is concerned, as consultation, investigation, evaluation, planning, design, or inspection of construction for any public or private building. (MCA 37-65-102(5))

Definition of Engineer & Engineering

By definition, a licensed professional engineer is a person who, by reason of special knowledge and use of the mathematical, physical, and engineering sciences and the principles and methods of engineering analysis and design acquired by engineering education and engineering experience, is qualified to practice engineering and who has been licensed as a professional engineer by the board. (MCA 37-67-101)

The practice of engineering is defined as any service or creative work the adequate performance of which requires engineering education, training, and experience in the application of special knowledge of the mathematical, physical, and engineering sciences to the services or creative work as consultation, investigation, evaluation, planning and design of engineering works and systems, planning the use of water, teaching of advanced engineering subjects, engineering surveys, and the inspection of construction for the purpose of ensuring compliance with drawings and specifications. This includes any of the previously mentioned functions when these embrace the services or work, either public or private, in connection with any utilities, structures, buildings, machines, equipment, processes, work systems, projects, and industrial or consumer products or equipment of mechanical, electrical, hydraulic, pneumatic, or thermal nature insofar as they involve safeguarding life, health, or property. Furthermore, the term includes other professional services necessary to the planning, progress, and completion of any engineering services, but does not include the work ordinarily performed by persons who operate or maintain machinery or equipment, communication lines, signal circuits, electric power lines, or pipelines. (MCA 37-67-101) (6).

Exemptions

Architects

Nothing shall prevent draftsmen, students, clerks of work, superintendents, and other employees of those lawfully practicing as architects from acting under the instruction, control, or supervision of their employers or to prevent the employment of superintendents of the construction, enlargement, or structural alteration of buildings or any apurtenance thereto.

Nothing shall be construed to apply to alterations to any building which do not involve changes affecting the structural safety thereof or the public health; prevent the preparation of details and shop drawings by persons other than architects for use in connection with the execution of their work; or prevent the preparation of drawings or details for fixtures, cabinetwork, furniture, or other interior appliances or equipment or for any work necessary to provide for their installation unless the same involves public health or safety.

None of the acts enumerated above shall be interpreted or construed as the practice of architecture.

Nothing shall be construed to affect or prevent the following, provided that no words, letters, figures, or other device shall be used in such manner as to tend to convey the impression that the person rendering such service is an architect duly registered under this chapter: consultants, officers, and employees of the United States while engaged solely in the practice of architecture for said government; professional engineers from performing architectural services which are purely incidental to their engineering practice; any person from planning, designing, altering, repairing, supervising, or engaging in residential construction consisting of less than eight living units regardless of size or cost or farm buildings which are not intended for use or used as a public building; the planning, design, alteration, construction, repair, or supervision of construction of a building by its owner if the building is not intended for use or used as a public building. (MCA 37-65-103)

Engineering

There are some exemptions from the requirements associated with engineering licensure. A person does not have to be licensed to practice engineering under the following:

- Someone practicing any other legally recognized professions or trades;
- The mere execution of work by a contractor as distinguished from its planning or design or the supervision of the construction of work as a lead supervisor or superintendent;
- The work of a subordinate of a licensed professional engineer with no final engineering design or decisions;
- Practice of professional engineering by licensed architects when the practice is purely incidental to their practice of architecture. 37-67-103 MCA.

Business Requirements

Engineering businesses, which plan to engage in engineering services, must have a certificate of authorization to do so. This includes sole proprietorships, firms, partnerships, and corporations. (MCA 37-67-320) The primary reason for such requirement is to ensure that a licensed professional engineer is in responsible charge of engineering services being offered. The only exemptions to this requirement is for those engineering firms engaged in the practice of engineering for their own benefit and that do not practice or offer engineering services to others.

Roles of the Architect and Engineer

Either an architect or an engineer licensed in Montana can serve as the principal design professional on a building project. However, there are differences between the two professions. Presented below are descriptions of the general areas of responsibility for architects and engineers. The descriptions are not exclusive and are not intended to unduly restrict the practice of the professional who is properly registered in the State of Montana.

Architects

Architects are concerned with the full spectrum of design considerations when developing a building project. They must develop a comprehensive set of design documents for submittal to the building department, taking all aspects of the project into account and coordinating various elements prepared by other individual team members. The following are examples of the type of

considerations architects must address or have appropriate consultants address in project development.

- Site layout (i.e., parking, zoning, setbacks, building layouts).
- Building classification (i.e., occupancy, type of construction).
- Building exiting (i.e., stairway, exit width, travel distances, corridors).
- Life safety considerations (i.e., requirements for sprinklers, fire ratings, fire walls, separations, fire alarms, smoke control).
- Building floor plans, building elevations and building sections.
- Interior space planning.
- Interior and exterior finish materials (i.e., durability, fire ratings, color, sound, aesthetics).
- Construction document preparation for the architect's area of expertise.

Overall project coordination for projects primarily architectural in nature.

- Accessible and/or barrier free design (i.e., ADA compliance).
- Environmental impacts (i.e., quality of living, impact on surroundings).

Engineers

Engineers are concerned with the analysis of a wide variety of project areas. Examples of these areas are listed below and are not intended as a comprehensive list but provide a general outline.

- Structural systems design (i.e., framing systems, foundation systems, seismic design).
- Electrical systems design (i.e., power distribution, indoor and outdoor illumination, fire alarm system, facility security systems, communication systems).
- Mechanical systems and plumbing design (i.e., heating, ventilating systems, energy analysis, fire sprinkler systems).
- Civil works improvements (i.e., curb, gutter, sidewalks, water treatment, sewage treatment, pump stations, storm drainage, streets, grading plans, utilities, traffic, highways, airports and parking plans).
- Soil analysis (i.e., soils reports, geo-technical investigations).
- Construction management (i.e., cost estimates, value engineering studies, contract administration).
- Environmental impact analysis (i.e., engineering studies, sound, soils, traffic, etc.).
- Construction document preparation for the engineered works.
- Overall project coordination for projects primarily engineering in nature.

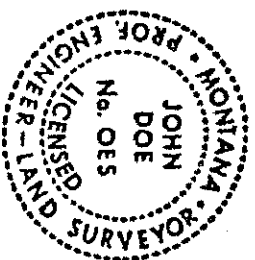
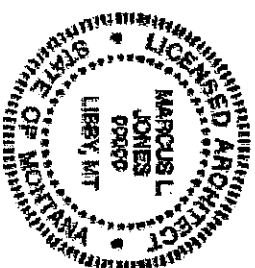
Sealing Professional Work

Licensed architects and professional engineers are and should be responsible for their professional services in their respective area of expertise. The public as well as building officials, relies on their professional expertise. As a result, professional submissions such as construction documents should clearly show the identity of the licensed architect and engineer who prepared them by having affixed a seal and signature and otherwise complying with the requirements of state law. Without proper identification, ultimate responsibility for any deficiencies may not be clear.

All technical submissions prepared by an architect shall be stamped and signed with the architect's seal or the seal of the firm. The permit set must bear the architect's original signature. (24.114.402 ARM)

Engineering plans, specifications, drawings, reports, design information, and calculations prepared by a licensee must be signed with a written signature, dated, and stamped with the seal or a seal facsimile when issued. For stamping plans, specifications and reports, licensees are authorized to use a facsimile made of their official seal. The title page of all sets of plans and all documents filed with public authorities must bear the seal and original signature of the licensee. (ARM 24.183.511)

PROPER SEALS SEALS PROPERLY SIGNED AND DATED:



Other Related Professions

Landscape Architects and Landscape Architecture

Landscape Architect means a person who holds a certificate to practice landscape architecture in the state of Montana.

Landscape Architecture means performing services in conjunction with all aspects of the planning and design of the exterior environment for human use and environmental protection. The term does not include the design of structures or facilities with separate and self-contained purposes that are ordinarily included in the practice of engineering or architecture and does not include the making of land surveys or final land plats for official approval or recording. (MCA 37-65-103)

Exemptions to required licensure as a Landscape Architect include:

- Any person performing any of the services upon his own property.
- Employees of those lawfully practicing as landscape architects from acting under the instruction, control, or supervision of their employers.
- Any business conducted in this state by any horticulturist, nurseryman, or landscape nurseryman, plantsman, gardener, landscape gardener, landscape designer, landscape artist, landscape contractor, or land use planner, as these terms are generally used. However, no such person shall use the title "landscape architect", "landscape architecture", or any description tending to convey the impression that he is a licensed landscape architect unless he is licensed.
- Architects, professional engineers, and professional land surveyors licensed to practice their respective professions. (MCA 37-65-105)

Professional Land Surveyors

A professional land surveyor is defined as a specialist in the technique, analysis, and application of measuring land who is also skilled in determining through evidence the location of property lines. (MCA 37-67-101)

The practice of land surveying is defined in MCA 37-67-101 as any service or work, the performance of which requires the application of special knowledge of the principles of mathematics, physical sciences, applied sciences, and:

- (a) the principles of property boundary law to the recovery and preservation of evidence pertaining to earlier land surveys;
- (b) teaching of land surveying subjects;

(c) measurement and allocation of lines, angles, elevations, and coordinate systems;

(d) location of natural and constructed features in the air, on the surface of the earth, within underground workings, and on the beds of bodies of water, including work for the determination of areas and volumes;

(e) monumenting of property boundaries;

(f) plating and layout of lands and the subdivisions of land, including the alignment and grades of streets and roads in subdivisions;

(g) preparation and perpetuation of maps, plats, field note records, and property descriptions; and

(h) locating, relocating, establishing, reestablishing, laying out, or retracing of any property line or boundary of any tract of land or road, right-of-way, easement, right-of-way easement, alignment, or elevation of any of the fixed works embraced within the practice of engineering.

Professional engineers can conduct an engineering survey. They are defined as all survey activities required to support the sound conception, planning, design, construction, maintenance, operation, and association of engineering projects. An engineering survey excludes the surveying of real property for the establishment of land boundaries, rights-of-way, easements, and the dependent or independent surveys or resurveys of the public land survey system. (MCA 37-67-101)

There are some exemptions from the requirements associated with land surveying licensure. A person does not have to be licensed to practice land surveying under the following:

- Someone practicing any other legally recognized professions or trades;
- The mere execution of work by a contractor as distinguished from its planning or design or the supervision of the construction of work as a lead supervisor or superintendent;
- The work of a subordinate of a licensed professional land surveyor with no final land surveying decisions.

MONTANA BUILDING CODES BUREAU

The State of Montana has a state wide building code. All areas of the state either fall under the jurisdiction of a local certified city or county government building department or under the jurisdiction of the Montana Building Codes Bureau. In order to determine which jurisdiction you are in and what permits are required, you should contact either the local building or planning department or the **BUILDING CODES BUREAU at (406) 841-2056.**

BUILDING PERMITS - LOCAL CERTIFIED JURISDICTIONS

To ensure the uniformity of building code regulations in Montana, local jurisdictions must be certified by the Building Codes Bureau to enforce building codes. When building permits are actually required may vary depending on the local jurisdiction. Contact the local building or planning department for building permit information.

BUILDING PERMITS - STATE JURISDICTION

Briefly, in areas outside local jurisdictions certified to issue their own permits, state law exempts: (a) farm and ranch buildings; (b) mining buildings on mining property; (c) petroleum refineries and pulp and paper mills (except office and shop buildings); (d) residential buildings containing less than five dwelling units (except when serving transient guests); and (e) private garages and private storage buildings used for the owner's own use (not part of a commercial business enterprise) from the need to obtain a state building permit. Unless one of the exemptions listed above applies to a structure, a state building permit is required.

Applicants are encouraged to contact the Bureau in the planning stages of their project..

Below is list of phone numbers for the Building Codes Bureau for information on permits or certificates.

1. BUILDING PERMITS (406)841-2056
2. MECHANICAL PERMITS (406)841-2056
3. PLUMBING PERMITS (406)841-2056
4. ELECTRICAL PERMITS (406)841-2056
5. BOILER CERTIFICATES (406)841-2044
6. ELEVATOR CERTIFICATES (406)841-2044

The Building Codes Bureau website can also be accessed at:
www.BuildingCodes.mt.gov

Frequent Asked Questions and Answers

The following questions and answers are provided for consideration of the entire process:

Q 1: I have some plans that have been stamped and signed by a licensee who is not licensed in Montana but has a license in another state, can these documents be used to obtain a building permit in Montana?

A1: No. Plans, drawings, specifications, etc. must be stamped and signed by a Montana licensed professional. There are different requirements for buildings in each state and licensed professionals will have to design to all applicable requirements of the state, county, and local requirements.

Q2: Can changes be made to architects or engineers' stamped documents?

A2: No. The professional who originally stamped the documents or another professional who then assumes responsibility for the plans must approve all changes to stamped documents.

Q3: If shop drawings are required for the project, do they need to be sealed and signed by a professional?

A3: No. Shop drawings are intended as details for the contractor or fabricator and are not filed with the construction documents.

Q4: Who can be the applicant for a building permit?

A4: The applicant can be the owner, contractor, or licensed engineer or architect. The name of the licensed architect or engineer should be on the application.

Q 5: Are pre-engineered buildings exempt from the requirements of having a professional seal them?

A 5: No. All buildings need to be designed for the specific site conditions and local code requirements. For pre-engineered buildings, the manufacturer's engineer can stamp and seal the plans if he is a Montana professional engineer. By signing and sealing the documents, the licensee is indicating that the requirements of the local area and the state are met.

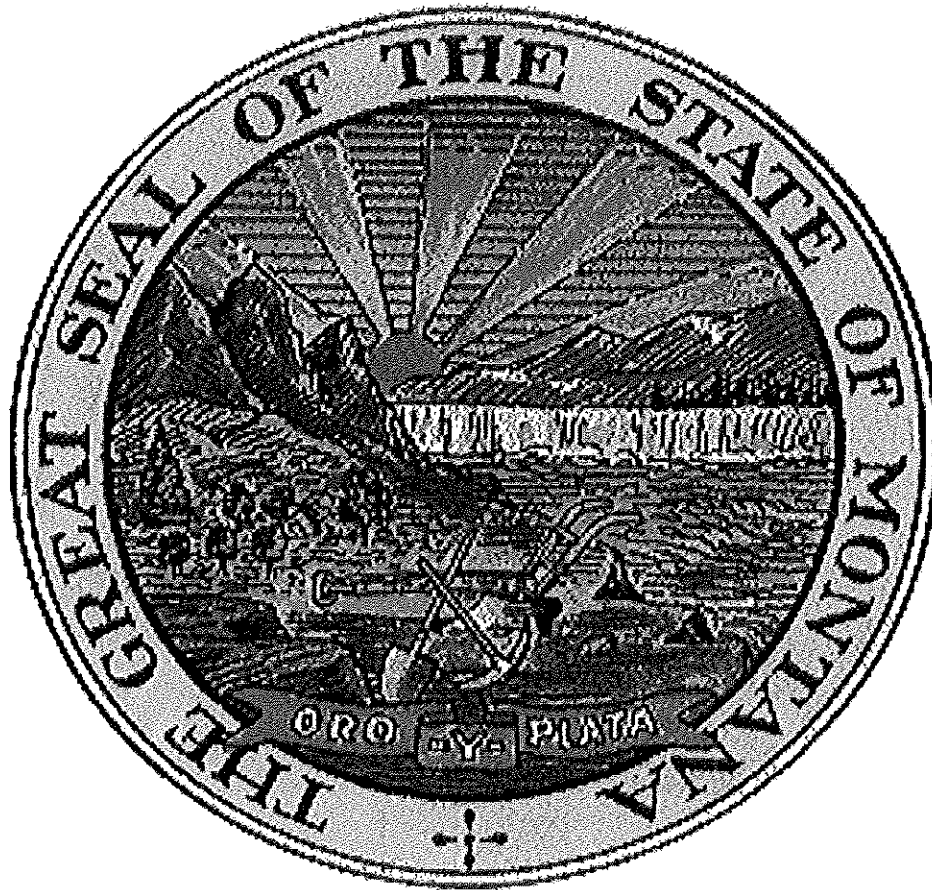
Q 6: Can a Montana Professional "overstamp" the design completed by an out of state licensee?

A 6: No. If a professional is going to overstamp, they are indicating that they have reviewed the entire project and are accepting complete responsibility for the design. The professional cannot accept complete responsibility for the project if it was prepared away from his direct supervision.

EXHIBIT G - THE PROFESSIONAL USE OF SEALS

The Professional Use of Seals

Requirements regarding the practice of
Architecture and Engineering
in Montana



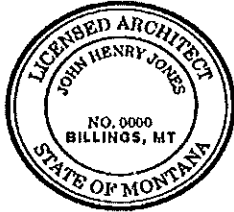
DO I NEED A PROFESSIONAL TO SEAL PLANS AND SPECIFICATIONS?

Architects Sealing Engineering Plans

State law does allow an architect to perform engineering work that is incidental to their practice of architecture. However, an architect should not seal engineering plans such as electrical, mechanical, plumbing, civil, or structural.

PROPER SEAL

Architecture

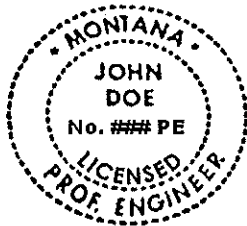


Professional Engineers Sealing Architecture Plans

State law does allow a professional engineer to perform architecture work that is incidental to their practice of engineering. However, a professional engineer should not seal architectural drawings or work that are labeled as such.

PROPER SEAL

Professional Engineer



SEALS WITH QUALIFYING STATEMENTS

Examples include but are not limited to:

- Preliminary - Do Not Use for Construction
- Structural, Fire Protection, Electrical, etc. Only.
- Final Drawings - For Review Purposes Only

EXEMPTIONS FROM PROFESSIONAL DESIGN REQUIREMENTS

The following are exemptions from the requirements of having an architect seal the documents:

- Alterations to any building which do not involve changes affecting the structural safety thereof or the public health.
- The preparation of details and shop drawings by persons other than architects for use in connection with the execution of their work.
- The preparation of drawings or details for fixtures, cabinetwork, furniture, or other interior appliances or equipment or for any work necessary to provide for their installation unless the same involves public health or safety.

- Consultants, officers, and employees of the United States while engaged solely in the practice of architecture for said government.
- Professional engineers performing architectural services, which are purely incidental to their engineering practice. Any person planning, designing, altering, repairing, supervising, or engaging in residential construction consisting of less than eight living units regardless of size or cost or farm buildings which are not intended for use or used as a public building.
- The planning, design, alteration, construction, repair, or supervision of construction of a building by its owner if the building is not intended for use as a public building.

The following are exemptions from the requirements of having a **professional engineer** seal the documents:

- The practice of any other legally recognized professions or trades.
- The mere execution of work by a contractor, as distinguished from its planning or design or the supervision of the construction of work as a lead supervisor or superintendent.
- The practice of professional engineering by licensed architects when the practice is purely incidental to their practice of architecture.

SEALING REQUIREMENTS FOR DOCUMENTS

- All plans prepared for bidding, permitting or construction
- All specifications that require a seal
- Change orders required to be prepared by a licensee
- Addenda and field changes required to be prepared by a licensee
- Record drawings or as built drawings
- Engineering reports filed with public authorities

DOCUMENTS THAT DO NOT REQUIRE A SEAL

- Documents used to communicate conceptual information only
- Documents in progress
- Shop drawings

ABOUT THE USE OF THE SEAL

- Cover sheet or individual sheets may be stamped which is acceptable for both professions
- Either profession requires that only licensed individuals seal documents.
- Both Architects and Professional Engineers do allow electronically generated seals and signatures.

RED FLAGS:

- Architecture sheets sealed by an engineer
- Engineering sheets sealed by an architect
- Plans sealed by an engineer who is an employee of a company without a certificate of authority to practice
- In process documents sealed without a disclaimer
- Plans that have not been sealed, signed and dated by the licensee [dated by engineers only]
- Documents that do not bear the seal of a Montana licensee
- Unsealed church plans.
- Seals appear to be cut and pasted
- Contact person is not the licensee or it is difficult to contact the licensee
- Plans, details, letter reports, etc. do not appear to apply to the project.
- Plans that have numerous or serious code violations Non-dated revisions [date required by engineers only]

WHAT TO DO WHEN YOU FEEL THERE ARE RED FLAGS:

- Check out the people offering services on board websites to see if they are licensed - <http://app.mt.gov/lookup/>
- Reject the work done by unlicensed individuals
- Get errors corrected by a licensed professional
- Contact licensing boards
- File complaint with board office

MORE INFORMATION OR QUESTIONS?

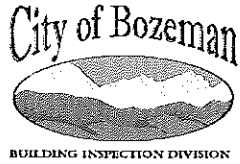
Board of Architects -

(406) 841-2367 www.architect.mt.gov

Board of Professional Engineers and Land Surveyors -

(406) 841-2367 www.engineer.mt.gov

EXHIBIT H - MONTANA CITIES POLICIES



20 E Olive Street STE 208 • PO Box 1230
Bozeman, MT 59771-1230
Phone: (406) 582-2375 • Fax: (406) 582-2256

**Do your plans need to be completed by a licensed Architect or Engineer?
Please review the following information:**

All plans submitted for permit are required to be signed by either a Montana Professional Engineer or Montana Registered Architect, except as follows:

Title 37 Chapters 65 (Architects) and 67 (Engineers) of the Montana Code Annotated:
These chapters of the MCA provide the following exceptions for building plans that have been designed in accordance with the International Building Code requirements, Section 2308 for conventional light wood-frame construction and tables of limitation for wood frame construction as adopted by the City of Bozeman.

An unlicensed person may prepare plans, drawings or specifications for the following:

- Single family dwelling not more than two stories with a basement in height.
- Multiple dwellings containing no more than four dwelling units and not more than two stories with a basement in height. Also, a maximum of four dwelling units on any lot.
- Garages or other structures appurtenant to single-family dwelling or multiple dwellings not more than two stories with a basement in height.
- Agricultural and ranch buildings unless the building official deems that an undue risk to the public health, safety or welfare is involved.

However, if any portion of any structure exempted by these sections deviates from the requirements for conventional light wood-frame construction or tables of limitation for wood frame construction found in the International Building Code Section 2308, then the building official may require the preparation of plans, drawings, specifications or calculations for that portion be completed by or under the direct supervision of a professional Engineer or registered Architect. The documents for that portion shall bear the stamp and signature of the licensee who is responsible for their preparation.

These Chapters of the MCA do not prohibit any person from furnishing plans for any of the following:

- Nonstructural store fronts, interior alterations or additions, fixtures, cabinet work, furniture, or other appliances or equipment.
- Any nonstructural work necessary to provide for their installation.

However, an unlicensed person may not prepare plans for those alterations that will change or affect any the structural system or safety of the building or its occupants.

Except as specifically noted above, here are some examples of projects that require plans to be prepared, signed and stamped by a Montana Professional Engineer or Montana registered Architect:

- New commercial buildings and additions to existing commercial buildings
- Projects with interior or exterior structural alterations
- Interior alteration with an occupancy change
- All Group A (Assembly) Occupancies
- All Group E (School and Day Care) Occupancies
- All Group F (Factory and Industrial) Occupancies
- All Group H (Hazardous) Occupancies
- All Group I (Institutional) Occupancies
- All Group R, Division 1, 2 or 4 Occupancies
- Projects with mixed occupancies other than R3 and U occupancies.
- Interior alteration with walls and partitions over 5 feet 9 inches in height or ceiling work which cover a floor area greater than 3,000 square feet for Groups B, S-1, S-2 or M Occupancies
- Storage racks over 6 feet in height
- Remodeling projects that creates or alters 1-hr fire rated corridors, fire rated occupancy separations or area separation walls
- Alteration which changes the means of egress (exit) requirements.
- Tanks and vessels
- Nonstructural component or equipment attached to building requiring design by a licensed Architect or Professional Engineer
- Remodeling Projects in high-rise (having floors over 75 feet in height) building
- Lateral force resisting systems utilizing poles embedded in the ground
- Any project deemed by Building Official to require design by a Montana Professional Engineer or Montana Registered Architect

WHAT REQUIRES A WET STAMP?

Title sheet of the calculations, specifications, reports and every sheet of the plans prepared by a licensed architect or engineer shall bear the seal or stamp (with the expiration date of the license) and wet signature of the architect or engineer at each submittal including the initial submittal.

The wet signature and stamp are required on the first page or cover sheet of the calculations, specifications and reports. The remaining pages (if sequentially numbered) may bear the letterhead or copy of the seal or stamp and signature of the architect or engineer.

Note: Both Architects and Professional Engineers do allow electronically generated seals and signatures.

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▼ Building Division

[Show All Answers](#)

1. **Where do I obtain a building permit?**
2. **What permits are required?**
3. **Are separate permits required? If so, why?**
4. **Can you expedite my permit?**
5. **Do I need sidewalks, curb and gutter, and other improvements as part of my development?**
6. **Do I need site, architectural, mechanical, or electrical plans?**
Part of the plan review process is to examine submitted plans for conformance with all codes, laws, and ordinances. This includes all phases of construction including site, structural, architectural, plumbing, mechanical, and electrical drawings. The plumbing and electrical detail may be excluded on single-family residences provided the location of the mechanical equipment is shown. Commercial plans need to be wet stamped by a Montana-licensed architect or engineer. Handouts are available from the Building Division.
7. **How are priorities established?**
8. **How is the cost of a permit calculated?**
9. **How long will it take to get a building permit?**
10. **How many sets of plans do I need?**
11. **What are setbacks?**
12. **What codes do you use (years)?**
13. **What if I am not in the Billings jurisdiction?**
14. **What is the status of my permit?**
15. **When can I use a waiver?**
16. **Why is a building permit required?**
17. **Who is responsible for the permits?**
18. **Where do I direct my flood plain questions?**
19. **Where is my property line?**
20. **Why do I need a plan?**
21. **Why is my review taking so long?**
22. **What are the requirements for egress windows?**

Search

All categories



Categories

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- Animal Control
- Animal Shelter
- Building Division
- Cemetery
- City Attorney
- City Clerk
- Code Enforcement
- Community Development
- Emergency Notification
- Engineering Division
- Environmental Affairs
- Fire Department
- Human Resources
- Library
- MET Transit
- Municipal Court
- Planning
- Police
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- Solid Waste-Landfill
- Utilities Commercial and Meter
- Utilities Distribution and Collection
- Wastewater
- Water Production Division
- Wellness

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City of Billings: 210 N. 27th St. | Billings, MT 59101



COMMERCIAL PLAN SUBMITTAL REQUIREMENTS

MINIMUM PLAN SUBMITTAL REQUIREMENTS FOR NEW COMMERCIAL CONSTRUCTION, ADDITIONS, REMODELS OR TENANT FINISH PERMITS

SUBMIT A MINIMUM OF:

- FOUR (4) FULL SETS OF PLANS AND SPECIFICATIONS, INCLUDING SITE/CIVIL PLANS
- TWO (2) SETS OF STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL CALCULATIONS
- TWO (2) ADDITIONAL SETS OF SITE/CIVIL PLANS, INCLUDING STORMWATER DRAINAGE & GRADING PLANS AND CALCULATIONS.

CURRENT APPLICABLE CODES:

2009 International Building Code (IBC)	2009 International Fuel Gas Code (IFGC)
2009 International Mechanical Code (IMC)	2009 Uniform Plumbing Code (IAMP)
2009 International Existing Building Code (IEBC)	2011 National Electrical Code (NEC)
2009 International Energy Conservation Code (IECC)	2009 International Fire Code (IFC)

Codes have been amended and modified by State of Montana Administrative Rules (ARM's), Title 24, Chapter 301. Full text is available at <http://www.mt.gov/dli/bsd/bc/rules.asp>.

Indicate compliance with City of Helena City Code for all land use, infrastructure, zoning rules and regulations. Full text is available at <http://www.sterlingcodifiers.com/MT/Helena/index.htm>.

Commercial plans shall be prepared by a Montana licensed design professional –either an architect or engineer as appropriate for the specific project. Submittal shall include, but not be limited to: Site/civil plans, storm drainage plans and calculations, structural, architectural, mechanical, electrical and plumbing plans and energy code compliance certificate. All plan sheets shall be stamped and signed by the design professional responsible for plan preparation.

THE FOLLOWING INFORMATION MUST BE CONTAINED WITHIN YOUR SUBMISSION TO BE CONSIDERED A COMPLETE SUBMITTAL IN ORDER TO PROCESS YOUR PLANS IN A TIMELY AND CONSISTENT MANNER. INCOMPLETE SUBMITTALS WILL BE RETURNED TO THE APPLICANT UN-REVIEWED.

1. Building code analysis sheet(s) – Information shall include, but not be limited to: Occupancy type, construction type, total square footage of each floor, total occupant load, occupant load and area of each space or room, location to all property lines, allowable floor area, height and number of stories. Identification and duration of fire resistive construction elements, requirements for automatic fire sprinkler system and fire alarm systems.
2. Site / Civil Plans Utility One-Call Locate - 811
 - * Legal description, property tax GEO Code, property address and zoning district designation.
 - * Property boundary dimensions and distances to the street curb and public walks.
 - * Easements, covenants, or other use restrictions and encumbrances on the property.
 - * Size and location of existing and/or proposed structures, and distance from structures to property boundaries.
 - * **Topography plan of site and/or elevation of property corners and site grades adjacent to proposed construction and elevations of the finished floor, curb approaches, etc.**
 - * Location of all site utilities, size of water and sewer services to city mains, new or existing vehicular access points to the property (curb approaches, etc.), fire hydrant(s) within the

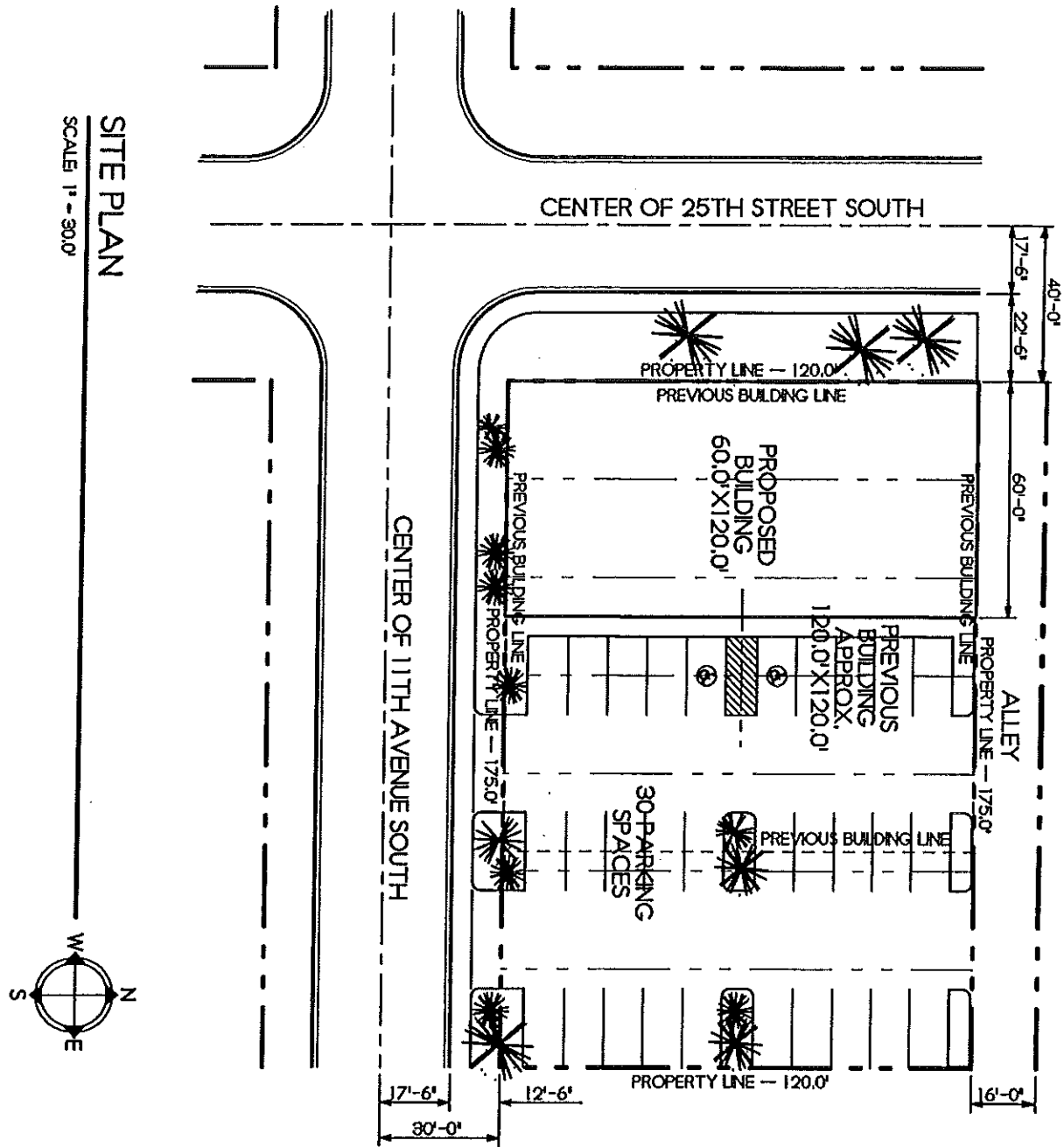
frontage or by reference from a fixed point, boulevard type sidewalk and required boulevard landscaping, and all other pertinent zoning requirements per City Code Title 11.

* Required parking and loading berths per City Code Title 11, Chapter 22.

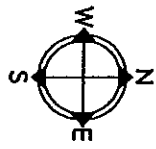
3. All developments with more than 5,000 square feet of impervious area must supply a grading and drainage plan prepared by a Montana Licensed Engineer that complies with Chapter 4 of the City of Helena Engineering Standards. If the development is being served by a regional detention pond, a letter from an engineer must be provided that certifies that the regional plan was designed to accommodate the proposed development. In addition to the grading and drainage plan any development that disturbs more than 1 acre of land must provide an engineered Storm Water Pollution Prevention Plan (SWPP) that complies with Chapter 6-6-15 of the Helena City Code and the Engineering Standards.
4. All commercial, and residential plans larger than a duplex, must provide landscaping plans listing plant materials, sizes, type of irrigation and indicating square footage of the various planting areas, as required by City Code Title 11, Chapter 24.
5. Architectural plans including footing and foundation plan, floor plans (label use of all rooms), interior and exterior elevations, building cross section, wall sections and details. Indicate location of any special fire-resistive construction assemblies such as fire barriers, area or occupancy separations, corridors, draftstops, etc.
6. Provide schedules for window sizes (fixed or openable) and their ventilation areas, rated and/or non-rated doors and hardware types, interior ceiling, wall and floor finishes (if not indicated elsewhere in plans), fire-resistive vertical and horizontal sections and copies of approved (UL or other) listed wall, penetration or joint assemblies.
7. Structural plans and specifications stamped by Montana licensed engineer for structural support systems, beams, unusually loaded walls or footings, and conditions requiring lateral bracing design; framing plans clearly showing joist and truss size and direction of spans. Provide structural calculations and soils investigation report.
8. Mechanical plans, details, schedules and specifications stamped by Montana licensed engineer for HVAC systems. Plans must indicate compliance with combustion air, smoke and fire damper requirements per IBC and IMC (size and location), and air volume and exchange rates based on the number of occupants.
9. Plumbing plans, details, schedules and specifications stamped by Montana licensed engineer. Provide water entrance diagram identifying all valves, controls and meters and piping sizes; back flow protection when required by Utility Division review. Include gas piping plan, sizes and specifications.
10. Electrical plans, details, schedules and specifications stamped by Montana licensed engineer. Provide power, lighting and special power plans. Plans shall indicate emergency lighting systems, equipment schedules, panels and load calculations and energy conservation measures.

Mechanical, plumbing and electrical equipment specifications and installation data shall be on job site at time of rough and final inspections. No changes to equipment types, location within the building or general system design shall be made without prior approval by the Building Division based on letter from design engineer authorizing the requested changes and certifying such changes comply with the respective code.
11. Provide verification of energy efficiency compliance with 2009 IECC or ASHRAE 90.1. Helena and Lewis and Clark County are within Climate Zone 6. Provide documentation either through IECC or by other approved energy compliance method.

EXHIBIT I - PRETTY GIRLS SITE PLAN &
BUILDING PLANS



SITE PLAN
SCALE 1" = 30.0'



<p>OWNER/DESIGNER:</p> <p>JAY R. NASH GREAT FALLS, MONTANA PHONE: 406-868-8199</p>	<p>PRETTY GIRLS 1015 24TH ST. S., GREAT FALLS, MT</p>
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GENERAL REQUIREMENTS

ROOM AREA
 ROOMS SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 100 SQUARE FEET OF FLOOR AREA PER OCCUPANT. ROOMS SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 100 SQUARE FEET OF FLOOR AREA PER OCCUPANT. ROOMS SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 100 SQUARE FEET OF FLOOR AREA PER OCCUPANT.

ROOM WIDTHS
 ROOMS SHALL BE DESIGNED TO PROVIDE A MINIMUM CLEAR WIDTH OF 44 INCHES. ROOMS SHALL BE DESIGNED TO PROVIDE A MINIMUM CLEAR WIDTH OF 44 INCHES. ROOMS SHALL BE DESIGNED TO PROVIDE A MINIMUM CLEAR WIDTH OF 44 INCHES.

CILING HEIGHTS
 CEILING HEIGHTS SHALL BE DESIGNED TO PROVIDE A MINIMUM CLEAR HEIGHT OF 7 FEET 6 INCHES. CEILING HEIGHTS SHALL BE DESIGNED TO PROVIDE A MINIMUM CLEAR HEIGHT OF 7 FEET 6 INCHES. CEILING HEIGHTS SHALL BE DESIGNED TO PROVIDE A MINIMUM CLEAR HEIGHT OF 7 FEET 6 INCHES.

WINDOWS AND VENTILATION
 WINDOWS SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 10% WINDOW AREA PER ROOM. WINDOWS SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 10% WINDOW AREA PER ROOM. WINDOWS SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 10% WINDOW AREA PER ROOM.

MISCELLANEOUS
 ALL WORK SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 10% WINDOW AREA PER ROOM. ALL WORK SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 10% WINDOW AREA PER ROOM. ALL WORK SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 10% WINDOW AREA PER ROOM.

ENERGY REQUIREMENTS
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SECURITY REQUIREMENTS
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SECURITY REQUIREMENTS

1. ALL LIGHT FIXTURES TO BE INSTALLED IN ROOMS SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT. ALL LIGHT FIXTURES TO BE INSTALLED IN ROOMS SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT. ALL LIGHT FIXTURES TO BE INSTALLED IN ROOMS SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT.

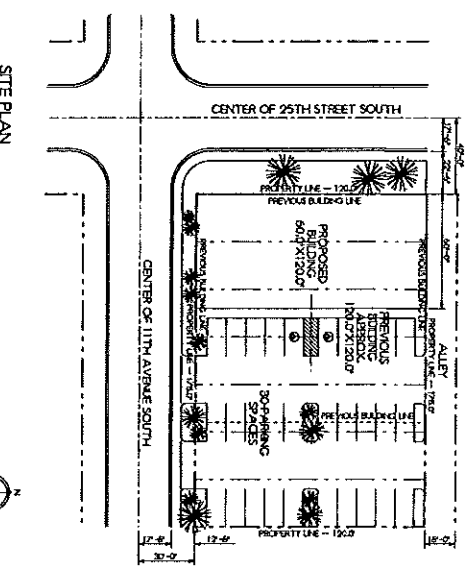
2. ALL LIGHT FIXTURES TO BE INSTALLED IN ROOMS SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT. ALL LIGHT FIXTURES TO BE INSTALLED IN ROOMS SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT. ALL LIGHT FIXTURES TO BE INSTALLED IN ROOMS SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT.

3. ALL LIGHT FIXTURES TO BE INSTALLED IN ROOMS SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT. ALL LIGHT FIXTURES TO BE INSTALLED IN ROOMS SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT. ALL LIGHT FIXTURES TO BE INSTALLED IN ROOMS SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT.

DEFINITIONS
 DEFINITIONS SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 10% WINDOW AREA PER ROOM. DEFINITIONS SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 10% WINDOW AREA PER ROOM. DEFINITIONS SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 10% WINDOW AREA PER ROOM.

INSPECTION REQUIREMENTS
 INSPECTION REQUIREMENTS SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 10% WINDOW AREA PER ROOM. INSPECTION REQUIREMENTS SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 10% WINDOW AREA PER ROOM. INSPECTION REQUIREMENTS SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 10% WINDOW AREA PER ROOM.

ENERGY REQUIREMENTS
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SITE PLAN
 SCALE: 1" = 30'-0"

STREET ADDRESS:
 1015 24TH STREET SOUTH
 GREAT FALLS, MONTANA

LEGAL DESCRIPTION:
 LOT 22, 23, 24, 25, 26, 27, 28
 BLOCK 2, 23, 24, 25, 26, 27, 28
 T2S, R10E, S44

ZONING:
 R-2
 100' SETBACK
 200' SETBACK
 100' SETBACK
 200' SETBACK
 100' SETBACK
 200' SETBACK

COVERAGE:
 200' SETBACK
 200' SETBACK
 200' SETBACK
 200' SETBACK
 200' SETBACK
 200' SETBACK

STRUCTURAL ENGINEERING:
 HARANT ENGINEERING
 129 20TH STREET, BLACK EAGLE, MT 59114

TRUSS MANUFACTURER:
 TRUSS MANUFACTURER
 129 20TH STREET, BLACK EAGLE, MT 59114

SCOPE OF WORK

1. FIELD INSPECTION AND DETERMINATION OF EXISTING CONDITIONS ON THE SITE PLAN.
2. PREPARE AND SUBMIT A PROPOSED ARCHITECTURAL PLAN ON THE SITE PLAN.

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SHEET	DESCRIPTION
1	SITE PLAN AND GENERAL NOTES
2	FLOOR PLAN
3	ELEVATION PLAN
4	FOUNDATION PLAN
5	FRAMING PLAN
6	CROSS-SECTIONS
7	DETAILS - TRUSS II
8	SECTION WALL NOTES & DETAILS
9	STRUCTURAL NOTES & DETAILS

03-03-13

1	DATE	OWNER APPROVAL	PREPARED BY	HARANT HEATING - COOLING - REMODELING 129 20TH STREET, BLACK EAGLE, MT 59114 MARK HARANT 406-799-2711	PRETTY GIRLS 1015 24TH STREET SOUTH, GREAT FALLS, MONTANA
	DATE	STRUCTURAL ENGINEERING	C. PRESTON BURROW GREAT FALLS, MONTANA 59103 PHONE (406) 968-2117		
	DATE	BUILDING DEPARTMENT APPROVAL			

SHEET 1 OF 9

GENERAL REQUIREMENTS

ROOM AREA

ROOMS SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE. ROOMS SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE.

ROOM WIDTHS

ROOM WIDTHS SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE. ROOM WIDTHS SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE.

CEILING HEIGHTS

CEILING HEIGHTS SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE. CEILING HEIGHTS SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE.

WAPORING AND VENTILATION

WAPORING AND VENTILATION SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE. WAPORING AND VENTILATION SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE.

MISCELLANEOUS

MISCELLANEOUS SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE. MISCELLANEOUS SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE.

SECURITY REQUIREMENTS

1. ALL ENTRY DOORS TO PUBLIC AREAS OR LOBBY AREAS SHALL BE AVOIDED.
2. ALL ENTRY DOORS TO PUBLIC AREAS OR LOBBY AREAS SHALL BE AVOIDED.
3. ALL ENTRY DOORS TO PUBLIC AREAS OR LOBBY AREAS SHALL BE AVOIDED.
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17. ALL ENTRY DOORS TO PUBLIC AREAS OR LOBBY AREAS SHALL BE AVOIDED.
18. ALL ENTRY DOORS TO PUBLIC AREAS OR LOBBY AREAS SHALL BE AVOIDED.
19. ALL ENTRY DOORS TO PUBLIC AREAS OR LOBBY AREAS SHALL BE AVOIDED.
20. ALL ENTRY DOORS TO PUBLIC AREAS OR LOBBY AREAS SHALL BE AVOIDED.

DEFINITIONS

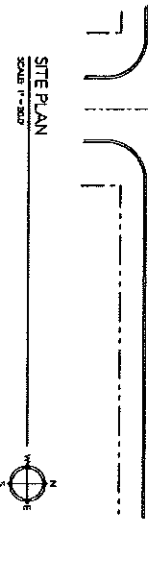
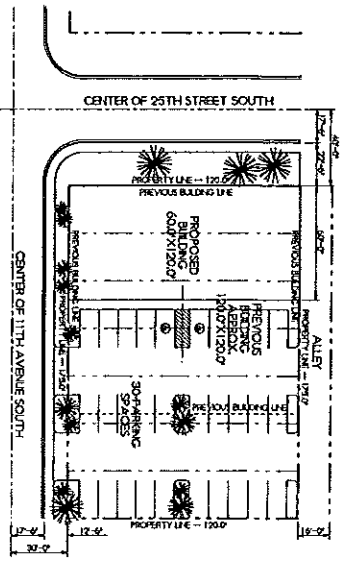
DEFINITIONS SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE. DEFINITIONS SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE.

INSPECTION REQUIREMENTS

INSPECTION REQUIREMENTS SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE. INSPECTION REQUIREMENTS SHALL BE SIZED TO ACCOMMODATE THE NUMBER OF OCCUPANTS AS DETERMINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE.

ENERGY REQUIREMENTS

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STREET ADDRESS: 1000 S. 25th Street, Great Falls, MT 59403

LEGAL DESCRIPTION: LOT 2, BLOCK 1, SUBDIVISION 1, GREAT FALLS, MONTANA

ZONING: R-10

COVERAGE: 2000 sq. ft. (40% coverage)

SOILS: TYPICAL MONTANA SOILS

OWNER: PRETTY GIRLS

DESIGNER: C. PRESTON BURROW

STRUCTURAL ENGINEER: C. PRESTON BURROW

LANDSCAPE DESIGNER: C. PRESTON BURROW

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SHEET	DESCRIPTION
1	1. SITE PLAN AND GENERAL NOTES
2	2. FLOOR PLAN
3	3. ELEVATIONS
4	4. FOUNDATION PLAN
5	5. FINISHING PLAN
6	6. CROSS-SECTION
7	7. DETAILS - 1 THROUGH 11
8	8. SIGN WALL NOTES & DETAILS
9	9. STRUCTURAL NOTES & DETAILS

SCOPE OF WORK:

1. PREPARE ARCHITECTURAL DRAWINGS AS INDICATED ABOVE ON THE SITE PLAN.
2. PREPARE ARCHITECTURAL DRAWINGS AS INDICATED ABOVE ON THE SITE PLAN.
3. PREPARE ARCHITECTURAL DRAWINGS AS INDICATED ABOVE ON THE SITE PLAN.

<p>03-03-13</p> <p>SITE PLAN</p> <p>DATE: _____ OWNERS APPROVAL: _____</p> <p>DATE: _____ STRUCTURAL ENGINEERING: _____</p> <p>DATE: _____ BUILDING DEPARTMENT APPROVAL: _____</p>		<p>PREPARED BY:</p> <p>C. PRESTON BURROW</p> <p>GREAT FALLS, MONTANA 59403</p> <p>PHONE: (406) 866-4110</p>	<p>CONTRACTOR:</p> <p>HARANT</p> <p>HEATING - COOLING - REMODELING</p> <p>RESIDENTIAL AND COMMERCIAL</p> <p>179 30th STREET, BLACK EAGLE, MT 59414</p> <p>MARK HARANT 406-799-2744</p>	<p>OWNER/DESIGNER:</p> <p>JAY R. NASH</p> <p>GREAT FALLS, MONTANA</p> <p>PHONE: 406-866-6199</p>	<p>PRETTY GIRLS</p> <p>1015 24TH ST. S., GREAT FALLS, MT</p>
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SINGLE-ACCOMMODATION TOILET FACILITIES:

GENERAL - THERE SHALL BE SUFFICIENT SPACE IN THE TOILET ROOM TO OPEN THE DOOR AND PULL THE DOOR TO CLOSE. THERE SHALL BE A 1" SHARDED EDGE. NO DOOR SHALL BE OPENED INTO THE SPACE. THE WINDOW CLOSET SHALL BE LOCATED IN A SPACE WITH A MINIMUM 20" CLEARANCE FROM THE WALL AT ONE END. THE WINDOW CLOSET TO THE WALL SHALL BE MINIMUM 48" CLEARANCE FROM THE WALL. ALL DOORS SHALL BE OPENED IN FRONT OF THE WATER CLOSET. ALL DOORS MUST BE OPENED IN FRONT OF ANY ACCESSIBLE TOILET.

GRAB BARS:

LOCATION - GRAB BARS SHALL BE INSTALLED AT THE SIDE OF THE TOILET AND THE END OF THE SEAT OR CONTAINER. THE GRAB BAR SHALL BE INSTALLED IN THE TOILET ROOM. WHERE A TURN-TYPE GRAB BAR IS USED, THE GRAB BAR SHALL BE AT LEAST 4" FROM THE WALL WITH THE HANDLE EXTENDING THE BAR SHALL NOT BE LESS THAN 30" FROM THE WALL. **DIAMETER OR WIDTH** - THE DIAMETER OR WIDTH OF THE GRAB BAR SHALL BE 1 1/4" TO 1 3/4" UNLESS OTHERWISE SPECIFIED. THE GRAB BAR SHALL BE 1 1/2" FROM THE WALL AND THE GRAB BAR SHALL BE 1 1/2" FROM THE WALL.

DOOR SCHEDULE

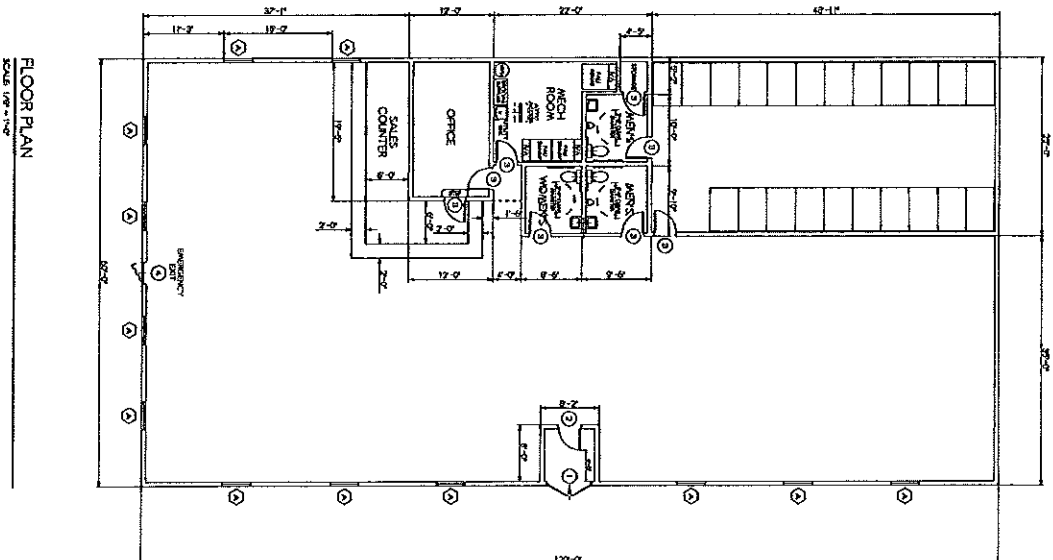
SYMBOL	HEIGHT	THICKNESS	TYPE	MATERIAL	REMARKS
1	7'-0"	1 1/2"	N/A	EXTENSION METAL	DOOR ENTRY - STORE ROOM
2	7'-0"	1 1/2"	N/A	EXTENSION METAL	ENTRY - STORE ROOM
3	7'-0"	1 1/2"	N/A	EXTENSION METAL	DOOR ENTRY - STORE ROOM
4	7'-0"	1 1/2"	N/A	EXTENSION METAL	DOOR ENTRY - STORE ROOM

WINDOW SCHEDULE

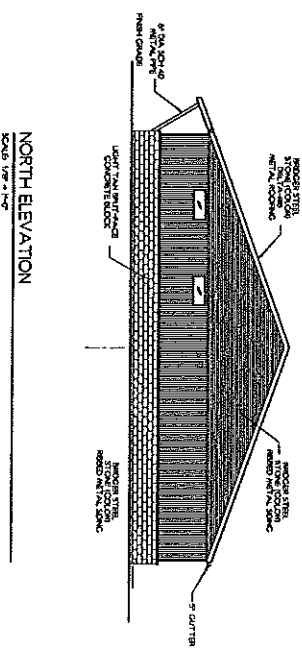
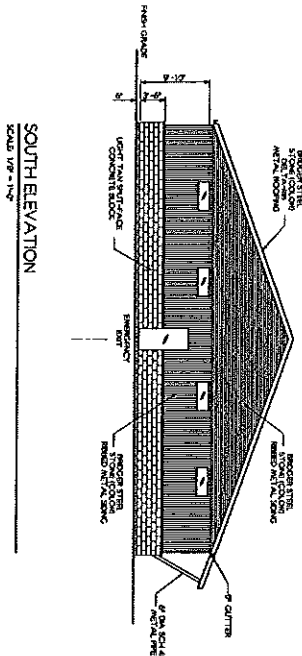
SYMBOL	WIDTH	HEIGHT	TYPE	MATERIAL	GLASS	FINISHES
1	4'-0"	7'-0"	FIXED <td>W/NT</td> <td>GLASS</td> <td>SEE SCHEDULE</td>	W/NT	GLASS	SEE SCHEDULE

GLASS FINISHES SHALL BE THOSE SPECIFIED IN THE SCHEDULE. FINISHES IN LAMP OR STAINLESS STEEL SHALL BE THOSE SPECIFIED IN THE SCHEDULE. ALL GLASS SHALL BE 1/4" THICK UNLESS OTHERWISE SPECIFIED. ALL GLASS SHALL BE INSTALLED IN ACCORDANCE WITH THE SCHEDULE. ALL GLASS SHALL BE INSTALLED IN ACCORDANCE WITH THE SCHEDULE. ALL GLASS SHALL BE INSTALLED IN ACCORDANCE WITH THE SCHEDULE.

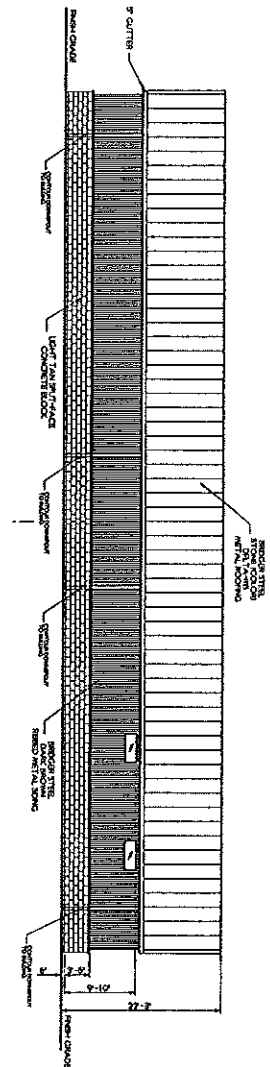
- GENERAL NOTES:**
1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS FROM THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES OR INCONSISTENCIES.
 2. ALL DIMENSIONS SHALL BE GIVEN IN THE SCHEDULE UNLESS OTHERWISE SPECIFIED. THE LATEST REVISION SHALL CONTROL.
 3. ALL ASTM SPECIFICATIONS SHALL BE OF THE LATEST REVISION.



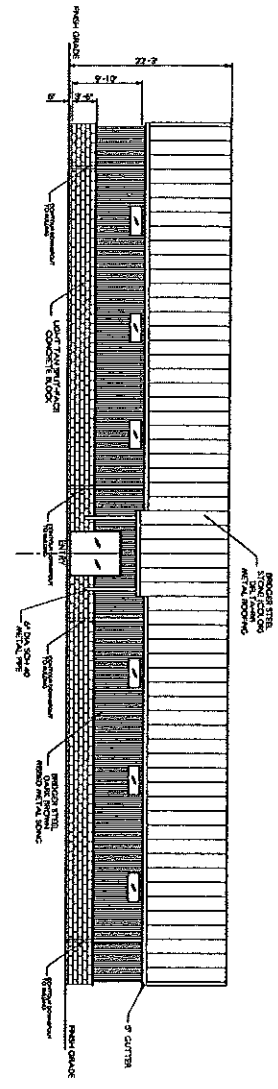
FLOOR PLAN
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"



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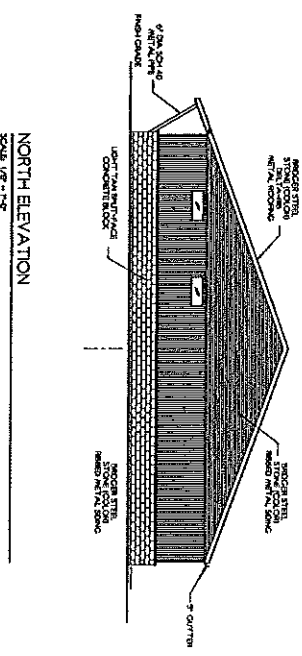
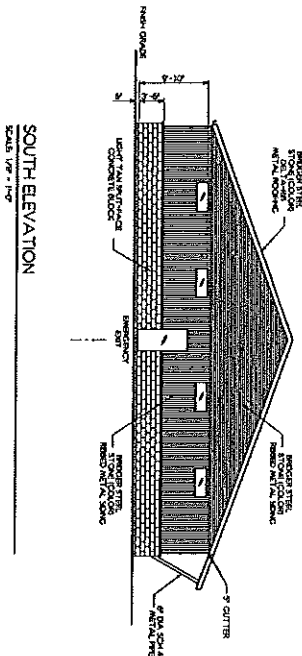
03-09-13
3
3 of 3

ELEVATIONS	
DATE	OWNER/BUILDERS APPROVAL
DATE	STRUCTURAL ENGINEERING
DATE	BUILDING DEPARTMENT APPROVAL

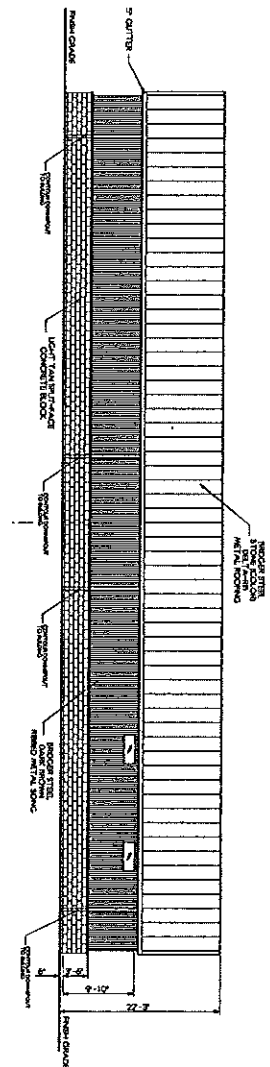
PREPARED BY
C. PRESTON BURROW
GREAT FALLS, MONTANA 59403
PHONE (406) 668-6117

HARANT
HEATING - COOLING - REMODELING
RESIDENTIAL AND COMMERCIAL
100 26TH STREET, BLACK EAGLE, MT 59114
MARK HARANT 406-799-3214

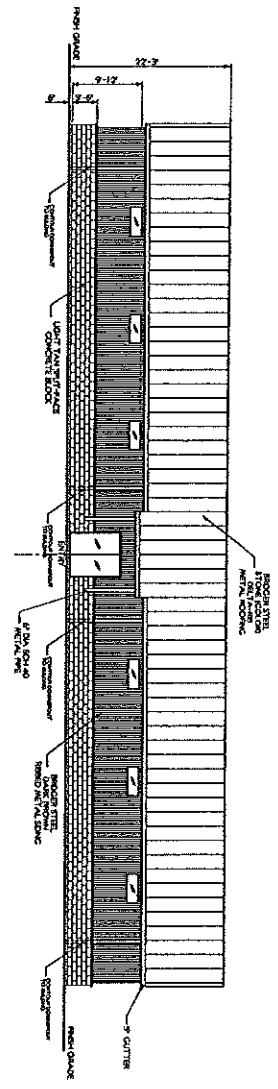
PRETTY GIRLS
1015 24TH STREET SOUTH, GREAT FALLS, MONTANA



WEST ELEVATION
SCALE: 1/8\"/>



EAST ELEVATION
SCALE: 1/8\"/>



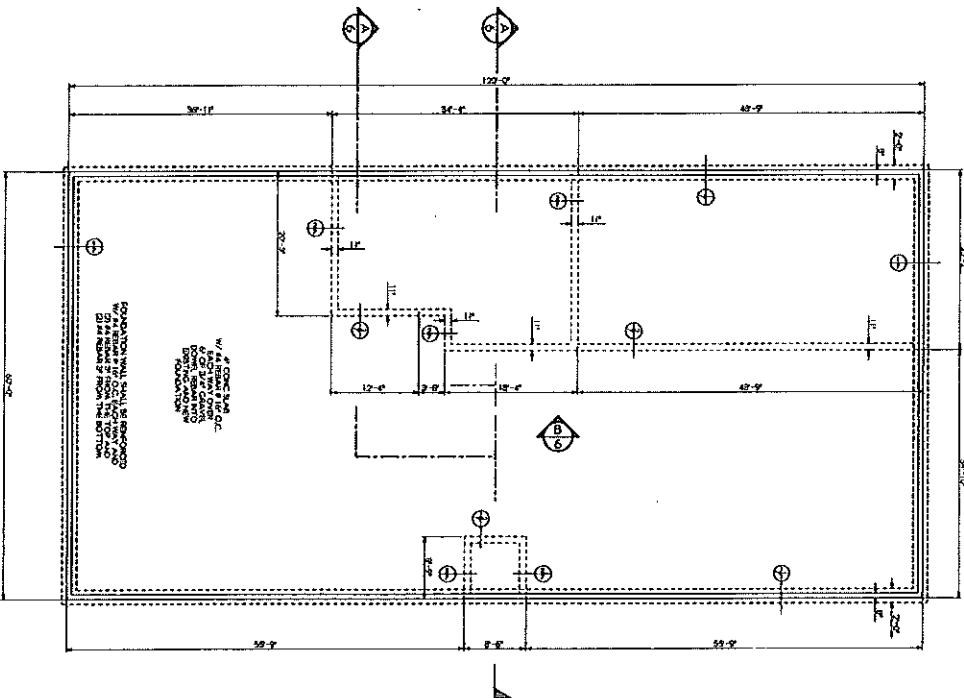
03-08-13		ELEVATIONS		CONTRACTOR		OWNER/DESIGNER	
3	DATE	OWNERS APPROVAL	PREPARED BY	HARANT		JAY R. NASH	
	DATE	STRUCTURAL ENGINEERING	C. PRESTON BURROW	HEATING - COOLING - REMODELING		GREAT FALLS, MONTANA	
	DATE	BUILDING DEPARTMENT APPROVAL	GREAT FALLS, MONTANA 59403	129 20TH STREET, BLACK EAGLE, MT 59414		1015 24TH ST. S., GREAT FALLS, MT	
9-7 2 OF 9				MARK HARANT 406-799-2144		PHONE 406-868-8199	

CONCRETE FOUNDATION NOTES

1. ANCHOR BOLTS TO BE 5/8" X 12" EMBEDDED 2' INTO FOOTING WALL AND EXTEND 1" ABOVE TOP OF FOOTING WALL.
2. FOOTING WALL SHALL HAVE FULL BARS ON THE FOOTING WALL BY ANCHOR BOLTS.
3. ANCHOR BOLTS SHALL BE PLACED AT 4' ON CENTER WITHIN THE WALL. THE CENTERLINE OF THE FOUNDATION SHALL BE INDICATED WITH AN APPROVED MARKING.
4. ANCHOR BOLTS SHALL BE INSTALLED BY AN APPROVED MECHANICAL, MAKE OR BUY ANCHOR BOLTS TO MEET ALL REQUIREMENTS OF THE SPECIFICATIONS. ANCHOR BOLTS SHALL HAVE A MINIMUM OF 12" OF EMBEDMENT INTO THE CONCRETE. ANCHOR BOLTS SHALL BE LOCATED AS CLOSE TO CENTERLINE OF FOUNDATION AS POSSIBLE. ANCHOR BOLTS SHALL BE LOCATED AS CLOSE TO CENTERLINE OF FOUNDATION AS POSSIBLE. ANCHOR BOLTS SHALL BE LOCATED AS CLOSE TO CENTERLINE OF FOUNDATION AS POSSIBLE.

FOUNDATION NOTES

1. SLAB WALLS ARE REQUIRED FOR ALL INTERIORS.
2. FOUNDATION SHALL BE REINFORCED WITH 12" CONCRETE WALL FINISH.
3. FOUNDATION SHALL BE REINFORCED WITH 12" CONCRETE WALL FINISH.
4. FOUNDATION SHALL BE REINFORCED WITH 12" CONCRETE WALL FINISH.
5. FOUNDATION SHALL BE REINFORCED WITH 12" CONCRETE WALL FINISH.
6. FOUNDATION SHALL BE REINFORCED WITH 12" CONCRETE WALL FINISH.



FLOOR PLAN
SCALE 1/8" = 1'-0"

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03-03-13
4
SHEET 4 OF 9

FOUNDATION PLAN	
DATE	OWNER/BUILDERS APPROVAL
DATE	STRUCTURAL ENGINEERING
DATE	BUILDING DEPARTMENT APPROVAL

PREPARED BY
C. PRESTON BURROW
GREAT FALLS, MONTANA 59403
PHONE (406) 668-6117

HARANT
HEATING - COOLING - REMODELING
RESIDENTIAL AND COMMERCIAL
129 29TH STREET, BLACK EAGLE, MT 59414
MARK HARANT 406-799-3741

PRETTY GIRLS
1015 24TH STREET SOUTH, GREAT FALLS, MONTANA

GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MATERIALS TO BE USED IN THE CONSTRUCTION OF THE PROJECT AND STRUCTURAL SPECIFICATIONS SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.
2. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE NOTED.
3. ALL ASTM SPECIFICATIONS SHALL BE OF THE LATEST REVISION.

ROUGH FRAMING

FLOOR JOIST, BEAMS AND CROSSERS

FLOOR JOIST, BEAMS AND CROSSERS SHALL BE DIMENSIONED AND SPECIFIED AS FOLLOWS: FLOOR JOISTS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. JOISTS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. JOISTS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. JOISTS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. JOISTS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN.

WOOD STUDS

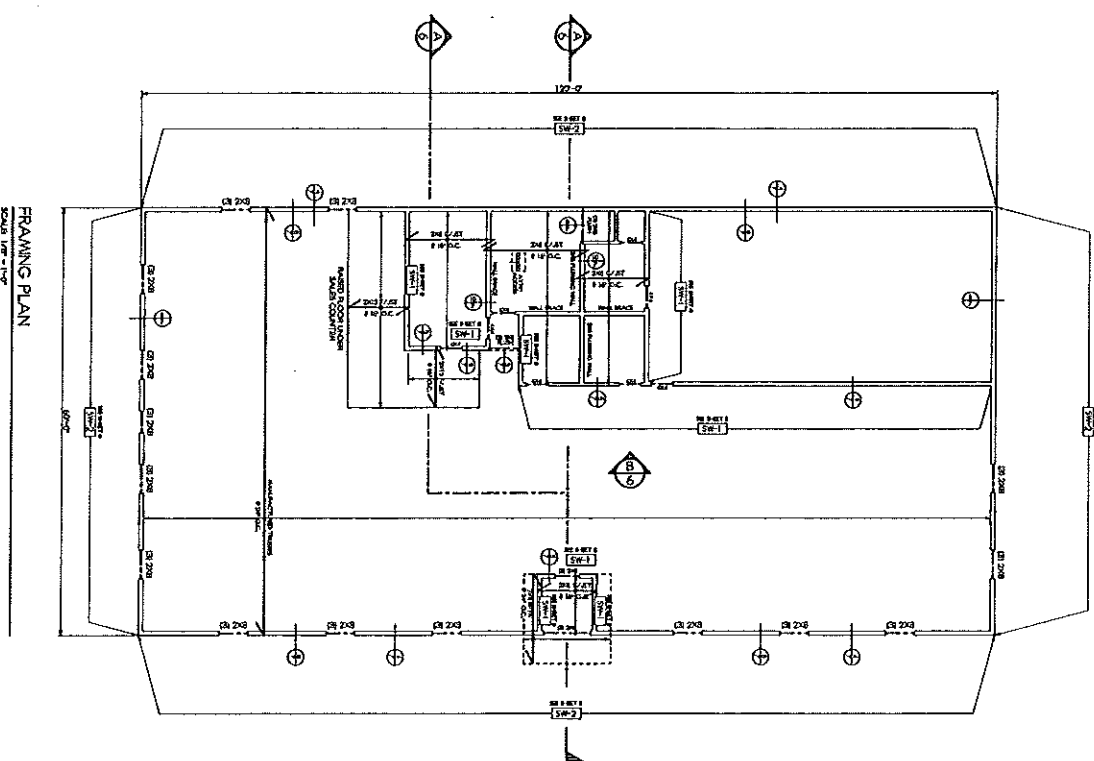
WOOD STUDS SHALL BE DIMENSIONED AND SPECIFIED AS FOLLOWS: STUDS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. STUDS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. STUDS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. STUDS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. STUDS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN.

BRACING OF STUD WALLS

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ONE STORY BUILDINGS

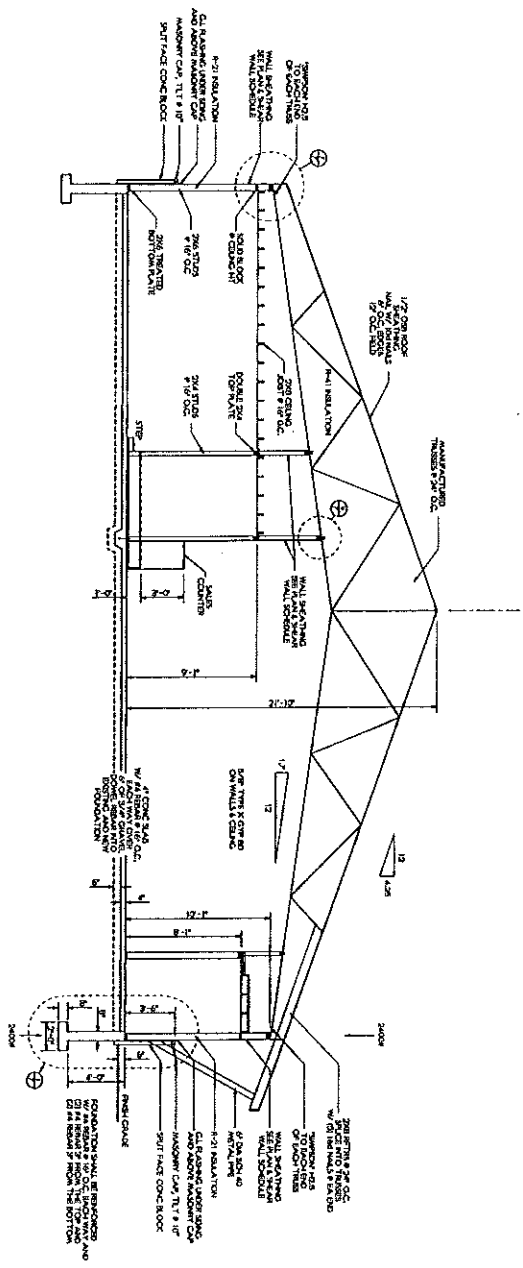
1. ALL EXTERIOR WALLS AND PARTITIONS SHALL BE DIMENSIONED AND SPECIFIED AS FOLLOWS: WALLS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. WALLS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. WALLS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. WALLS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. WALLS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN.
2. INTERIOR WALLS AND PARTITIONS SHALL BE DIMENSIONED AND SPECIFIED AS FOLLOWS: WALLS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. WALLS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. WALLS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. WALLS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN. WALLS SHALL BE DIMENSIONED TO SUPPORT THE FULL DESIGN LOAD PER FOOT OF SPAN.
3. NON-BRACED WALLS - NOT TO BE USED AS BRACING.
4. CORNER BRACED WALLS - NOT TO BE USED AS BRACING.
5. CORNER WALL JOIST BRACING - NOT TO BE USED AS BRACING.
6. PORTLAND CEMENT MASONRY - NOT TO BE USED AS BRACING.
7. THE ABOVE BRACED PANELS MUST BE AT LEAST 4' WIDE AND COVER THREE STUD SPACES.



FRAMING PLAN
SCALE: 1/8" = 1'-0"

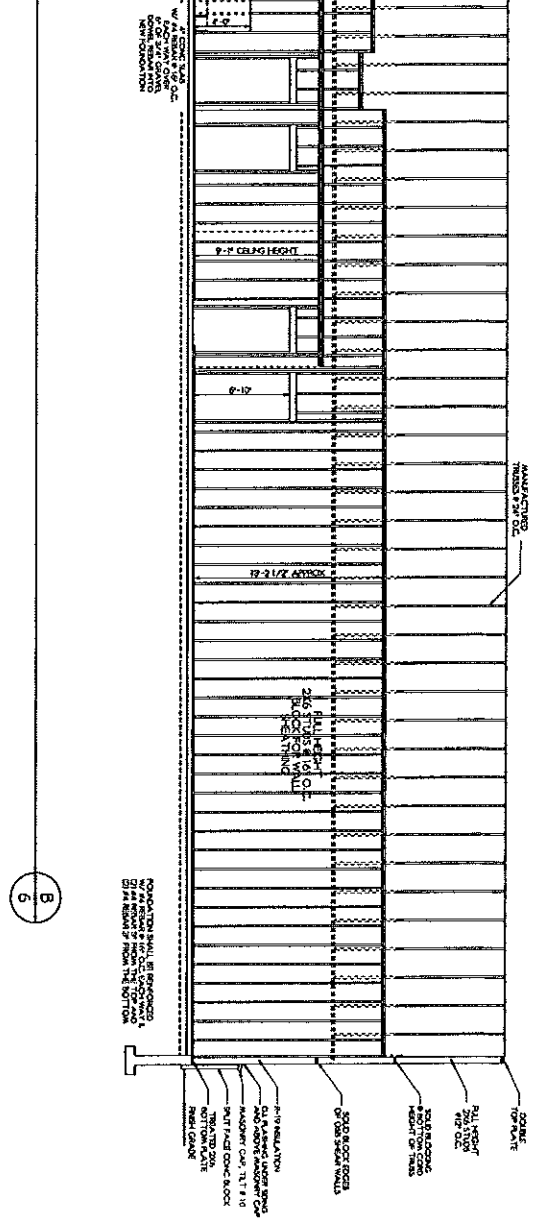
COPYRIGHT © 2013, C. PRESTON BURROW		DATE: _____		<p>HARANT HEATING - COOLING - REMODELING RESIDENTIAL AND COMMERCIAL 100 24TH STREET, BLACK EGLE, MT 59414 MARK HARANT 406-799-2744</p>	<p>PRETTY GIRLS 1015 24TH STREET SOUTH, GREAT FALLS, MONTANA</p>
03-03-13	FRAMING PLAN	DATE: _____	DATE: _____		
5	DATE: _____	OWNER/BUILDER APPROVAL	PREPARED BY		
	DATE: _____	STRUCTURAL ENGINEERING	C. PRESTON BURROW		
SH-1 5 OF 6	DATE: _____	BUILDING DEPARTMENT APPROVAL	GREAT FALLS, MONTANA 59403 PHONE 406-868-6117		

CROSS-SECTION
SCALE: 1/4" = 1'-0"



A

INTERIOR FRAMING ELEVATION
SCALE: 1/4" = 1'-0"

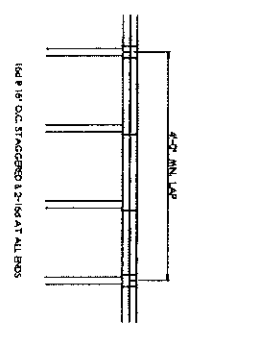


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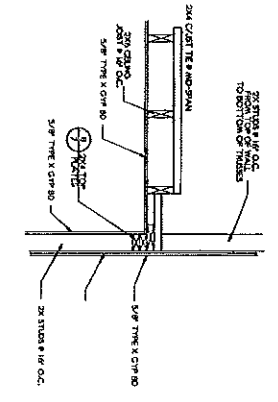
09-09-13 6 SHEET 6 OF 9		CROSS-SECTION & INTERIOR FRAMING ELEVATION DATE: ON E.P./BUILDERS APPROVAL DATE: STRUCTURAL ENGINEERING DATE: BUILDING DEPARTMENT APPROVAL		PREPARED BY C. PRESTON BURROW GREAT FALLS, MONTANA 59408 PH: 406.458.9559-6117		HARANT HEATING - COOLING - REMODELING RESIDENTIAL AND COMMERCIAL 1155 SOUTH 17TH STREET, GREAT FALLS, MONTANA 59405 MARK HARANT 406-799-2711		PRETTY GIRLS 1015 24TH STREET SOUTH, GREAT FALLS, MONTANA	
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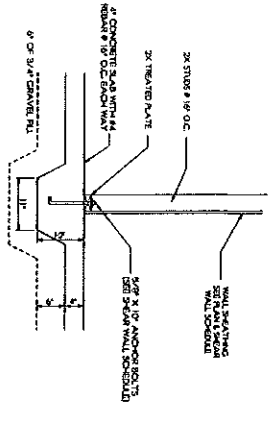
DETAIL
SCALE: 1/4" = 1'-0"
11
7



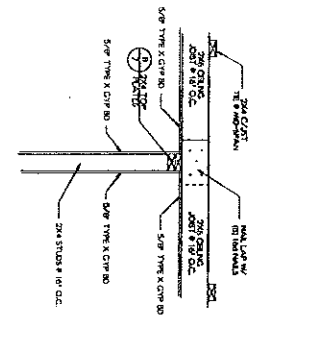
TOP PLATE SPLICE
SCALE: 1/4" = 1'-0"
8
7



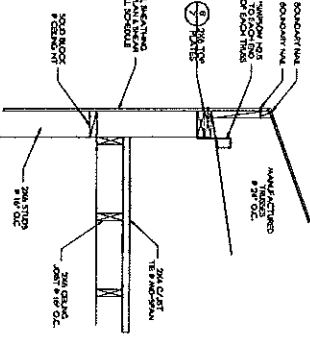
INTERIOR WALL/CEILING
SCALE: 1/4" = 1'-0"
5
7



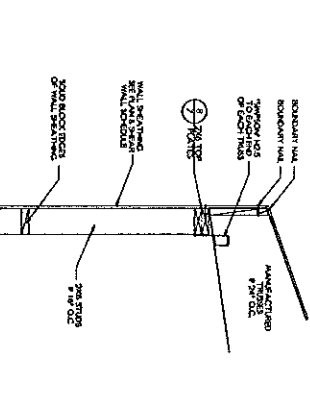
INTERIOR SHEAR WALL FOOTING
SCALE: 1/4" = 1'-0"
2
7



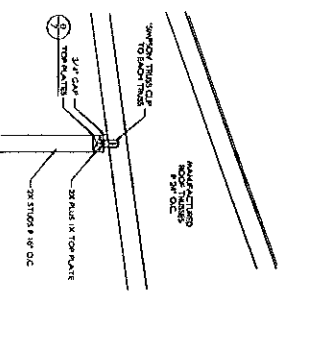
CEILING JOIST/WALL DETAIL
SCALE: 1/4" = 1'-0"
10
7



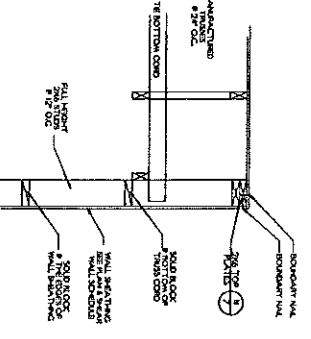
WALL/CEILING/TRUSS CONNECTION
SCALE: 1/4" = 1'-0"
7
7



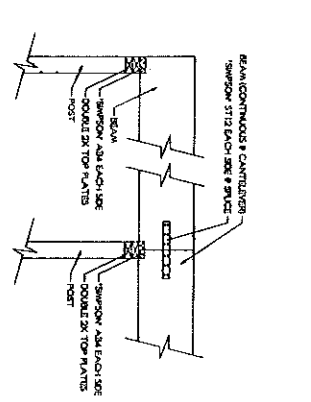
WALL/TRUSS CONNECTION
SCALE: 1/4" = 1'-0"
4
7



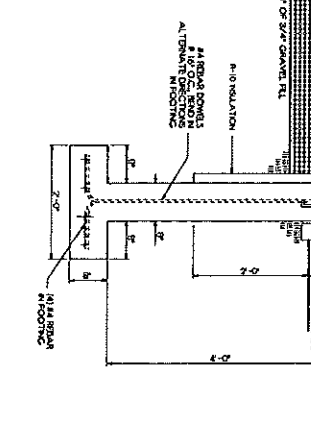
TRUSS CLIP CONNECTION
SCALE: 1/4" = 1'-0"
9
7



EXTERIOR RAKE WALL
SCALE: 1/4" = 1'-0"
6
7



FLUSH BEAMS BEAM TO WALL CONNECTION
SCALE: 1/4" = 1'-0"
3
7



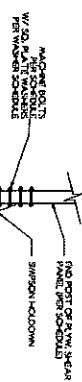
EXTERIOR SLAB/WALL FOOTING
SCALE: 1/4" = 1'-0"
1
7

<p>03-03-13</p> <p>7</p> <p>5:17 7 of 9</p>	<p>DETAILS -- 1 THRU 11</p>		<p>PREPARED BY</p> <p>C. PRESTON BURROW</p> <p>GREAT FALLS, MONTANA 59402</p> <p>PHONE: (406) 868-6113</p>		<p>HARANT</p> <p>HEATING - COOLING - REMODELING</p> <p>RESIDENTIAL AND COMMERCIAL</p> <p>129 20TH STREET, BLACK EAGLE, MT 59414</p> <p>MARK HARANT 406-799-3244</p>		<p>PRETTY GIRLS</p> <p>1015 24TH STREET SOUTH, GREAT FALLS, MONTANA</p>	
	DATE	OWNER/BUILDER APPROVAL	DATE	STRUCTURAL ENGINEERING				
	DATE	BUILDING DEPARTMENT APPROVAL						

NOTE: USE APPROVED PLATE WASHER IN LIEU OF CUT WASHERS FOR ALL SIMPSON HOLD-DOWN BOLTS AND FOR ALL HOLD-DOWN ANCHOR BOLTS TO WOOD JOISTS. RETENTION ALL NUTS PRIOR TO CLOSING IN.

SIMPSON HOLD-DOWN SCHEDULE

HOLD-DOWN POST SIZE	ROOF TO ROOF	ROOF TO FINISH FLOOR	FINISH FLOOR TO FINISH FLOOR
404	21/32" DIA.	3/4" DIA.	1/2"
404	21/32" DIA.	3/4" DIA.	1/2"
404	21/32" DIA.	3/4" DIA.	1/2"
404	21/32" DIA.	3/4" DIA.	1/2"
404	21/32" DIA.	3/4" DIA.	1/2"



NOTES:

1. THE HOLD-DOWN ANCHOR BOLT SHALL BE 1/2\"/>
- 2. THE HOLD-DOWN ANCHOR BOLT SHALL BE 1/2\"/>
- 3. PROVIDE 1/2\"/>

SIMPSON HOLD-DOWN DETAIL ON SLAB

SCALE 3/4\"/>

NOTE: USE APPROVED PLATE WASHER IN LIEU OF CUT WASHERS FOR ALL SIMPSON HOLD-DOWN BOLTS AND FOR ALL HOLD-DOWN ANCHOR BOLTS TO WOOD JOISTS. RETENTION ALL NUTS PRIOR TO CLOSING IN.

SIMPSON HOLD-DOWN SCHEDULE

HOLD-DOWN POST SIZE	ROOF TO ROOF	ROOF TO FINISH FLOOR	FINISH FLOOR TO FINISH FLOOR
404	21/32" DIA.	3/4" DIA.	1/2"
404	21/32" DIA.	3/4" DIA.	1/2"
404	21/32" DIA.	3/4" DIA.	1/2"
404	21/32" DIA.	3/4" DIA.	1/2"
404	21/32" DIA.	3/4" DIA.	1/2"



NOTES:

1. THE HOLD-DOWN ANCHOR BOLT SHALL BE 1/2\"/>
- 2. THE HOLD-DOWN ANCHOR BOLT SHALL BE 1/2\"/>
- 3. PROVIDE 1/2\"/>

SIMPSON HOLD-DOWN DETAIL RAISED FLOOR

SCALE 3/4\"/>

PLYWOOD SHEAR WALL SCHEDULE AND NOTES

1. SHEAR WALLS NOTED SHALL BE 2\"/>
- 2. SHEAR WALLS NOTED SHALL BE 2\"/>
- 3. SHEAR WALLS NOTED SHALL BE 2\"/>

WALL TYPE	WALL THICKNESS	WALL HEIGHT	WALL WIDTH	WALL AREA	WALL PERIMETER	WALL VOLUME	WALL WEIGHT	WALL STRENGTH	WALL DEFLECTION	WALL CRACKING	WALL CURING
DM-1	2\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td>	8'0\"/> <td>8'0\"/> </td>	8'0\"/>
DM-2	2\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td>	8'0\"/> <td>8'0\"/> </td>	8'0\"/>
DM-3	2\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td>	8'0\"/> <td>8'0\"/> </td>	8'0\"/>
DM-4	2\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td>	8'0\"/> <td>8'0\"/> </td>	8'0\"/>
DM-5	2\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td></td>	8'0\"/> <td>8'0\"/> <td>8'0\"/> </td></td>	8'0\"/> <td>8'0\"/> </td>	8'0\"/>

ANCHOR BOLT NOTES

1. USE APPROVED PLATE WASHER IN LIEU OF CUT WASHERS FOR ALL SIMPSON HOLD-DOWN BOLTS AND FOR ALL HOLD-DOWN ANCHOR BOLTS TO WOOD JOISTS. RETENTION ALL NUTS PRIOR TO CLOSING IN.
2. THE HOLD-DOWN ANCHOR BOLT SHALL BE 1/2\"/>
- 3. PROVIDE 1/2\"/>

PLATE WASHER SCHEDULE

ANCHOR BOLT SIZE	PLATE WASHER SIZE
1/2\"/> <td>3\"/> </td>	3\"/>
3/4\"/> <td>3\"/> </td>	3\"/>
1\"/> <td>3\"/> </td>	3\"/>

8 SHEAR WALL NOTES & DETAILS

DATE	OWNER/BIDDERS APPROVAL
DATE	STRUCTURAL ENGINEERING
DATE	BUILDING DEPARTMENT APPROVAL

PREPARED BY
C. PRESTON BURROW
 GREAT FALLS, MONTANA 59403
 PHONE (406) 866-6107

HARANT
 HEATING - COOLING - REMODELING
 RESIDENTIAL AND COMMERCIAL
 129 20TH STREET SOUTH, GREAT FALLS, MONTANA 59404
 MARK HARANT 406-799-2244

PRETTY GIRLS
 1015 24TH STREET SOUTH, GREAT FALLS, MONTANA

STRUCTURAL NOTES

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE MONTANA BUILDING CODE.
3. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE MONTANA BUILDING CODE.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE MONTANA BUILDING CODE.

FOUNDATION

ALL FOUNDATION SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.

CONCRETE

ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.

CONCRETE SLAB FLOOR ON GRADE

1. ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.

REINFORCING

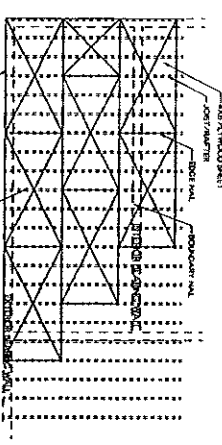
ALL REINFORCING SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.

STRUCTURAL STEEL

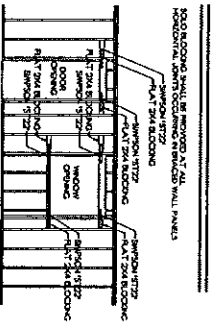
1. ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.

MASONRY

1. ALL MASONRY SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL MASONRY SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL MASONRY SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL MASONRY SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL MASONRY SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.



5



4

LUMBER

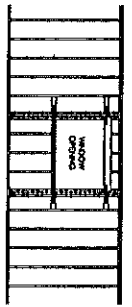
1. ALL LUMBER SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL LUMBER SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL LUMBER SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL LUMBER SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL LUMBER SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.

SIZE	MINIMUM WOOD SPECIES	MINIMUM WOOD SIZE
2" x 4"	SP, P, LR, S, D, L	2" x 4" x 4'
2" x 6"	SP, P, LR, S, D, L	2" x 6" x 4'
2" x 8"	SP, P, LR, S, D, L	2" x 8" x 4'
2" x 10"	SP, P, LR, S, D, L	2" x 10" x 4'
2" x 12"	SP, P, LR, S, D, L	2" x 12" x 4'
4" x 4"	SP, P, LR, S, D, L	4" x 4" x 4'
4" x 6"	SP, P, LR, S, D, L	4" x 6" x 4'
4" x 8"	SP, P, LR, S, D, L	4" x 8" x 4'
4" x 10"	SP, P, LR, S, D, L	4" x 10" x 4'
4" x 12"	SP, P, LR, S, D, L	4" x 12" x 4'

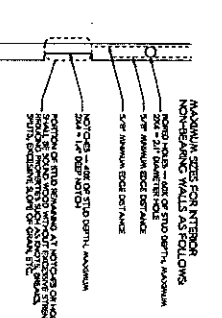
CEILING JOISTS NOTES

CEILING JOISTS SHALL BE IN ACCORDANCE WITH THE MONTANA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.

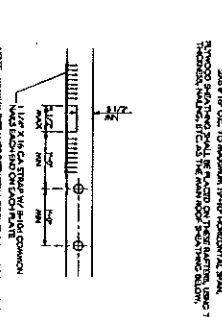
CEILING JOIST SCHEDULE	MINIMUM WOOD SPECIES	MINIMUM WOOD SIZE
2" x 8"	SP, P, LR, S, D, L	2" x 8" x 4'
2" x 10"	SP, P, LR, S, D, L	2" x 10" x 4'
2" x 12"	SP, P, LR, S, D, L	2" x 12" x 4'
4" x 4"	SP, P, LR, S, D, L	4" x 4" x 4'
4" x 6"	SP, P, LR, S, D, L	4" x 6" x 4'
4" x 8"	SP, P, LR, S, D, L	4" x 8" x 4'
4" x 10"	SP, P, LR, S, D, L	4" x 10" x 4'
4" x 12"	SP, P, LR, S, D, L	4" x 12" x 4'



3



2



1

NOTCH SCHEDULE	MINIMUM WOOD SPECIES	MINIMUM WOOD SIZE
2" x 8"	SP, P, LR, S, D, L	2" x 8" x 4'
2" x 10"	SP, P, LR, S, D, L	2" x 10" x 4'
2" x 12"	SP, P, LR, S, D, L	2" x 12" x 4'
4" x 4"	SP, P, LR, S, D, L	4" x 4" x 4'
4" x 6"	SP, P, LR, S, D, L	4" x 6" x 4'
4" x 8"	SP, P, LR, S, D, L	4" x 8" x 4'
4" x 10"	SP, P, LR, S, D, L	4" x 10" x 4'
4" x 12"	SP, P, LR, S, D, L	4" x 12" x 4'

NOTE NOTES:
REMOVE ALL NOTCHES FROM ALL WALLS EXCEPT WHERE SHOWN OTHERWISE.
REMOVE ALL NOTCHES FROM ALL WALLS EXCEPT WHERE SHOWN OTHERWISE.

USE LATEST OVERSIGHT NOTE DATES	DATE	REVISION
1	02/15/13	ISSUE FOR PERMIT
2	03/15/13	ISSUE FOR PERMIT
3	04/15/13	ISSUE FOR PERMIT
4	05/15/13	ISSUE FOR PERMIT
5	06/15/13	ISSUE FOR PERMIT
6	07/15/13	ISSUE FOR PERMIT
7	08/15/13	ISSUE FOR PERMIT
8	09/15/13	ISSUE FOR PERMIT
9	10/15/13	ISSUE FOR PERMIT
10	11/15/13	ISSUE FOR PERMIT
11	12/15/13	ISSUE FOR PERMIT

MAKING INSPECTION NOTE
TYPICAL BEAM TO POST CONNECTIONS
FOR AND PER FOR ALL BEAM TO POST CONNECTIONS.

BUILT-UP ROOF FRAMING NOTE
REMOVE ALL NOTCHES FROM ALL WALLS EXCEPT WHERE SHOWN OTHERWISE.

REMOVE ALL NOTCHES FROM ALL WALLS EXCEPT WHERE SHOWN OTHERWISE.

STRUCTURAL NOTES & DETAILS

DATE	OWNER/BUILDERS APPROVAL
DATE	STRUCTURAL ENGINEERING
DATE	BUILDING DEPARTMENT APPROVAL

PREPARED BY
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