

Great Falls – Cascade County Historic Preservation Advisory Commission
Minutes from the November 8, 2023 meeting, held in the Gibson Room at the Civic Center

Members Present: Steve Taylor, Channing Hartelius, Ellen Sievert, Chris Christiaens, Ken Sievert, Suzanne Waring, Ken Robison, Rich Ecke, Carol Bronson

Members Absent: none

Staff Present: Samantha Long, Brock Cherry

Ex-Officio Members Present: Rae Grulkowski

The meeting was called to order by Rich Ecke at 12:00 PM

1. Approval of Meeting Minutes – October 11, 2023

- Ken Robison moved to approve the minutes as written. Ellen Sievert seconded, and the motion carried.

2. Brock Cherry: Introduction and Upcoming Growth Policy Update

- Sam introduced the new Great Falls Planning and Community Development Director, Brock Cherry. Brock expressed his appreciation for our local Preservation program and outlined his plans for the department, including the ongoing Development Review Audit and the upcoming Growth Policy Update.

3. HPO Report

- Sam has completed her semi-annual report to the State Historic Preservation Office, which follows up on her annual grant award.
- The Preservation Office broke our record for social media outreach, with a single post reaching 45,000 people on Facebook. The post was about the fall of the Big Stack.
- The Union Bethel Church submitted an application for repair funds from the National Park Service's Historic Preservation Fund with support from the Preservation Office and Kate Hampton at SHPO.
- Sam attended the MT Main Street Conference, which was held in Great Falls this year. The event advocates for thriving downtowns, and embraces the role that historic buildings have to play in them.
- The work on the Civic Center is projected to be finished by the time the downtown Christmas Tree goes up.

4. St. Peter's Mission – Potential Grant

- Sam introduced the need for interpretation at the St. Peter's Mission site and outlined the opportunity presented by the Foundation for Montana History's grant cycle. The Commission directed staff to proceed with the application and appointed a committee composed of Channing Hartelius, Frank Laliberty, Ken Robison, and Chris Christiaens to direct the effort.
- Ken Robison moved to request funds from the Foundation for Montana History to design and install interpretive signs at St. Peter's Mission. Chris Christiaens seconded, and the motion carried.

5. Christmas Ornament Update

- Sam reported that the ornament has been ordered and will be available by Christmas Stroll at the latest.

6. December Meeting Plans

- The Commission directed Sam to plan a holiday social in lieu of a regular December meeting. Proposed dates were December 7 or 13, and the Missouri Room was the first choice of venue.

7. Boston and Montana Barn Report

- Ken Sievert offered a few minor edits to the report as provided by Cushing Terrell:
 - It should be stated somewhere that the intent is to rehabilitate the building, and not restore it. This language provides more flexibility within the Secretary of the Interior's Standards with regards to material choices and repair methods.
 - While torch-down roofing is an option for a new roof, Ken said that the dangers of using open flame around a building like the Barn should be noted
 - Ken also suggested that in addition to the budgets provided, a combined and simplified budget sheet would be more digestible for grantors and fundraisers.
- Channing Hartelius moved to accept the report pending the changes that Ken Sievert suggested. Ken Robison seconded, and the motion carried.

8. Vinegar Jones Cabin Committee Report

- Ken Sievert reported that he had called the manufacturer of the new daubing that had been applied and asked for recommendations for treating the logs. While we would normally use linseed oil to maintain them, the manufacturer advised that oil is not compatible with the synthetic daubing. Ken said that he would research water-based coating options and would report back to the Commission.
- Chris reported that the roof was still not done and he has not been able to contact the contractor that had originally offered to donate the work. He is seeking a new contractor, and wants to have the work done this year.

9. Reports from Commissioners

- Ellen Sievert reported that The History Museum has received a large collection of records from the Ursuline Center.

10. Public Comment

- There was no public comment.

Rich Ecke adjourned the meeting at 1:11 PM.

OVERVIEW OF BAATZ BUILDING NOMINATION SUPPORT REQUEST

Summary: NeighborWorks Great Falls is pursuing federal and state Historic Preservation Tax Credits to rehabilitate the Baatz Block. In order to access the tax credits, the building must be listed on the National Register of Historic Places. To that end, the organization has submitted a nomination which will be considered at the State Preservation Review Board on January 25. The State Historic Preservation Office (SHPO) is required to consult with local governments on such nominations, and has requested the opinion of the HPAC.

Background: NeighborWorks Great Falls has undertaken rehabilitation of the 1913 Baatz Block at 400 2nd Ave South in order to create permanent supportive housing to serve the homeless population of Great Falls. The project is relying on a diverse funding package, part of which is the use of Federal and State Historic Preservation Tax Credits. In order to qualify for these credits, a building must be listed on the National Register of Historic Places either before or during the application process. The nomination was submitted in November of 2023, and will be considered at the January 25, 2024 meeting of the Montana State Preservation Review Board. The Review Board's decision will be forwarded to the Keeper of the National Register of Historic Places for final review.

Part of the State Preservation Review Board's process in considering a nomination is consultation with stakeholders including local governments and affected property owners, as well as soliciting comment from the general public. In December, 2023, the SHPO notified HPAC of the proposed nomination and requested the Commission either support or object to the nomination. The Commission may also choose to waive its right to comment. The Great Falls City Commission has also been asked for a separate recommendation and will consider the nomination at its January 16, 2024 regular meeting. This dual-consultation process is outlined in the Montana Certified Local Government Manual, Section VI.B. (Certified Local Government, or CLG, refers to the City's relationship with the State Historic Preservation Office and its maintenance of a local Historic Preservation Office.) If either or both the City Commission and HPAC recommend that the property is eligible for nomination, the SHPO will present the nomination to the State Review Board for consideration. If both the City Commission and HPAC recommend the property not be nominated, SHPO may not nominate the property unless an appeal is filed in accordance with Section 101(c)(2)(B) of the National Historic Preservation Act.

Staff has reviewed the nomination and concur with its statement that the Baatz Block is eligible for nomination to the National Register of Historic Places due to its embodiment of the Western Commercial architectural style as well as its association with the early economic development of Downtown Great Falls.

Alternatives: HPAC may choose to object to the nomination, or it may choose to waive its right to comment. Objection on well-justified grounds may ultimately result in the failure of the nomination, which would prevent the Baatz Block from benefiting from Historic Preservation Tax Credits. If the HPAC chooses to waive its right to comment, a supportive recommendation from the City of Great Falls Commission would be sufficient to allow the nomination to proceed to consideration by the State Preservation Review Board.

Attachments: Baatz Block National Register of Historic Places Registration Form; Comment form provided by John Boughton, Montana National Register Coordinator

United States Department of the Interior
National Park Service**National Register of Historic Places Registration Form**

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

1. Name of PropertyHistoric name: Baatz BlockOther names/site number: NA

Name of related multiple property listing:

NA

(Enter "N/A" if property is not part of a multiple property listing)

2. LocationStreet & number: 400-402 2nd Avenue SouthCity or town: Great Falls State: MT County: CascadeNot For Publication: ☐ Vicinity: ☐**3. State/Federal Agency Certification**

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this X nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property X meets does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

 national statewide X local

Applicable National Register Criteria:

X A B X C D

MT State Historic Preservation Officer

Signature of certifying official/Title:

Date

State or Federal agency/bureau or Tribal Government

In my opinion, the property meets does not meet the National Register criteria.

Signature of commenting official:

Date

Title :

State or Federal agency/bureau
or Tribal Government

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4. National Park Service Certification

I hereby certify that this property is:

- ☐ entered in the National Register
☐ determined eligible for the National Register
☐ determined not eligible for the National Register
☐ removed from the National Register
☐ other (explain:) _____

Signature of the Keeper

Date of Action

5. Classification

Ownership of Property

(Check as many boxes as apply.)

- Private: ☒
- Public – Local ☐
- Public – State ☐
- Public – Federal ☐

Category of Property

(Check only **one** box.)

- Building(s) ☒
- District ☐
- Site ☐
- Structure ☐
- Object ☐

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Number of Resources within Property

(Do not include previously listed resources in the count)

Contributing	Noncontributing	
<u>1</u>	<u>0</u>	buildings
<u>0</u>	<u>0</u>	sites
<u>0</u>	<u>0</u>	structures
<u>0</u>	<u>0</u>	objects
<u>1</u>	<u>0</u>	Total

Number of contributing resources previously listed in the National Register N/A

6. Function or Use

Historic Functions

(Enter categories from instructions.)

COMMERCE/TRADE: specialty store, restaurant, business

DOMESTIC: hotel, multiple dwelling

Current Functions

(Enter categories from instructions.)

VACANT/NOT IN USE

7. Description

Architectural Classification

(Enter categories from instructions.)

OTHER: Western Commercial

Materials: (enter categories from instructions.)

Principal exterior materials of the property: Foundation: CONCRETE, STONE; Walls: BRICK, Windows: WOOD; Roof: OTHER (built-up low-slope roofing)

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Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

Summary Paragraph

The Baatz Block sits in its original location, one block south of the National Register-listed Great Falls Central Business Historic District, and within the central business district proper. The building stands at the southeast corner of 2nd Avenue South and 4th Street South. The three-story Western Commercial style brick building was constructed by Nick Baatz in 1913. It covers two standard city lots with approximately 50 feet fronting 2nd Avenue South and 150 feet facing 4th Street South. The building retains good integrity but displays some alterations where storefront bays are in-filled with brick, and some windows replaced in the upper floors.

Narrative Description

The Baatz Block, built in 1913, is a three-story rectangular commercial block on the corner of 2nd Avenue South and 4th Street South, a few blocks from the heart of the central business district in Great Falls, Montana. The brick building orients north-south, with the shorter primary north façade facing 2nd Avenue South and the longer west façade facing 4th Street South. A small single-story portion of the larger Cameron Family Center, built in 2017, abuts the east wall of the Baatz Block and an alley right-of-way borders the building to the south. The construction is post and beam on the interior, with exterior load-bearing masonry walls.

Exterior

A built-up roof using layers of bitumen and reinforcing fabrics covered with gravel protect the Baatz Block. The roofing has been replaced many times over the years, but the design is original and continues to sport its low slope from the 2nd Avenue façade to the south alley. A large skylight above the interior stairwell near the north side of the building once existed but has been filled in and roofed over. Although not visible from the exterior, its shape and size are visible from the roof or aerial image.

The north elevation of the Baatz Block features two bays, the west elevation displays six full bays and a partial ground floor bay at the south end, the east elevation presents two bays by virtue of a slightly projecting north section, and the south wall is a flat profile. Light tan brick aligned in a running bond pattern comprises the full height pilasters that separate the bays on the north and west walls; the ground floor portion of the three northern pilasters on the west wall are painted light gray. Each of the full height pilasters holds two ornamental geometric inlays of dark red brick in the upper stories. Concrete footers anchor the pilasters and a one-foot thick stone concrete (or stone) inset appears eye-level interrupting the pilasters on the ground floor. Dark red brick laid in a running bond pattern completes and fills the bays of the north and west

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elevations and a beltcourse that consists of a multiple row of soldier brick topped by a single row of stretcher brick below a course of header bricks visually separates the ground floor from the upper stories.

The north and west elevations feature a multi-course parapet of red stretcher brick capped with cut stone, the east roof edge displays a stepped parapet topped with cut stone, and the south elevation lacks a parapet but displays simple cast stone coping. The parapet conceals the flat/low-slope roof. Below the red brick lies a heavy beltcourse of six slightly projecting rows of tan brick, the top course aligned in a header pattern and the remaining lower five rows laid in a stretcher pattern with each successively lower row stepped back slightly from the one above; dentilling below the beltcourse provides detailing. Below the parapet and beltcourse is an inset panel of red brick highlighted by a motif of alternating light brick "T"s, every other one inverted; below this panel occurs another beltcourse of running brick topped by a row of header brick. The east and south (alley) elevations are constructed of lighter red brick and lack the decorative tan brick elements.

The similarity of the window openings in the north and west walls allow for a synthesized discussion of the units in those two facades. The openings are generally regular in presentation with each bay holding four paired one-over-one units except for the northern and southern-most bays on the west elevation that hold four single units filled with one-over-one windows. Some windows hold original wood frames while others are replacements. Five windows, all on the west elevation, are completely or partially in-filled with plywood. The second floor windows display flat arch tan brick lintels with a centered multi-course keystone; the lintel bricks present a slightly angled soldier course pattern. The third story windows feature three-row tan brick segmental arch lintels. Both second and third story windows sport alternating red and tan brick along the jambs and tan cast stone sills. Both the original wood framed windows and the replacement aluminum windows hold one-over-one units though the original windows are double hung and replacement units single-hung.

North Elevation

The north elevation is the primary façade, with "BAATZ BLOCK" spelled out in tan brick on the parapet and the numbers "19" and "13" positioned in the far east corner and far west corner of the parapet, respectively. The two bay façade features full height pilasters on the ends and a partial pilaster in the center associated with the second and third stories that separates the bays. The tan brick of the west corner pilaster and the soldier coursing of the beltcourse that separates the ground floor from the upper stories is painted gray.

Most of the ground floor glass transoms and store fronts are covered with plywood; the lone storefront transom that consists of prismatic glass in the east bay is painted red. Entry to the upper floors occurs through a partially in-filled persondoor with nine-light transom in the east bay; the original recessed centered ground floor entry remains but is covered by the plywood. The open recessed corner entry on the building's northwest end also remains but is covered by plywood. Similarly, the building's northwest free-standing column that supports the open entry

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and melds into the second and third stories' pilaster remains (but appears as a pilaster due to the covering of the corner entry.

West Elevation

The west façade facing 4th Street South presents six bays, with the end bays slightly larger than the interior bays; all pilasters are full height. The ground floor portion of the northern three pilasters are painted light gray, and the third pilaster from the south is painted red; the remaining pilasters remain unpainted. The fourth and fifth bays from the north end of the building retain their quarter walls, though the fourth bay's wall presents a slightly higher profile than the fifth bay wall and different color brick than the rest of the building, suggesting new construction.

The ground floor bays of this elevation are either in-filled with plywood, wood sheeting, or brick painted gray. The only uncovered transom that remains visible appears near the middle of the building though its prismatic glass is painted red. The ground floor of the second and third bays from the north are infilled with brick painted gray and each holds a small single rectangular window. Entry from the west elevation occurs through a modern persondoor with transom in the third bay from the north—this door placement remains original but some infilling of the original opening has occurred. The partial bay at the south end of the façade holds a modern persondoor; the entry opening itself is partially infilled with wood and plywood, including the transom. The entry surround presents a dark brick that doesn't match other brick on the building, though may be original, and the segmental arched lintel above the entry remains. Historic images show several canvas awnings at the storefront level and exterior shading devices at the upper levels; none of these survive.

South Elevation

The south elevation lacks decorative elements and is made with a lighter red brick. The brick on the east third of the façade shows significant damage from moisture intrusion, with the exterior wythe bricks completely missing in several areas. The southeast corner of the building features the original chimney that projects above the roof.

All fenestration occurs on the east half of the wall and includes a slightly left of center persondoor opening that holds a metal door, four single one-over-one single hung windows, two each in the second story and third story, and two small window openings in the ground floor east of the entry. All the windows display two-row soldier coursed segmental arch lintels and brick sills. The second floor windows are original, with some glazing replaced with plywood, and the windows at the third floor have been replaced. The metal fire escape extends from the third to the bottom of the second story, with the lower section folded up to the second-floor landing. Several surface mounted conduits, electric and gas meters, and telecommunications equipment cling to the wall.

East Elevation

The east elevation is partially obscured at the ground floor by the adjacent building built in 2017, which replaced a similar older structure. The east wall steps back two feet six inches to the west approximately 40 feet south of 2nd Avenue. The stepback creates a bay-like projection, which

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holds a one single-hung window in each story. The 40-foot projecting section contains a single window in the third story, partially in-filled with wood siding and a smaller window. The four window openings within the setback section at the ground level remain, though some are covered with plywood. The 16 window openings that grace both the second and third stories of the setback segment exhibit similar treatment with eight in the third story completely or partially filled with plywood and three containing smaller window units. Second story openings hold either the original double-hung units or replacement single-hung units. Second and third story window openings mostly display two-row soldier coursed segmental arch lintels and brick sills. Four persondoor entries provide ingress to the building: all feature two-row soldier coursed segmental arch lintels. Basement window wells are filled with rubble and the windows boarded over. The lower façade is not visible from the alley at all due to a fence which spans from the SE corner of the Baatz Block to the adjacent building, approximately five feet to the east.

The Baatz Block sits on a concrete foundation.

The north and west sides of the building are separated from the street by concrete sidewalks, curbs, and gutters, and the south side of the building abuts the alley pavement. The initial northern 40 feet of the east side of the Baatz Block sits at the property line with a small one or two-story building abutting it, the “shadow” of the previous building still partially visible on the wall above the new construction. Forty feet south of the northeast corner of the building, the east wall steps back slightly creating a short diagonal wall and providing a distance of two and a half feet for the remining portion of the east wall from the property line.

Interior

With the exception of the retail and commercial space on the ground floor, the original floor plan layout is intact.

Basement

The basement has a low ceiling, and it is unlikely it ever witnessed use for anything other than mechanical needs or storage, with storage less likely due to the dampness. The interior of the rubble foundation along the west wall is visible in spots. The floor is concrete, and the ceiling is the underside of the first-floor framing. The north end of the basement represents one large open space with wood columns supporting the first floor framing; the south end features divisions into six smaller spaces, each opening into the others, with no central circulation pattern.

Ground Floor

The ground floor spaces have been remodeled repeatedly over the last century, likely obscuring the original configuration, except for the stairs to the upper floors. It currently divides into seven spaces, each opening into the others, with no central circulation pattern. The north half of the building divides into two large spaces oriented north-south that occupy the first three bays adjacent to 2nd Avenue South. The fourth and fifth bays represent one large space each oriented east to west, while the sixth bay is divided into several smaller spaces and has a low ceiling loft above the east portion. Large areas of the original pressed tin ceiling remain, now painted.

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Second and Third Floors

On the second and third floors, open interior stairs on the northeast and southwest corners remain intact and in good shape and the central corridors on both floors are intact. Many of the original doors that lead into the original hotel rooms remain. Some significant remodeling has occurred with the interior spaces and partition walls along the north wall (adjacent to the 2nd Avenue elevation) on both floors, but original window openings appear intact.

Interior details of the second and third floors include:

- The northeast staircase presents a long continuous enclosed rise from the ground floor with one original landing. An L-shaped open staircase continues up from the second floor “lobby” to the third floor with the original stained wood guardrails.
- The enclosed southwest staircase extends from the ground floor up to the second floor and is original. A straight, open staircase that projects at right angles from the ground floor staircase connects the second and third floors with the original stained wood guardrails.
- Most of the original interior door openings in the hallways remain, with the original wood trim, and original stained finish in most locations on the hallway side. A solid painted wood panel replaces most of the transoms above the doors.
- Many original 5-panel doors remain in the original openings, stained, not painted. In most corridor and stair areas, the original stained wood base remains.
- Inside the sleeping rooms, most of the original wood trim around the windows remains, in many cases painted, not the original stain. Original crown moldings at the top of the walls appear to never have existed, a picture rail aligned with the head of the windows circles the rooms, and is painted. Many locations retain their original wood baseboards, some painted, others not.

Integrity

The Baatz Block retains its strong historical integrity, though nonhistoric cladding, such as plywood, covers much of the lower storefronts. The building stands in its original location. The setting has diminished with the loss of the original buildings that sat directly north and northwest of the Baatz Block, replaced by modern businesses, though the historic neighborhood to the immediate west and south remain. The Baatz Block stands only one half block south of the southern edge of the National Register-listed Great Falls Central Business Historic District, with one of the contributing buildings located at 308 1st Avenue South also built in 1913, and another

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contributing building just two blocks north at 412 Central Avenue built in 1914.¹ Across 4th Street South to the west, the building that currently houses a portion of the Great Falls Rescue Mission was constructed in 1910. Integrity of feeling and association remain as the building easily displays its period of construction and its role within the community through the decades. The Baatz Block retains the majority of its architecturally designed elements allowing it to convey a firm sense of integrity of design, workmanship, and materials.

The most-intact portions of the building are the second and third stories, which present nearly identically to when the building was constructed. Although replacement windows and in-filling appear in many openings, the openings themselves and their placement remain intact, including the detailing.

The ground floor that consists of the storefronts displays the greatest changes. Unfortunately, ground floor changes to historic buildings and the individual storefronts prove not uncommon due to turnover in businesses, each successive owner/renter adapting the storefront to their business needs. In the case of the Baatz Block, much of the historic fabric remains beneath the modern cladding. The most onerous change is the nearly complete infilling with brick of two of the northern bays on the west elevation resulting in the complete loss of the display windows and transoms in these bays. Although plywood sheeting and other materials cover much of the other ground floor bays, the openings and transoms are believed to exist, as does the recessed entry in the northwest corner of the building, below this recent cladding.

Interior changes again reflect the evolution of building use through the decades. The upper floors, however, remain largely intact, with the exception of the rooms along the north end of the building, and the defining primary circulation patterns remain.

¹ Candi Zion and Ellen Sievert, *The Great Falls Central Business District National Register Nomination*, listed 8/20/2004, NR #04000374.

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8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- ☒ A. Property is associated with events that have made a significant contribution to the broad patterns of our history.
- ☐ B. Property is associated with the lives of persons significant in our past.
- ☒ C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- ☐ D. Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

- ☐ A. Owned by a religious institution or used for religious purposes
- ☐ B. Removed from its original location
- ☐ C. A birthplace or grave
- ☐ D. A cemetery
- ☐ E. A reconstructed building, object, or structure
- ☐ F. A commemorative property
- ☐ G. Less than 50 years old or achieving significance within the past 50 years

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Areas of Significance

(Enter categories from instructions.)

ARCHITECTURE
COMMERCE

Period of Significance

1913-1974

Significant Dates

1913

Significant Person

(Complete only if Criterion B is marked above.)

Cultural Affiliation

Architect/Builder

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Statement of Significance Summary Paragraph (Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

The Baatz Block is eligible for listing in the National Register at a local level of significance under criteria A and C. Under Criterion A, the Baatz Block represents an early commercial building associated with the development of Great Falls in the early 1910s in the actively growing city. The colorful past of the building only enhances the role it played providing long and short term accommodations, concurrently as a hotel and as apartments. The Baatz Block hosted both working class visitors and long term residents. It also gained notoriety for housing one of the first cabaret establishments in Montana with subsequent use of the space for a number of bars and taverns through the decades. In addition, the ground floor provided a venue for a number of smaller businesses to operate.

Under Criterion C, the Baatz Block embodies the distinctive characteristics of the Western Commercial style with its roots in later 19th and early 20th century neo-classical styles, sometime referred to as Early 20th Century Commercial Block style of architecture; the significant architectural elements of the building remain predominantly unchanged from their original appearance.

The period of significance begins in 1913, the year of the Baatz Block's construction and ends in 1974, the end of the historic period. Historic dates reflects the year of construction, 1913.

Narrative Statement of Significance (Provide at least **one** paragraph for each area of significance.)

History of Great Falls

The history of the Great Falls in the western region of the United States dates to its colonial visit by Lewis and Clark in 1805. Prior to this, however, the area represented an important location for indigenous peoples. The location of the Baatz Block stands in the traditional territories of a number of indigenous groups that include the Apsáalooke (Crow); Salish; Blackfoot Confederacy (Niitsitapi, or Siksikaitsitapi); Cayuse, Umatilla and Walla Walla; Očhéthi Šakówiŋ; Little Shell Chippewa; and Michif Piyii (Métis) peoples.² The travels of the Corps of Discovery led them to the "great falls" of the Missouri River, and the confluence of the Missouri and the Sun rivers.

The founding of the town of Great Falls occurred in 1883 with an incorporation of 1888. The town layout adhered to the symmetrical Cartesian grid system. Paris Gibson played an oversized role in the development of the town, establishing many of the same features found in his hometown of Minneapolis including platting a river drive near the stream and broad streets in the

² Native Land Digital Interactive Map <https://native-land.ca/>, accessed August 4, 2023.

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business district.³ The construction of hydroelectric power catapulted Great Falls into a commercial and manufacturing hub. The dynamic growth of electrical power and need for copper resulted in a copper works in the emerging town, with copper supplied from Butte. Such industry, however, in Great Falls couldn't have materialized without the presence of several railroads that included the Great Northern, the Great Falls and Canada Railway, and the Chicago, Milwaukee, St. Paul & Pacific, that brought goods and people to the area.⁴

As with many western US towns, most early buildings were constructed of wood and stood one or two stories tall. The early 1900s saw a period of great prosperity and growth as original wood buildings were gradually replaced with more permanent, durable two, three, and four story, and taller brick buildings. Mineral smelting, power generation, agricultural, and ranching industries in the area made early Great Falls economically diverse and stable, a destination for many early settlers from the eastern and midwestern United States. The enlarged Homestead Act of 1909, which increased the allowable acreage for a homestead, drew additional population to the area, including more women.⁵

Between 1900 and 1910, substantial buildings sprang up across the Great Falls area and included government buildings, industrial buildings, and of course banks, and schools to educate the burgeoning population of children.⁶ Specialized services also emerged and the increased pressure on housing resulted in additional apartments and hotels being constructed. It also enabled the construction of buildings that provided both general businesses and lodging, often above the ground floor business, a set-up that allowed lodgers to literally shop on-site for goods. This two-part commercial design popped up across the town and included the construction of the Baatz Block. Some of these designs proved quite opulent while others were more restrained and modest.

The continued growth in the succeeding decade resulted in more construction. The nadir of this growth, however, occurred during the early 1920s as unemployment increased and Montana witnessed an exodus in population. Banks failed, farms abandoned, and construction slowed. Many people that did move to the city were farmers abandoning failed homesteads.

Great Falls rebounded by the latter half of the 1920s as the economy improved. The rebound proved short-lived, however, as the Wall Street Crash in 1929 roiled construction and wrought economic hardship. Major employers in the city laid off their workforce, relief rolls swelled, and construction contracted. Into this void stepped the Federal Work Projects with the WPA and

³ Richard B. Roeder, "A Settlement on the Plains: Paris Gibson and the Building of Great Falls," *Montana the Magazine of Western History*, Vol. 42, No. 4, Autumn 1992, pp. 4-19.

⁴ Mark Hufstetler, *Great Falls West Bank Historic District*, listed 8/30/2010, NR #10000587.

⁵ Chris Enss, *No Place For a Woman, The Struggle for Suffrage in the Wild West*, Lanham, Maryland: the Rowman and Littlefield Publishing Group, Inc., 2020, p. 117.

⁶ Candi Zion and Ellen Sievert, *The Great Falls Central Business District National Register Nomination*, listed 8/20/2004, NR #04000374.

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PWA utilized most intensively. A variety of projects occurred under these banners including road improvements to Paris Gibson's brainchild, River Drive.⁷

The Great Falls economy received another boost in the early 1940s with the arrival of the military. With a request by the Great Falls Chamber of Commerce to Montana senators Wheeler and Murray for an evaluation of the area around Great Falls for a possible military installation, a positive report led to construction of East Base beginning in May of 1942.⁸ The name changed to Great Falls Air Force Base in 1947 with the establishment of the air force as a separate service, and then to Malmstrom Air Force Base in 1955 after the death of Colonial Einar Malmstrom.

The base's original mission entailed establishing an air route from Great Falls to Fairbanks, Alaska as part of the Lend-Lease Program that provided aircraft and materials to the Soviet Union to assist them fighting the Germans.⁹ The Great Falls Army Airbase was assigned to the 2nd Air Force and the first B-17 Flying Fortress landed in November 1942. The presence of the base provided economic support to Great Falls as it continued its important role in the Lend-Lease Program, which ended in September 1945 with the conclusion of World War II.¹⁰ The base continued supporting the Great Falls economy throughout its existence as new missions arose. The Cold War involved the base in "Operation Vittles", the airlift of supplies to Berlin's 2,000,000 inhabitants after the closure of land travel between West Germany and West Berlin, serving as a replacement aircrew training site for Berlin-bound C-54s.¹¹

Similar to many communities across Montana, the arrival of the 1950s and 1960s in Great Falls heralded a period of remodeling and demolition with new construction often following closely. While urban renewal proved a boon in some respects, its toll on historic properties proved devastating resulting in the loss of numerous buildings across town and near the Baatz Block.

Nick and Marie Baatz

Nick Baatz, born in 1861 in Luxembourg, emigrated to the US at the age of 19, and eventually made his way west by way of Ohio, where he likely met his wife, Marie who was born in Cincinnati. He originally lived in Helena, Montana where he worked for Nick Kessler in the brick manufacturing industry. He then moved to Marysville, Montana in southwestern Lewis and Clark County, and also Flathead County, Montana, working in various commercial trades

⁷ Candi Zion and Ellen Sievert, *The Great Falls Central Business District National Register Nomination*, listed 8/20/2004, NR #04000374.

⁸ "History of Malmstrom Air Force Base," Malmstrom Air Force Base, found at <http://www.malmstrom.af.mil/About-Us/History/Malmstrom-History/>, accessed June 14, 2020.

⁹ "History of Malmstrom Air Force Base," Malmstrom Air Force Base, found at <http://www.malmstrom.af.mil/About-Us/History/Malmstrom-History/>, accessed June 14, 2020.

¹⁰ "History of Malmstrom Air Force Base," Malmstrom Air Force Base, found at <http://www.malmstrom.af.mil/About-Us/History/Malmstrom-History/>, accessed June 14, 2020.

¹¹ "Berlin Airlift: Operation Vittles," HistoryNet, found at <http://www.historynet.com/berlin-airlift-operation-vittles.htm>, accessed June 21, 2020.

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along the way, including mining, wholesale liquor, and establishing a brickyard at Columbia Falls.¹²

In 1892, Nick and Maria moved to Great Falls, where Nick became involved in the manufacture of carbonated drinking waters, wholesale liquor and cigar business, and real estate. The family business also included hotel experience as noted by his wife serving as the proprietor of the New Milwaukee Hotel in Great Falls.¹³ Nick ran for alderman of Ward Two, coming up short during his tries.¹⁴ Nick was listed as president of the Washington Liquid Gas Company in a notice published in the *Great Falls Tribune* on December 2, 1922.¹⁵ During this period, they built the Baatz Block which housed a variety businesses through the years including Nick's offices, a tavern/cabaret, and a drug store on the ground floor. On the two upper floors, a 40-room hotel for working class patrons and visitors to the town operated. Marie served as proprietor of the hotel for the early years of its operation.

The Baatz Block Takes Shape

The construction of the Baatz Block coincided with the discussion of the establishment of a Saloon District in town in 1913.¹⁶ A meeting by the city council heard petitions to draft and adopt ordinances that increased the charge for saloon licenses and establish areas where saloons would be allowed. During this meeting, Nick Baatz petitioned to move two houses he owned from 400 Second Avenue South to open the lot for the construction of a new business block, a petition granted a month later.¹⁷ Within a month, crews broke ground for the new three story architect-designed business block.¹⁸

As the Baatz Block neared completion, movement toward the operation of part of the building selling liquor transpired. Baatz transferred one of his existing licenses to M.H. Webber who planned to operate a saloon in the new building.¹⁹ Although Baatz focused on the construction of his new building, he maintained interests in other ventures, including liquor.²⁰

¹² Tom Stout, *Montana, Its Story and Biography, Volume II*. Chicago and New York: The American Historical Society, 1921, p. 9.

¹³ "The New Milwaukee Hotel," *Great Falls Tribune*, July 2, 1912, p. 7; "Business Chances," *Great Falls Tribune*, June 14, 1912, p. 8.

¹⁴ "Democrats Elect Three Out Of Five," *Great Falls Tribune*, April 2, 1912, p. 10.

¹⁵ "Physician Orders Arrest of 4 Women," *Great Falls Tribune*, Jan 29, 1922, p. 14; "Notice of Annual Meeting of Stockholders," *Great Falls Tribune*, December 19, 1922, p. 10.

¹⁶ "To Create Saloon District," *Great Falls Tribune*, February 18, 1913, p. 3.

¹⁷ No title, *Great Falls Tribune*, March 4, 1913, p. 10.

¹⁸ "Ground Broken For New Building," *Great Falls Tribune*, March 19, 1913, p. 8. Although the article noted the project included designs by an architect, no such designs have been located nor has an architect been identified.

¹⁹ No title, *Great Falls Tribune*, September 3, 1913, p. 6.

²⁰ "A Manchester Scotch Highball," *Great Falls Tribune*, November 8, 1913, p. 11.

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By the end of 1913, the Baatz Block neared completion after an investment of \$40,000.²¹ Headlining the opening of the new building was the presence of a cabaret.²² The cabaret, known as the Cottage Inn, would serve to entertain the denizens of Great Falls while eating at the restaurant, that would "...furnish the best possible service and cuisine, and that the entertainment feature will be meritorious and high-class." The cabaret opening occurred on December 6, and "a specialty will be made of Chinese dishes, but an American cook, with something of a name for his work along that line, will prepare them." Less than a month later, the Cottage Inn began to be noted as the College Inn in the local newspaper, likely the result of inaccurate reporting during the opening celebration.²³ In 1915, the College Inn changed its moniker to the Thauhouser.²⁴

The construction of the Baatz Block and other similar buildings received praise by the local press. Highlighting an issue still relevant today, a February 6, 1914 *Great Falls Tribune* article noted a housing crunch and lack of accommodations for workers: "Three of (*sic*) four years ago, the city of Great Falls, for a city of its size, was poorly provided with suitable rooms, not only for what is known as the transient trade, but for those employed in the city and who needed rooming accommodations for their place of residence."²⁵ The article focused on newly constructed hotels and rooming houses and included photographs of the Hotel Sparling at 112 3rd Street South, the Hotel Vandervort at 210 2nd Street North, and the Baatz Block at 4th Street and 2nd Avenue South.²⁶ The article's discussion of the Baatz Block noted, "At the corner of Fourth street south and Second avenue there has been recently completed one of the best blocks in the city, which is known as the Baatz block, the name being that of the owner and builder, Nick Baatz."²⁷ The article described the building as a hotel in several locations, but also noted, "The rooming house portion of the building offers what is called a 40-room hotel, and all the rooms are moderately furnished and equipped."²⁸

²¹ "Nearly Two Millions Of Dollars Have Been Added In City By New Buildings," *Great Falls Tribune*, November 30, 1913, p. 11.

²² "Cabaret To Open In Great Falls," *Great Falls Tribune*, December 4, 1913, p. 6; "New Baatz Hotel," advertisement, *Great Falls Tribune*, December 13, 1913, p. 10.

²³ "College Inn" advertisement, *the Great Falls Tribune*, January 1, 1914, p.8.

²⁴ "Opening A New Café," *Great Falls Tribune*, June 21, 1915, p. 8; "Grand Opening," advertisement, *Great Falls Tribune*, June 21, 1915, p. 9. The Thauhouser hosted its grand opening on June 21. Press related to the bar routinely alternated between the spelling as Thanhauser, Tanhauser, or Thanhouser.

²⁵ "Sleep Made Easy and Sweet in Great Falls by Many Recent Additions to City's Hotel Accommodations," *Great Falls Daily Tribune*, February 8, 1914, p. 1.

²⁶ Although the Hotel Vandervort still exists and appears to continue its use as a multi-family residential building, the Hotel Sparling is gone and the location serves as parking.

²⁷ "Sleep Made Easy and Sweet in Great Falls by Many Recent Additions to City's Hotel Accommodations," *Great Falls Daily Tribune*, February 8, 1914, p. 1.

²⁸ "Sleep Made Easy and Sweet in Great Falls by Many Recent Additions to City's Hotel Accommodations," *Great Falls Daily Tribune*, February 8, 1914, p. 1.

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The original rooms lacked private bathrooms and advertisements at the time indicate the rooms were available, “By day, week, month. Best rooms in town and cheapest...”²⁹ The lack of private bathrooms in the individual rooms suggest the Baatz Block focused on a working-class clientele as by the time of its construction, many middle-class hotels in western US towns included private bathrooms.

Although the Baatz Block gained local celebrity and a degree of significance from a variety of disreputable activities that occurred within its footprint, the building’s role in housing the denizens of Great Falls residents and travelers solidified its importance to the neighborhood. The Baatz Block continued to provide shelter for years and host a multiplicity of businesses after the boisterous days of the building’s first several decades waned.

The Baatz Block—History On The Edge—Part I

To say that the Baatz Block experienced a colorful past proves an understatement. Not long after the completion of the Baatz Block, several businesses, predominantly the hotel and bar, garnered law enforcement attention for liquor violations and solicitation, a trend that dogged the businesses and some residents of the building for years. Within months of the building’s opening, the *Great Falls Tribune* reported the arrest of three gentlemen in a gambling raid in the Baatz Saloon.³⁰ This incident served merely as a harbinger to a myriad of unwanted attention focused upon the building. The goings-on soon enmeshed Nick Baatz, the first of many incidents in which he found himself embroiled.³¹ Baatz faced charges of operating a cabaret saloon in the Baatz Block without a license. Baatz also operated his wholesale liquor business in the building, though he did hold a county license for that business. The entanglement resulted Baatz ordered to close the saloon until resolution of the issue occurred.³²

Baatz’s entanglements extended to threats of violence against his person. In 1916, a fellow named St. Dennis faced charges of assault with a firearm after he forced Baatz to his knees on a sidewalk after a disagreement. As the disagreement diffused, St. Dennis followed Baatz to the saloon in the Baatz Block where St. Dennis “compelled” Baatz to buy him a beer. The beer appears to have had the desired effect on St. Dennis as Baatz retreated to the upstairs and called the police whom upon their arrive, found St. Dennis continuing to enjoy the saloon’s hospitality.³³

Despite Montana officially becoming a dry state in 1918 and a Federal prohibition occurring in 1920, alcohol-related mischief continued to play a major role in the early history of the Baatz Block during the end of the 1910s, 1920s, and 1930s. Such imbroglios ran the spectrum of offense from the attempts of Mrs. A. Cotter to sell beer without a license to raids in the

²⁹ “Baatz Hotel,” advertisement, *Great Falls Daily Tribune*, April 26, 1919, 15.

³⁰ “Three Arrested In Gambling Raid,” *Great Falls Tribune*, March 13, 1914, p. 12; “Death Toll in County Reaches High Mark,” November 13, 1945, p. 9.

³¹ “Nick Baatz Is Arrested,” *Great Falls Tribune*, April 24, 1914, p. 8.

³² “Baatz Ordered To Close His Saloon,” *Great Falls Tribune*, April 28, 1914, p. 12.

³³ “Baatz Claims Gun Was Used,” *Great Falls Tribune*, April 8, 1916, p. 9.

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“Thanhauser bar” for after hour sales, the second shenanigan embroiling Nick Baatz once again with a warrant.³⁴ One of the most grievous missteps occurred when Ed Kelly “...permitted a female person...to enter and remain in a place connected with a saloon, the Thanhauser Bar, in the Baatz block...for the purpose of being supplied with intoxicating liquor.”³⁵ The arrogance of Kelly to allow such an incident literally stepped on almost every facet of the 1907 Act passed by the Montana legislature to prohibit such wanton activity.³⁶

An increased suppression on alcohol no doubt related to newly passed House Bill 211 in 1917 that declared “all buildings to be public nuisances in which acts of lewdness, assignation or prostitution are permitted.”³⁷ Singled out at the time was “Nick Baatz and others” on account of the operations of the Thanhauser in the Baatz Block, “which resulted in a number of arrests because of alleged violations of the wine room law.” The main grievance noted in the *Great Falls Tribune* centered around “that on March 20, 1917, and prior thereto private rooms were maintained in connection with the Tanhauser bar where female persons were permitted to enter and to be served with intoxicating liquors.”³⁸ Playing hard ball, the County Attorney requested an order of abatement be entered by the court that directed the removal of all the fixtures, musical instruments, and movable property from the saloon and closure of the bar for one year. One and a half months later, in the middle of May, the County Attorney’s wish was granted and the court moved to close the Thanhauser: “Judge J.B. Leslie decreeing the Thanhauser bar...in the Baatz building to be a nuisance and providing that it shall be closed by the sheriff to remain closed to all purposes for a period of one year.”³⁹ The strict enforcement of the new law upon the saloon in the Baatz Block was believed to be the first of its kind in the state, a dubious honor indeed.

With the closing of the bar for a period, liquor-related shenanigans, or at least reports for such activities, proved limited for the remainder of 1917, 1918, and 1919, with one blip reported in June of 1918, “Hazel Trent, proprietor of the Baatz hotel, was fined \$50...for selling beer after closing hours.”⁴⁰

While the Baatz Block received less liquor-related press than the preceding three years, the arrival of Prohibition in 1920 garnered a massive increase in ink directed toward the building. Seven months after its passage, the *Great Falls Tribune* trumpeted, “Arrest 26 Alleged

³⁴ “Says She Sold Beer In Room,” *Great Falls Tribune*, February 26, 1915, p. 6; Kelsey Dooley In County Jail,” *Great Falls Tribune*, March 4, 1917, p. 4.

³⁵ “Information Filed in Wineroom Case,” *Great Falls Tribune*, March 25, 1917, p. 12.

³⁶ Rita Gibson, Jan White, and Nick Zarnowski, “Montana Women’s Legal History Timeline, <https://montanawomenshistory.org/research/legal/>, accessed August 29, 2023.

³⁷ “First Action Under New Law,” *Great Falls Tribune*, March 30, 1917, p. 8.

³⁸ “First Action Under New Law,” *Great Falls Tribune*, March 30, 1917, p. 8.

³⁹ “Bar Is Nuisance, Closed By Court,” *Great Falls Tribune*, May 13, 1917, p. 6; the name of the bars that occupied the Baatz Block changed through the years; “Want Some Moonshine Whisky? Sheriff Gordon Holds 8 Sacks Awaiting Claim Of Its Owner,” *Great Falls Tribune*, February 21, 1921, p. 10.

⁴⁰ “Sold Beer After Hours, Pays Fine,” *Great Falls Tribune*, June 19, 1918, p. 9.

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Bootleggers On Evidence Secured By Sleuths.”⁴¹ Several of the miscreants were netted at the Baatz Block along with other locals across town. Hence, even though the preceding decade came and went, the new decade fully embraced certain earlier frowned upon activities at the Baatz Block. Indeed, Nick Baatz apparently found it quite difficult to extricate himself from the wiles of the distribution of alcohol during this period, despite the increased stakes of potential Federal prosecution.⁴² An August article that described a raid in the Baatz Block noted the recovery of “...a cellar stocked with intentions, good or evil as the taste decides...” The police sortie resulted in Federal charges levied against Baatz.

The increased law enforcement presence and continued crack downs undoubtedly drove many from the ranks of illegal liquor, decreasing the nefarious bootlegging activities within town. However, just when the city began a self-congratulatory campaign, “...this city was never so free from intoxicating liquors as at present...all of the old-time notorious resorts are closed...the old Black Eagle bar...the two bars in the Baatz block...,” further arrests in the illegal trade of alcohol occurred, including one in the now-infamous Baatz Block, stymieing the festive enforcement spirit.⁴³ Barely a month after the city felt the summit had been reached, prohibition officers arrested one man and five women at the Baatz Block.⁴⁴ Illustrating deep divisions at the time within the city, the release of these individuals by the presiding judge resulted in front page accusations “...that local officers are protecting houses of ill fame.”⁴⁵

In September of 1924, the Baatz Block remained under the state and Federal agents’ gaze. Information obtained by the agents resulted in a raid by the two entities; however, these efforts yielded no contraband.⁴⁶ The failure of the raid immediately ran to speculation that the owners of the Baatz Block hotel, renamed the Victoria Hotel in 1922, received an inside warning tip.

The continued interest in the hotel in the Baatz Block remained strong, if not all-obsessing, for agents. In March 1927, Joe and Victoria Beck, “...operators of the Victoria Hotel...were arrested...by Federal Prohibition Officers on charges of violating the national prohibition act...” both “...released on \$300 bond each”⁴⁷ Only three days later, officers returned to the Victoria Hotel to capture the notorious “Spud” Murphy and a small amount of alcohol.⁴⁸ Regardless of adjective used, people associated with the Baatz Block, and especially the hotel, proved resolute in their attempts to gain the upper hand against the agents of prohibition.

⁴¹ “Arrest 26 Alleged Bootleggers On Evidence Secured By Sleuths,” *Great Falls Tribune*, August 18, 1920, p. 8.

⁴² “U.S. Raiders Arrest Baatz; Empty Cellar of Bottles,” *Great Falls Tribune*, August 29, 1922, p. 6.

⁴³ “Falls Cleaned Up,” *Great Falls Tribune*, November 4, 1923, p. 8.

⁴⁴ “Mitchell Requests Grand Jury Quiz Of Police Department,” *Great Falls Tribune*, December 13, 1923, p. 1.

⁴⁵ “Mitchell Requests Grand Jury Quiz Of Police Department,” *Great Falls Tribune*, December 13, 1923, p. 1.

⁴⁶ “4 Agents Fail To Find Booze In Hotel Raid,” *Great Falls Tribune*, September 15, 1924, p. 10.

⁴⁷ “Two Are Arrested on Liquor Charge,” *Great Falls Tribune*, March 31, 1927, p. 3.

⁴⁸ “Officers Raid Victoria Again,” *Great Falls Tribune*, April 2, 1927, p. 9.

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The 1930s showed little decline in illegal activities within the walls of the Baatz Block with Federal emissaries launching a number of strikes against operators of “speakeasies and liquor vending establishments.”⁴⁹ An early 1930 raid allowed Victoria Beck to once again visit the local calaboose. News reports focused on the liquor trade proved fewer as the decade advanced suggesting the enforcement of established laws finally established a footing as the twilight years of Prohibition approached.

The Baatz Block—History On The Edge—Part II

Farmers rushed into northern and eastern Montana beginning in 1908-1909 via the railroads. While many came to farm, some came to the small towns seeking their livelihood in the cities, not the plains. The aura of western states, like Montana, continued to appeal to younger single men who lived in the Midwest and east, as stories of opportunity continued to be romanticized in the press, through railroad advertising, and “dime store” novels. Immigrants too found the lure of the West appealing, especially those who hailed from northern Europe; many of these sometimes travelled directly to the west, bypassing eastern cities where cultural and ethnic prejudices often relegated them to inner city slums. This potential lure of profits resulted in an influx of younger men.

To suggest the Baatz Block’s association with alcohol was the building’s only blemish during its early history would be disingenuous. By 1920, the percentage of women aged 18-44 in Great Falls counted about 25% of the population, a number that tallied married women, according to census data.⁵⁰ Considering the low number of women in the town itself, rural areas around Great Falls counted even lower percentages of young single women. With that backdrop, Great Falls, similar to other western towns of the time with a sizable male population, ventured into the realm of sporting women. An article in the *Great Falls Tribune*, published March 14, 2018, stated, “At the turn of the century, ladies boarding houses were centered in 2nd and 3rd streets south. High-class cocottes worked the Park Hotel and the Rainbow Hotel, though hotels throughout 1st-4th streets and avenues south also offered more than a bed.”⁵¹ “Prostitution was firmly established well before the turn of the century. There were never a huge number of women working in Great Falls, as there were in Butte. But the Great Falls women were sufficient in numbers to fill the needs of the men in the city and surrounding area.”⁵²

While not illustrious, this chapter of Great Falls history remains important. Few opportunities for young single women from lower-income families at the turn of the century existed and for many women, prostitution was significantly more lucrative and hardly more risky than the other

⁴⁹ Conrad, Falls Places Raided by U.S. Force,” *Great Falls Tribune*, March 19, 1930, p. 14.

⁵⁰ Fourteenth Census of the United States, 1920.

⁵¹ Kristen Inbody, “Scarlet Stories: Prostitution is an often overlooked side of Great Falls History,” *Great Falls Tribune*, March 14, 2018, <https://www.greatfallstribune.com/story/life/my-montana/2018/03/14/scarlet-stories-prostitution-often-overlooked-side-great-falls-history/426537002/>, accessed August 17, 2023.

⁵² Jay Moynahan, “Red Light Revelations: A Glance at Great Falls’ Lusty Past 1889,” as quoted in “Scarlet Stories: Prostitution is an often overlooked side of Great Falls History,” *Great Falls Tribune*, March 14, 2018, <https://www.greatfallstribune.com/story/life/my-montana/2018/03/14/scarlet-stories-prostitution-often-overlooked-side-great-falls-history/426537002/>, accessed August 17, 2023.

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work available to them. The Baatz Block played a significant role in the early history of this side of Great Falls' economic development, especially from 1914 to the early 1920s. Acknowledging the Baatz Block association with activities frowned upon by law enforcement provides a more complete story of the building than just its general but important use for lodging and legal business.

Some of these activities transpired in consort with liquor violations but many occurred singularly. Early attempts to corral prostitution in Montana date to 1911, when the 12th Regular Session of the Montana legislature advanced many tenets regarding the issue. These included, "the regulation of the following: transporting women for the purpose of prostitution, inducing or procuring women and girls as prostitutes, holding a woman against her will for the purpose of prostitution, and knowingly accepting or appropriating the earnings of a prostitute."⁵³ These 1911 tenets served as a springboard for enforcement activities around the state, including Great Falls.

By 1915, Great Falls law enforcement marshaled their efforts toward solicitation. These efforts encompassed city-wide application, with many focused on the Baatz Block. Prosecution often proved gender specific with females receiving the vast majority of charges. One of the earliest indictments that noted "plying an immoral trade" at the Baatz occurred in January of 1915, with the arrest of a young woman by the "purity squad."⁵⁴ Police claimed another victory a month later charging a young lady at the Baatz with "improper conduct in a room house."⁵⁵ Following pinches ensued with charges laid against a young woman for "improper conduct" at the Baatz Hotel.⁵⁶

With full-throttle restriction of solicitation occurring by 1917, implementation increased to curtail the activity. The *Great Falls Tribune* eloquently kept readers apprised: "Since Attorney General Ford's dictum regarding redlight districts the Baatz block has been taking over some of the departed glory of the restricted district, according to the police. At least, the police have visited the hotel several times and have not been disappointed in the results."⁵⁷ The "dragnet" caught three women and three men, with the trio of three men contributing "...\$55 to the city coffers." The earnestness of the police efforts to stamp out illicit activity from the Baatz Block cannot be understated as noted by the spirited reporting that appeared more commensurate to a murder than solicitation: "Descending on the Baatz hotel alone last night, Captain of Police Fred Locher conducted a single-handed raid in which five women, each of them later listed on the police blotter as being professionally immoral, were arrested."⁵⁸ The city still continued to amass

⁵³ Rita Gibson, Jan White, and Nick Zarnowski, "Montana Women's Legal History Timeline," <https://montanawomenshistory.org/research/legal/>, accessed August 29, 2023.

⁵⁴ "Dollie Wilson Is Back Again," *Great Falls Tribune*, January 11, 1915, p. 13.

⁵⁵ "Ella Wheeler Taken," *Great Falls Tribune*, February 1, 1915, p. 6. Euphemisms in the press for similar activity proved virtually limitless.

⁵⁶ "Police Court," *Great Falls Tribune*, February 18, 1916, p. 6.

⁵⁷ "Police Visit Baatz Block," *Great Falls Tribune*, July 21, 1917, p. 9.

⁵⁸ "Locher Raids Place Alone," *Great Falls Tribune*, March 25, 1919, p. 11.

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revenue for exploits related to the Baatz Block as May of 1919 witnessed a \$100 levy against Anna O'Neill, "...suspected of conducting herself improperly in the Baatz hotel."⁵⁹

Similar to activities related to alcohol, the promise of a new decade found little change in men seeking the company of women, and despite the entry into the 1920s, women bore the brunt of the charges with little accountability for men: "Nine women were arrested on charges of vagrancy in a raid made by police officers early Sunday morning at the Baatz hotel...Mrs. Victoria Jacobs, proprietor of the hotel, was arrested on a charge of running a disorderly house..."⁶⁰ Other charges soon followed in May of 1921, and again in December with the arrest of six, three men and three women, paying a visit to the police station for "...making improper use of rooms,"⁶¹ interestingly, the latter arrests appear to mark the first time the men received a heavier financial burden than the women. Continued arrests for solicitation occurred but appear to have diminished through the decade, or at least proved unworthy of reporting in the newspaper.⁶²

Instead, later reports that involved the Baatz Block often proved more prosaic, such as the story from 1976 that demonstrated that while hijinks at the building continued, their occurrence took a decidedly less provocative nature illustrated when a number of kids were caught jettisoning buckets of water from the upper floor windows upon unsuspecting patrons of the building's bar.⁶³

Lest One Forget...

Despite the checkered history of the Baatz Block, it is easy to forget the building provided housing for hundreds and hundreds of people throughout its history. It stood, and stands, as a neighborhood landmark.

In addition to serving as a hotel and apartments and its long history hosting a number of bars/taverns, the Baatz Block also served as home to a wide variety of different businesses that yielded a myriad of amenities and services, not only to the neighborhood, but to greater Great Falls. The Montana Printing Company relocated to the building upon its opening in March of 1914.⁶⁴ A few months later, the Montana Lithograph Company, the first business of its kind in the state, found a new home in the building.⁶⁵

⁵⁹ "Police Court Business Big," *Great Falls Tribune*, May 6, 1919, p. 9.

⁶⁰ "10 Arrests Made in Raid On Hotel," *Great Falls Tribune*, November 8, 1920, p. 10.

⁶¹ "Six Taken in Toils in Baatz Hotel Raid," *Great Falls Tribune*, May 15, 1921, p. 7; "Police Arrest Six Person In Morning Raids," *Great Falls Tribune*, December 8, 1921, p. 10.

⁶² "Vice Raid Causes Arrest of Women," *Great Falls Tribune*, December 10, 1923, p. 7.

⁶³ "Raindrops not falling on your head," *Great Falls Tribune*, September 27, 1976, p. 6.

⁶⁴ "We Are Moving To The Baatz Block," *Great Falls Tribune*, March 1, 1914, p. 6.

⁶⁵ "Lithograph Plant Opening," *Great Falls Tribune*, July 26, 1914, p. 5; "Montana Lithograph Company," advertisement, *Great Falls Tribune*, August 16, 1914, p. 10.

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Rooms in the building acted as offices for many, including for a party interested in “Three lady or gentlemen solicitors for city and county work. Call room 28 Baatz Hotel...”⁶⁶ Room 17 in the building served as a location of a seamstress who accepted work from the residents of the town.⁶⁷ Left of center occupations also found housing or office space available where one could ply their trade including Madam Roussell, the “World’s Most Noted Astrologist” in the 1930s and a subsequent sooth teller boasting palmistry and astrology skills.⁶⁸

The Baatz Block hosted a grocery evidenced by the request for an “experienced grocery man. One that knows.”⁶⁹ A lunch counter operated out of the building as did a soft drink stand.⁷⁰ For those in need of space to store items for the winter in a heated environment, the Baatz Block was your building.⁷¹

The vaunted Kirby vacuum cleaner service and sales operated out of the building for a spell in the mid-1940s followed in the early 1950s by Anderson Sales & Service who offered Filter Queen, “the Worlds finest vacuum cleaner, then replaced by Rebuilt Vacuum Shop in the 1970s.”⁷²

The presence of a drug store in the Baatz Block appears to have been a permanent fixture and included Harding Drugs, Higgs, the Niagara Pharmacy, and the Mellon Drug Store. Upon Mellon’s acquisition of the Baatz Block, the building also served as “...quarters of Standard Brands, and the Great Falls Mattress Co...”⁷³ Prior to that, the Baatz Block provided a venue for steam rooms at National Bath in the late 1920s and early 1930s.⁷⁴

Other more recent businesses occupied the building in the last several decades: “Cathy Spencer Odds and Ends use to be located in this building,” “...a second hand store 15-20 years ago,” “in the 80s, there was a vacuum shop...there was another bar on the street side...”⁷⁵

⁶⁶ “Wanted,” *Great Falls Tribune*, December 13, 1915, p. 10.

⁶⁷ “Situations Wanted—Female,” *Great Falls Tribune*, October 31, 1916, p. 12.

⁶⁸ “Purely Personal,” *Great Falls Tribune*, August 5, 1937, p. 15; “Purely Personal,” *Great Falls Tribune*, October 6, 1956, p. 13.

⁶⁹ “Wanted,” *Great Falls Tribune*, June 3, 1917, p. 24.

⁷⁰ “Business Chances,” *Great Falls Tribune*, July 28, 1917, p. 15; “Cigar Store Robbed, No Complaint Made,” *Great Falls Tribune*, January 10, 1920, p. 13.

⁷¹ “32 For Rent—Miscellaneous,” *Great Falls Tribune*, September 8, 1926, p. 12.

⁷² “For Sale—Miscellaneous,” *Great Falls Tribune*, November 6, 1946, p. 11; Advertisement, *Great Falls Tribune*, December 18, 1951, p. 10; Advertisement, *Great Falls Tribune*, January 23, 1977, p. 32.

⁷³ “Mellon’s Drug Store,” *Eastern Montana Catholic Register*, March 19, 1939, p. 3; “Victoria Hotel Is Purchased By Mrs. Bliss,” *Great Falls Tribune*, March 31, 1946, p. 9; “Mellon Pays \$50,000 for Baatz Block,” *Great Falls Tribune*, February 28, 1946, p. 7.

⁷⁴ “Few During Work,” *Great Falls Tribune*, October 27, 1929, p. 23.

⁷⁵ Facebook, “City of Great Falls—Local Government,” <https://www.facebook.com/CityOfGreatFalls/posts/tbt-nick-baatz-was-a-well-known-wholesale-and-retail-liquor-dealer-and-great-fal/1908819815920826/>, posted July 9, 202, accessed September 12, 2023.

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Although many of the downstairs businesses came and went or changed hands, the once constant of the Baatz Block remained lodging. Although advertised as a hotel, the building afforded rooms to both short term clients and also those interested in longer stays, including individuals and families that stayed for extended periods of time and called the Baatz Block home. Little evidence exists to suggest certain areas of the hotel were set aside for short term versus long term occupancy, instead both uses comingled within and throughout the hotel.

The early advertising push of the hotel highlighted the contemporary construction: “Baatz Hotel, strictly modern. Finest rooms in Great Falls. \$15.00 per month and up. Special rates to travelers...”⁷⁶ That the Baatz Block hosted clientele aligned with its original working class housing intent was noted in 1920 with the announcement that a barber hoped to lease a one-chair shop in town, providing the Baatz Hotel as his point of contact.⁷⁷ Rooms remained available at the renamed Victoria Hotel into the late 1920s, including those for storage with the enticement of “cheap rent.”⁷⁸ By the early 1930s, rents in the hotel decreased becoming some of the cheapest advertised at the time in town, with the going rate noted at \$3.00 a week and up.⁷⁹ The mid-1930s, appears to have ushered in the use of the Baatz Block/Victoria Hotel as a destination not only those who called the building home, but also many who journeying to Great Falls for medical appointments, listing the hotel as their local place of contact.⁸⁰ Rentals, either long term or short term, continued for as long as the Baatz Block remained open. Through the 1940s, 1950s, and 1960s, rentals in the building provided many Great Falls residents a place to stay. By 1978, rental lodgings, both long and short term, remained an important facet of the Baatz Block, advertised as “clean & quiet.”⁸¹

After sitting vacant for several years, the acquisition of the Baatz Block in 2021 by NeighborWorks Great Falls, in partnership with Homeword of Missoula, with their plans to renovate the building into apartments returns the property full circle to its historic use, with the ground floor once again hosting business/managerial-related offices and the upper floors returning as apartments.

⁷⁶ “Baatz Hotel,” advertisement, *Great Falls Tribune*, December 4, 1916, p. 12; “Baatz Hotel,” advertisement, *Great Falls Tribune*, April 4, 1915, p. 6; the “special rates to travelers” corroborates that people who lived in the building and called it home comingled with those who stayed for shorter, even nightly, stays.

⁷⁷ “Wanted-Miscellaneous,” *Great Falls Tribune*, December 7, 1920, p. 10.

⁷⁸ “For Rent-Miscellaneous,” *Great Falls Tribune*, September 8, 1926, p. 12.

⁷⁹ “For Rent,” *Great Falls Tribune*, November 8, 1931, p. 10.

⁸⁰ “Hospital Notes,” *Great Falls Tribune*, November 17, 1936, p. 6; “At the Columbus,” *Great Falls Tribune*, April 25, 1940, p. 14; “Oakley Funeral,” *Great Falls Tribune*, September 9, 1939, p. 5; “Cascade County’s September Deaths Total 47, Larger Than Average Number for One Month,” *Great Falls Tribune*, October 17, 1939, p. 6; “Hospital Notes,” *Great Falls Tribune*, August 6, 1937, p. 8.

⁸¹ “114, Housekeeping-Furnished Rooms,” *Great Falls Tribune*, October 16, 1978, p. 20; “11 winners of grants announced,” *Great Falls Tribune*, May 12, 1975, p. 12.

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Ownership of the Baatz Block and Hotel Through the Years

Ownership of the Baatz Hotel business sold to Mrs. Jacobs with the transfer of ownership occurring on October 1, 1916.⁸² Clues regarding difficulties with the hotel operation surfaced in September of 1921 with the announcement that the hotel furniture was for sale.⁸³ By May of 1922, the Baatz Hotel assumed a new sobriquet, the Victoria, and came under new management. Rooms remained available by the month, week, or day with rates noted as, "\$4 week up, or \$16 month up."⁸⁴

When the 18th Amendment went into effect in 1920, the Baatz family and fortunes began to see a downhill slide, indicating that the manufacturing, distribution and sale of liquor served as a primary foundation of the family business. As noted, from 1921 to 1925, most of the newspaper coverage that mention Nick Baatz or the Baatz Block reference legal problems – failure to pay debts,⁸⁵ illegal sales or distribution of alcohol,⁸⁶ divorce,⁸⁷ etc. By 1925, transfer of the entire building proved imminent as Nick Baatz and others were served with a foreclosure notice for the Baatz Block in its entirety, faced with a \$38,841 bill.⁸⁸ During the proceedings, the building was described as, "one of the largest in town and put up at a high cost."⁸⁹ By the time of the proceedings, Nick Baatz had already signed over his interest in the building to C.N. Kessler, the son of his former boss and Nick's business partner in Helena when Nick first came to Montana. After this period, the property and the Baatz family faded out of the local spotlight, although Nick lived until 1939. Ownership transferred to Robert Russell.

Change was afoot again in 1946 when the transfer of the hotel business to Sarah Bliss occurred and also the transfer of the entire Baatz Block to Russell Mellon who acquired a building that contained "...numerous business properties, including the Mellon Drug store, quarters of Standard Brands, the Great Falls Mattress Co., a tavern and the Victoria hotel..."⁹⁰ The assignment of the hotel to Ms. Bliss effected a name change to the Brent Hotel. By the time Mellon acquired the Baatz Block, the businesses that operated in the building assumed a more respected role in the neighborhood compared to its past rich history.⁹¹ Advertisements for

⁸² "Baatz Hotel Sold," *Great Falls Tribune*, September 16, 1916, p. 8.

⁸³ "Baatz Hotel," *Great Falls Tribune*, September 16, 1921, p. 10.

⁸⁴ "For Rent-Housekeeping Rooms," *Great Falls Tribune*, October 5, 1921, p. 12; "For Rent-Housekeeping Rms," *Great Falls Tribune*, May 2, 1922, p. 10.

⁸⁵ "New Trial Ordered in Nick Baatz Case by Supreme Court," *Great Falls Tribune*, February 21, 1922, p. 5.

⁸⁶ "Deadly Liquor for Own Use Is Testimony by Nick Baatz," *Great Falls Tribune*, March 9, 1921, p. 8.

⁸⁷ "Divorced Wife Sues N. Baatz," *Great Falls Tribune*, October 4, 1922, p. 5.

⁸⁸ "Baatz Building Sale Asked To Pay Mortgage," *Great Falls Tribune*, September 24, 1925, p. 7; "Baatz Block Ordered Sold on Judgment," *Great Falls Tribune*, December 9, 1925, p. 11.

⁸⁹ "Baatz Building Sale Asked To Pay Mortgage," *Great Falls Tribune*, September 24, 1925, p. 7.

⁹⁰ "Victoria Hotel Is Purchased By Mrs. Bliss," *Great Falls Tribune*, March 31, 1946, p. 9; "Mellon Pays \$50,000 for Baatz Block," *Great Falls Tribune*, February 28, 1946, p. 7.

⁹¹ As an example of the less sensational reporting of Baatz Block activities, a potentially catastrophic event regarding boiling stew in May of 1944, resulted in hallways filled with smoke and the arrival of the fire

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chambermaids, help wanted, room availability, or generally the usual type of complaints geared toward businesses garnered the headlines and stories, falling short of the colorful and character-filled stories of earlier decades. The building eventually passed to Seldon and Martha Williams; after Mr. William's passing, Ms. Williams managed the property until around 1974.⁹²

In 2021, NeighborWorks Great Falls, in partnership with Homeword of Missoula, were awarded low income housing tax credits for the renovation of the Baatz Block into apartments. Similar to its historic use, the ground floor of the building will once again host business/managerial-related offices while the upper floors house tenants.

Although many of the most interesting years of the Baatz Block surround the ownership of the building by the Baatz, the building's period of significance extends to 1974, fifty years before present, reflecting its important role outside of the building's checkered past, acknowledging its decades long significance associated with housing in the downtown Great Falls area and its role hosting a variety number of businesses throughout its existence.

Architectural Significance:

The Baatz Block represents a sound example of a two-part Western Commercial style building, a style popular in the late nineteenth and early twentieth century, and commonly found in most western commercial districts, appearing in large and small towns alike. The style displays a simple storefront presentation and symmetrical upper façade with a variety of ornamental details.

Two-part commercial blocks exemplify one of the most common forms for small to moderate sized commercial buildings in the United States. They display a rectangular floorplan, often of great length, feature one to four stories, and can be free-standing or attached. The exterior's horizontal separation allows discerning differences in interior use. Multi-story buildings generally housed stores in the lower floor with the upper stories dedicated to office space, lodging accommodations, or meeting rooms, a model illustrated by the Baatz Block. Storefronts often display central recessed entries flanked by large plate glass windows and transom lights across the entrance and display windows light the interior. Symmetrical window openings dominate upper façade walls and integrate different elements to accent the window treatments or create horizontal patterns.⁹³ The construction of two-part commercial blocks often utilized durable materials including concrete, limestone, or brick.

department. Luckily, little damage occurred and the article concluded with, "the stew was a total loss." "Pot of Stew Boils Over, Fire Department Called," *Great Falls Tribune*, August 20, 1944, p. 12.

⁹² "Deaths and funerals, Martha Williams," *Great Falls Tribune*, July 9, 1981, p. 12.

⁹³ The discussion on the western commercial architectural style is drawn primarily from two historic architectural contexts: Mary McCormick, *Downtown Bismarck Historic District National Register of Historic Places Nomination*, 2000, on file, North Dakota State Historic Preservation Office, Bismarck, ND; also City of Pine Island, Minnesota "Survey of Historic Buildings: Historic Context" at http://cc.pineislandmn.com/downloads/survey_of_historic_buildingshistoric_context.doc.

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The Baatz Block exhibits a number of details associated with the Western Commercial Style and two-part block construction including the storefront organization and symmetrical upper façade, long rectangular plan, and flat or gently sloping roofs hidden by a parapet or pediment.

Specifically:

- Symmetry: The primary façade of the building facing 2nd Avenue displays bilateral symmetry relative to the center line of the façade. The center of the façade is defined by pilasters as are both corners. The windows display a symmetrical order within the bays defined by the pilasters. The floor plan is generally symmetrical above the ground floor, with a central hallway running from the upper floor lobbies to the alley (north to south).
- Elevations: The brick building sports three stories and the main façade on 2nd Avenue and the secondary façade on 4th Street are ordered by pilasters expressed in the brick construction defining two bays on 2nd and six bays on 4th. A recessed entry remains but presently covered by plywood.
- Flat roofs: Most common in commercial examples, the Baatz Block features a “flat” (low-slope) roof, with a minimal slop for drainage from 2nd Avenue to the alley and a beautiful parapet.
- Restrained decorative elements: The Baatz Block features decorative elements expressed by the use of contrasting brick colors and patterns, full height pilasters that display two ornamental geometric inlays of dark red brick in the upper stories, the north and west elevation multi-course parapet of red stretcher brick and cut stone, handsome beltcourse, dentilling below the beltcourse, an inset panel of red brick highlighted by a motif of alternating light brick “T”s, every other one inverted, and the presentation of the building name and date on the primary façade on 2nd Avenue.

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Previous documentation on file (NPS):

☐ preliminary determination of individual listing (36 CFR 67) has been requested
☐ previously listed in the National Register
☐ previously determined eligible by the National Register
☐ designated a National Historic Landmark
☐ recorded by Historic American Buildings Survey # _____
☐ recorded by Historic American Engineering Record # _____
☐ recorded by Historic American Landscape Survey # _____

Primary location of additional data:

☐ State Historic Preservation Office
☒ Other State agency: Montana Historical Society, Library and Archives
☐ Federal agency
☒ Local government: City of Great Falls Historic Preservation Office
☐ University
☐ Other
Name of repository: _____

Historic Resources Survey Number (if assigned): _____

10. Geographical Data

Acres of Property 0.172 Acres

Use either the UTM system or latitude/longitude coordinates

Latitude/Longitude Coordinates

Datum if other than WGS84: _____

(enter coordinates to 6 decimal places)

1. Latitude: 47.502830	Longitude: -111.300620
2. Latitude:	Longitude:
3. Latitude:	Longitude:
4. Latitude:	Longitude:

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Verbal Boundary Description (Describe the boundaries of the property.)

Lot 1, Block 414, Town or Townsite of Great Falls, Cascade County, Montana, per the official map or plat thereof on file and of record in the office of the Clerk and Recorder of said County.

Boundary Justification (Explain why the boundaries were selected.)

The boundary encompasses the whole of the Baatz Block building and the land upon which it stands. The building covers the entire property except for a two-and-a-half-foot strip on the southern 110 feet of the east side property line. The boundary includes all of the building and that small strip of unoccupied land called out in the associated deed for the property.

11. Form Prepared By

name/title: Julie M. Stiteler, Project Manager
organization: Homeward, Inc.
street & number: 1535 Liberty Lane, Suite 116A
city or town: Missoula state: MT zip code: 59808
e-mail julie@homeward.org
telephone: (406) 532-4663, ext. 19; cell: (406) 531-1544
date: 8/11/2023

and

name/title: John Boughton
organization: Montana Historic Preservation Office
street & number: 225 North Roberts Street
city or town: Helena state: MT zip code: 59620
e-mail jboughton@mt.gov
telephone: (406) 444-3647
date: 9/20/2023

Additional Documentation

Submit the following items with the completed form:

- **Maps:** A USGS map or equivalent (7.5 or 15 minute series) indicating the property's location.

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- **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to this map.
- **Additional items:** (Check with the SHPO, TPO, or FPO for any additional items.)

Photographs

Photo Log

Name of Property: Baatz Block

City or Vicinity: Great Falls

County: Cascade

State: Montana

Photographer: Julie M. Stiteler, unless otherwise noted

Date Photographed: as noted

Description of Photograph(s) and number, include description of view indicating direction of camera:

See Below

Paperwork Reduction Act Statement: This information is being collected for nominations to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 460 et seq.). We may not conduct or sponsor and you are not required to respond to a collection of information unless it displays a currently valid OMB control number.

Estimated Burden Statement: Public reporting burden for each response using this form is estimated to be between the Tier 1 and Tier 4 levels with the estimate of the time for each tier as follows:

Tier 1 – 60-100 hours
Tier 2 – 120 hours
Tier 3 – 230 hours
Tier 4 – 280 hours

The above estimates include time for reviewing instructions, gathering and maintaining data, and preparing and transmitting nominations. Send comments regarding these estimates or any other aspect of the requirement(s) to the Service Information Collection Clearance Officer, National Park Service, 1201 Oakridge Drive Fort Collins, CO 80525.

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Maps



● ——— ● = 850 feet

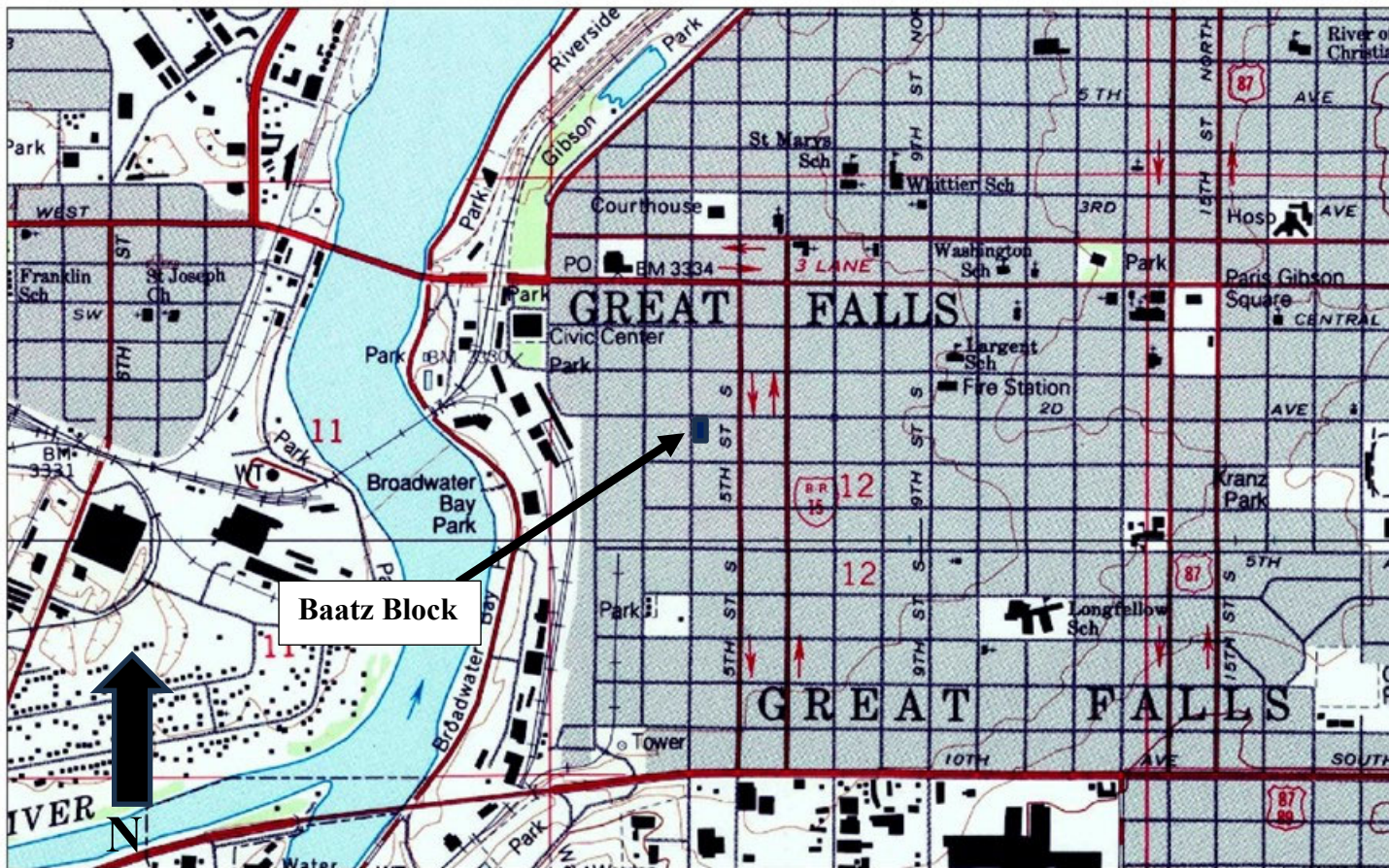
Montana State Library - Digital Library
(406) 444-5354 | geoinfo@mt.gov | <http://msl.mt.gov>

Map created using the Digital Atlas September 13, 2023
<http://msl.mt.gov/GIS/Atlas>

Location of the Baatz Block. Found on the Northwest Great Falls 7.5' Quadrangle Map, T20N R3E Section 12. Center point = Latitude: 47.502830 Longitude: -111.300620.

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● — ● = 850 feet

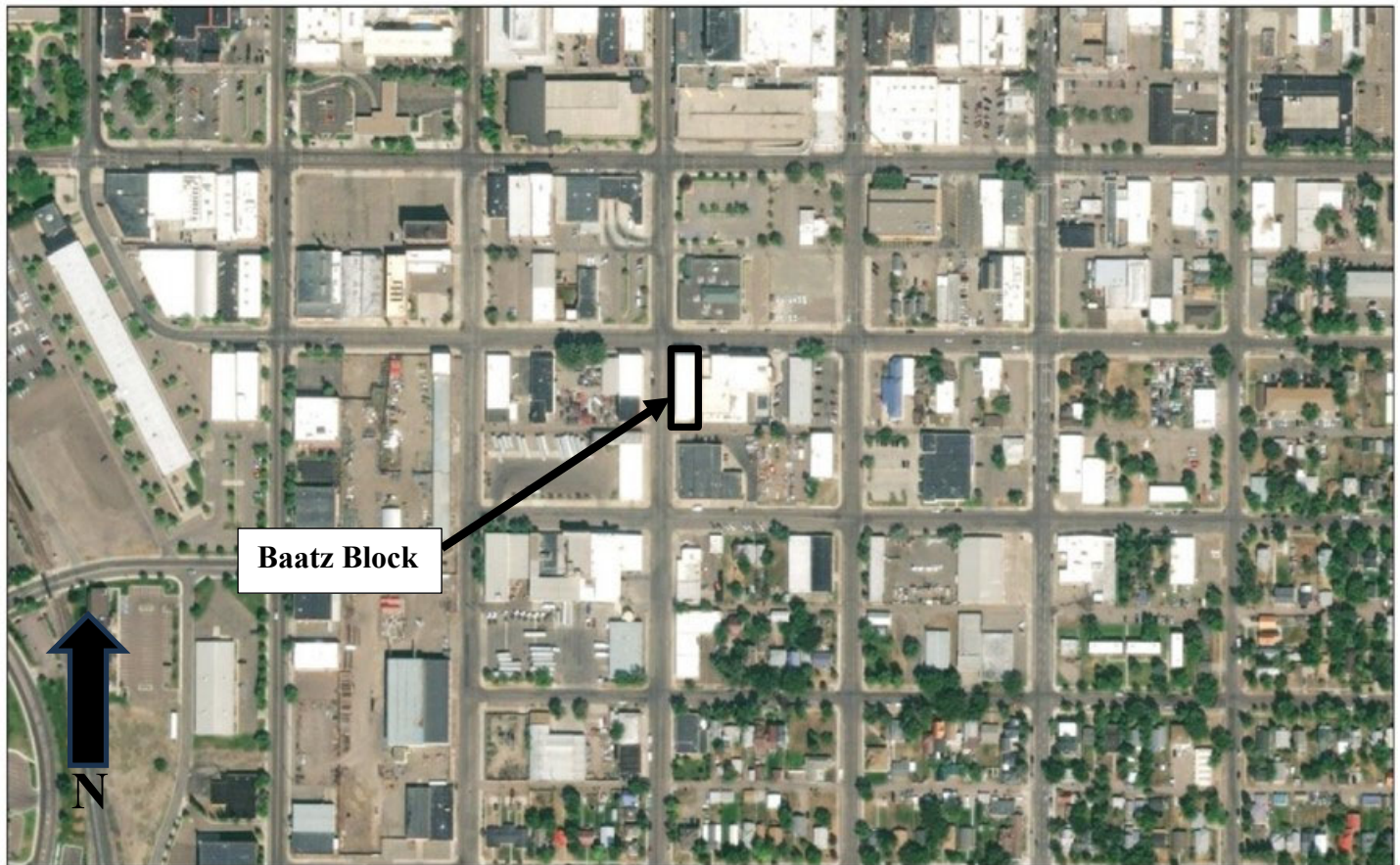
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Map created using the Digital Atlas September 13, 2023
http://msl.mt.gov/GIS/Atlas

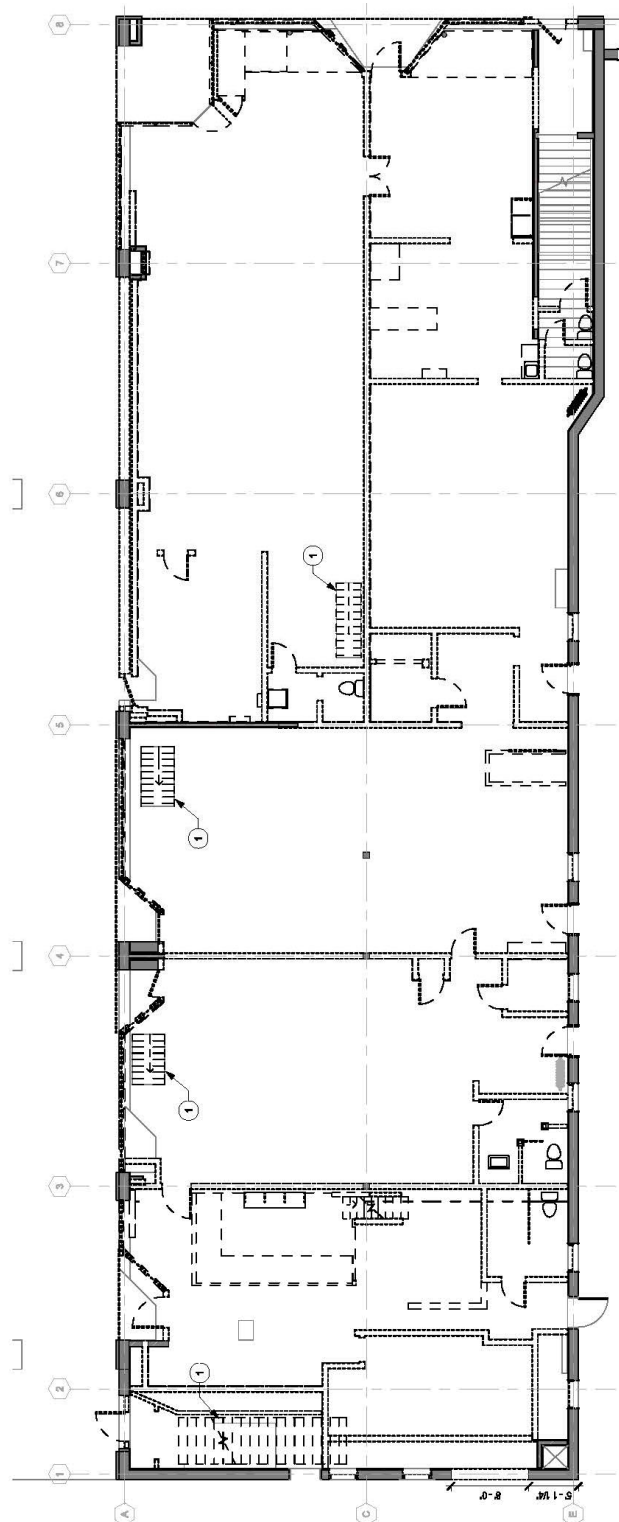
● ————— ● = 850 feet

Aerial view of the location of the Baatz Block. Found on the Northwest Great Falls 7.5' Quadrangle Map, T20N R3E Section 12. Center point = Latitude: 47.502830 Longitude: -111.300620.

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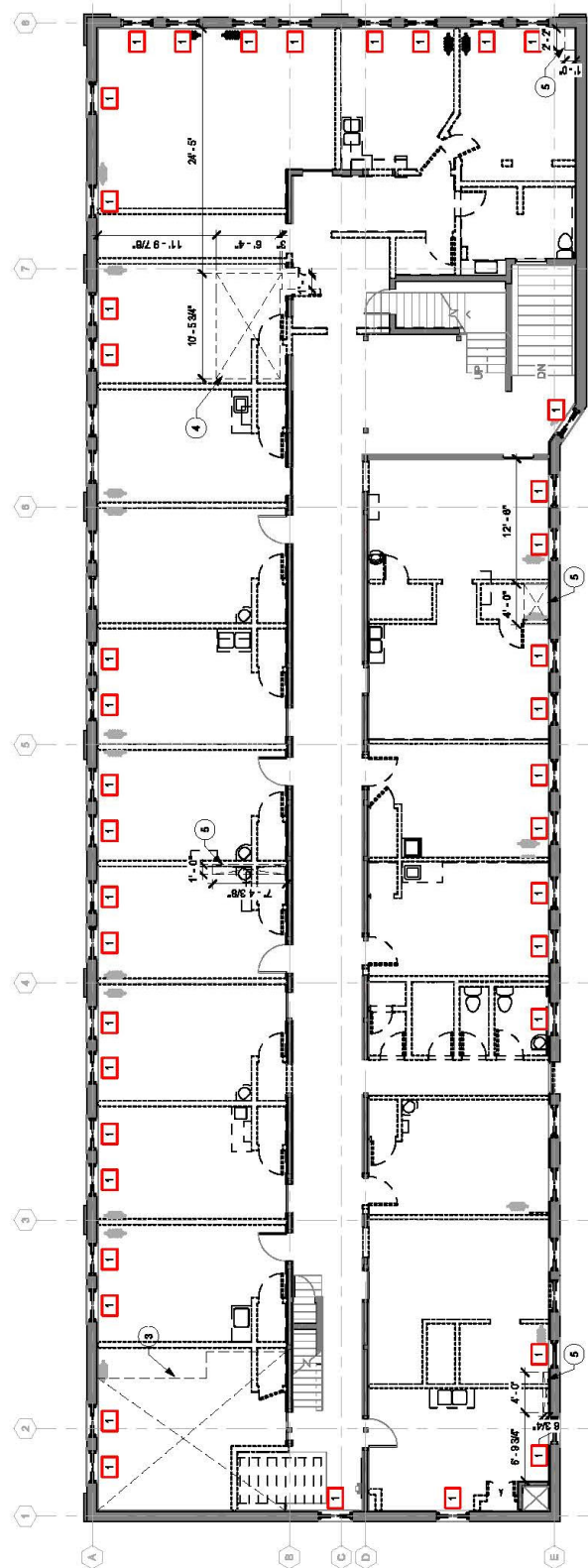
Floorplans



Baatz Block, First Floor Floorplan

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Baatz Block, Second Floor Floorplan

Name of Property

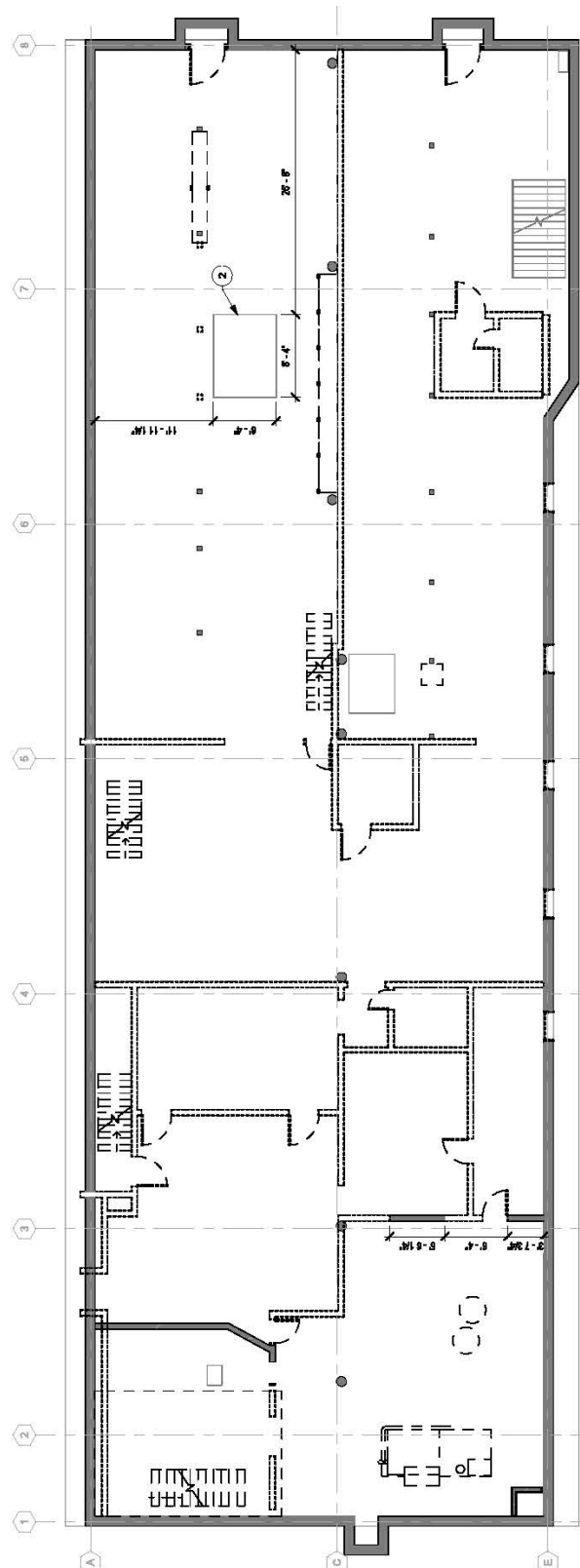
County and State



Baatz Block, Third Floor Floorplan

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Name of Property

Cascade County, MT
County and State



Baatz Block, Basement Floorplan

Baatz Block
Name of Property

Cascade County, MT
County and State

Historic Images



Historic Photo provided by Montana Historical Society, Kessler Family Photo Collection, dated between 1914-1923, unknown photographer, view looking southeast.

Baatz Block
Name of Property

Cascade County, MT
County and State



East Façade prior to construction of adjacent building, June 2009, looking west southwest, photographer: unknown, archived Google Streetview screen capture (only known source for photos of now obscured east elevation).

Baatz Block
Name of Property

Cascade County, MT
County and State

National Register Photographs

Name of Property: Baatz Block

City or Vicinity: Great Falls

County: Cascade

State: Montana

Photographer: Julie M. Stiteler, BSPARK Architecture, Keith Nelson, Katie Batterbee,
Heather McMilin (noted below)
unless otherwise noted

Date Photographed: as noted below

Description of Photograph(s) and number, include description of view indicating direction of camera:



MT_CascadeCounty_BaatzBlock_0001: Primary Façade on Second Avenue South, facing south, September 16, 2022, photographer: Julie M. Stiteler.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0002: Corner of Second Avenue South and 4th Street South, Primary and Secondary Facades, looking east southeast, March 22, 2021, photographer: Julie M. Stiteler.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0003: Secondary Façade on 4th Street South, looking east northeast, July 1, 2021, photographer: Katie Batterbee.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0004: Corner of alley and 4th Street South, looking east-northeast, March 22, 2021, photographer: Julie M. Stiteler.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0005: Alley Façade, looking north northeast, July 1, 2021, photographer: Julie M. Stiteler.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0006: Alley Façade partial, showing water intrusion damage on brick veneer, looking north, July 1, 2021, photographer: Julie M. Stiteler.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0007: East Façade partial, showing obstruction by adjacent building, looking north northwest, June 7, 2022, photographer: BSPARK Architecture.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0008: East Façade partial, showing diagonal setback, looking west, June 7, 2022, photographer: BSPARK Architecture.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0009 East Façade partial, looking south southwest, June 7, 2022, photographer: BSPARK Architecture.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0010: North and West Façades prior boarding of windows, looking south southeast, date unknown, photographer: unknown, archived Realtor.com photo (only known source of existing ground floor facades prior to boarding up).

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0011: Ground Floor, showing pressed tin ceiling, west side, looking south, July 1, 2021, photographer: Katie Batterbee.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0012: Ground Floor, 4th bay, looking west, June 20, 2023, photographer: Julie M. Stiteler.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0013 Basement, looking east southeast, July 1, 2021, photographer: Katie Batterbee.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0014: Basement, looking north, August 2, 2023, photographer: Keith Nelson.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0015: Enclosed northeast stair, ground floor looking up to 2nd floor, July 1, 2021, looking south, photographer: Katie Batterbee.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0016: Open northeast stair and 2nd floor lobby, 2nd floor, looking northeast, July 1, 2021, photographer: Katie Batterbee.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0017: Open northeast stair left, looking down on stair from street, 2nd floor, looking north, July 1, 2021, photographer: Julie M. Stiteler.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0018: Open northeast stair detail, 2nd floor, looking north northwest, March 22, 2021, photographer: Julie M. Stiteler.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0019: Hallway, 2nd floor, looking south, July 1, 2021, photographer: Katie Batterbee.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0020: 2nd floor, typical hotel room with original wood windows, non-historic paint on windows and trim, looking east, March 22, 2021, photographer: Julie M. Stiteler.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0021: 2nd floor, random non-historic remodel of north rooms, looking northeast, March 22, 2021, photographer: Julie M. Stiteler.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0022: 2nd floor, non-historic remodel of north rooms including non-historic dropped ceiling, with original stained window trim, looking northwest, July 1, 2021, photographer: Julie M. Stiteler.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0023: 2nd floor, original enclosed southwest stair from ground floor exterior entry to 2nd floor, looking west, March 22, 2021, photographer: Julie M. Stiteler.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0024: Original open southwest stair, 2nd floor to 3rd floor, looking south, July 1, 2021, photographer: Katie Batterbee.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0025: 3rd floor hallway with top of original open stair in foreground showing original door locations and stained wood trim and base, original wood floors, looking north, June 20, 2023, photographer: Julie M. Stiteler.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0026: 3rd floor, typical hotel room, showing original wood trim and base with non-original paint, original wood floors, looking east, July 1, 2021, photographer: Katie Batterbee.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0027: 3rd floor lobby with top of original open stair in foreground showing original door locations and stained wood trim and base, original wood floors, July 1, 2021, looking north, photographer: Katie Batterbee.

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0028: Original wood window detail, showing clear stain treatment on trim, looking northwest, September 11, 2022, photographer: Heather McMilin (Homeword).

Baatz Block
Name of Property

Cascade County, MT
County and State



MT_CascadeCounty_BaatzBlock_0029: Replacement vinyl sash detail, showing damaged trim, looking southeast, September 11, 2022, photographer: Heather McMilin (Homeword).

Baatz Block
Name of Property

Cascade County, MT
County and State

Paperwork Reduction Act Statement: This information is being collected for nominations to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 460 et seq.). We may not conduct or sponsor and you are not required to respond to a collection of information unless it displays a currently valid OMB control number.

Estimated Burden Statement: Public reporting burden for each response using this form is estimated to be between the Tier 1 and Tier 4 levels with the estimate of the time for each tier as follows:

Tier 1 – 60-100 hours
Tier 2 – 120 hours
Tier 3 – 230 hours
Tier 4 – 280 hours

The above estimates include time for reviewing instructions, gathering and maintaining data, and preparing and transmitting nominations. Send comments regarding these estimates or any other aspect of the requirement(s) to the Service Information Collection Clearance Officer, National Park Service, 1201 Oakridge Drive Fort Collins, CO 80525.

Date

John Boughton, National Register Coordinator
Montana State Historic Preservation Office
1301 E. Lockey
P.O. Box 201202
Helena, MT 59620

Dear Mr. Boughton,

This will confirm that I am fully aware of the effects of listing a property in the National Register of Historic Places. I recognize that, under the National Historic Preservation Act, I am entitled to comment on the proposed listings of properties within my jurisdiction.

Following are the proposed listings:

Baatz Block (400-402 2nd Avenue South) in Great Falls

(Name of the Historic Property)

- ☐ On behalf of my jurisdiction, I support the proposed listing.
- ☐ On behalf of my jurisdiction, I object to the proposed listing.
- ☐ On behalf of my jurisdiction, I hereby waive my right to comment on the proposed listing.

Sincerely,

Official's Signature

Printed Name and Title

Date

Address

City

State

Zip

Date

Great Falls/Cascade County
Historic Preservation Advisory Commission (HPAC)
Program Goals & Objectives for Calendar Year 2024
Approved:

Mission Statement

The purpose of the Great Falls/Cascade County Historic Preservation Advisory Commission is to provide leadership in the preservation of cultural, historic, and prehistoric sites, structures, buildings and districts within the City and County.

To achieve our mission, HPAC, in conjunction with the Historic Preservation Officer, will work towards the following goals and objectives in calendar year 2024.

Identify, evaluate and protect significant historic buildings, pre-historic sites, and districts that contribute to the historic fabric, cultural diversity, visual character and economic vitality of the City and Cascade County through the following actions:

1. Seek funding to stabilize the Boston and Montana Barn using the Structural Assessment completed in 2023 to guide recommendations, and work with the City Park and Recreation Department to implement stabilization. ~~Complete the Boston and Montana Barn Structural Assessment contract with Cushing Terrell and work with the City Park and Recreation Department to implement the Assessment's recommendations.~~
2. Continue to monitor ~~potential~~ threats to the Great Falls Portage National Historic Landmark (NHL) and the related Lewis & Clark National Historic Trail. Collaborate with local, state, and federal partners to preserve these resources and enhance interpretive facilities.
3. Develop a priority list for potential National Register sites/districts, including historic residences, apartment buildings, schools, industrial buildings, military history sites, and others.
4. Encourage ~~the School District~~ local government to comply with standards and guidelines for preservation best practices as determined by the Secretary of the Interior.
5. Continue to maintain the Vinegar Jones Cabin and share its story with the public. Implement the Memorandum of Understanding developed between HPAC and the City's Parks & Recreation Department.
6. Continue preservation efforts with the Monarch-Neihart Historical Group, Inc. to build on the success of the Monarch Depot being listed on the National Register of Historic Places.
7. Monitor and assist with projects in Sun River Valley and continue to work with the Sun River Valley Historical Society (SRVHS) to preserve the Fort Shaw Historic District. Monitor and assist preservation of the J.C. Adams Stone Barn.
8. Continue to promote and support the preservation of the National Historic Landmark First Peoples Buffalo Jump.
9. Continue the collaboration with the Black Eagle community regarding the Smelter Hill site and its potential to become a public recreation area.

10. Collaborate and foster partnerships with Fort Benton to enhance preservation efforts.
11. Establish and implement a local Great Falls/Cascade County Historic Property Register.
12. [Consult on the anticipated inclusion of a Historic Preservation Plan element in the 2025 Great Falls Growth Policy Update. Continue development of a comprehensive Historic Preservation Plan for Great Falls and Cascade County.](#)
13. Assist the Big Sky Country National Heritage Area board in their effort to create Montana's first National Heritage Area. Create a Memorandum of Understanding that outlines future cooperation between the ~~two entities~~ [HPAC and the Big Sky Country Heritage Area board.](#)
14. Work with developers to ensure restoration of the Rocky Mountain Building.
15. Work with Preservation Cascade, River's Edge Trail, and the City of Great Falls to complete the preservation of the 10th Street Bridge.
16. Assist the City of Great Falls in ~~the any future~~ [restoration work](#) of the Civic Center and provide logistical support, technical advice, and professional advocacy as needed.
17. Support Cascade County in exploring the adaptive re-use of the Cascade County Jail.

Participate in the process of nominating Historic Places according to the Montana State Regulations for Certified Local Governments. This includes reviewing and commenting on any National Register nominations within Cascade County, using the National Register of Historic Places criteria for designation of historic and prehistoric properties.

Educate by undertaking programs that foster public appreciation of, and civic pride in, the beauty of the community, respect for the accomplishments of the past and practical knowledge about both the economic and the aesthetic value of preservation.

1. Participate in, promote and conduct public informational, educational and interpretive programs pertaining to historic preservation.
2. Update the preservation information on the City's website with monthly updates and/or success stories. [Continue successful social media efforts publicizing historic preservation in the City and County.](#)
3. Maintain an inventory of identified historic districts, sites and/or structures within Cascade County and the City of Great Falls. Make this information available to the public by working towards making this information available electronically.
4. Prepare, update and/or reproduce the Historic District walking tour brochures as needed, including making them available electronically.
5. Render advice and guidance upon the request of property owners regarding the restoration, alteration, decoration, landscaping or maintenance of historic buildings, structures or sites.

6. Update the City's website to provide information for owners of property, buildings and structures of potential tax incentives and federal, state, and private grant sources that might be obtained to facilitate the preservation of historic resources.
7. Develop a preliminary set of design guidelines that are related to historic properties and facades.
8. Identify a potential brochure celebrating notable historic resources in Cascade County.
9. Increase the collaboration with other organizations, particularly [the Great Falls Montana Tourism Office](https://www.visitgreatfalls.org) ~~VisitGreatFalls.org~~, to promote historic resources through the greater usage of digital media platforms.

Cooperate with other agencies, offices and organizations with similar goals and **integrate** historic preservation into local, state and federal planning and decision making processes by:

1. Extending invitations to partnering agencies such as NeighborWorks, the [City](#) Planning and Community Development Department, Preservation Cascade, Inc., the Great Falls Museum Consortium, the Community Beautification Association, the Chamber of Commerce, the Business Improvement District (BID), the Downtown Great Falls Association (DGFA), the Belt Theatre, the Montana Community Foundation, the Sun River Valley Historical Society, the Monarch-Neihart Historical Group, the Montana Office of Tourism, [the History Museum](#), the Tourism Business Improvement District, the 341st Missile Wing Historian, and other organizations to make presentations at HPAC meetings regarding historic preservation issues of mutual interest.
2. Monitor opportunities for Technical Assistance Grants that are designed to provide architectural services promoting adaptive reuse of historic buildings.
3. Utilizing the Commission's permanent board membership, work with the Downtown Development Partnership to implement objectives of the Downtown Master Plan.
4. Maintain an active partnership with the Preserve America and Montana Main Street programs.
5. Consult with City, County, State, Federal, and tribal agencies, as required, on all applications, environmental assessments, environmental impact statements, and other documents pertaining to historic districts, sites, landmarks or properties.
6. Develop specific preservation policy and action program recommendations to be incorporated into the City's Land Development Code.
7. Work with the State, County and City to remain a viable Certified Local Government.

Motivate and Celebrate by conducting activities directed towards stimulating private and public investment in historic preservation and by recognizing and celebrating successes.

1. Plan and execute annual events during National Historic Preservation Month, including an annual awards reception to recognize worthy preservation projects and individuals for awards.
2. Track and publicize private and public restoration activities to increase community awareness of progress, including improvement of the city's web presence.

3. Identify a significant historic resource for the Official City of Great Falls, limited edition, Christmas ornament and plan for its production, promotion and marketing.



Boston and Montana Barn

Black Eagle, Montana

Existing Conditions Assessment

Recommendations for Stabilization and Protection

Jointly prepared by :

Cushing Terrell

TD&H Engineering

Contents

Section	Title
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2.0	Background
3.0	Existing Documentation
4.0	Existing Conditions and Character Defining Elements
5.0	Recommendations
6.0	Potential Construction Costs
7.0	Conclusion
8.0	Attachments Structural and Architectural drawings



1.0 Intent

The intent of this report is to review and assess the existing condition of the Boston and Montana Barn located in the current Anaconda Hills Golf Course; specifically to review imminent safety and/or degradation concerns and potential remediation solutions related to the structural infrastructure and the architectural envelope.

2.0 Background

The Boston and Montana Barn was built circa 1900 to house wagons, horses, and construction equipment for the Boston and Montana Company, which pre-dated the Anaconda Copper Mining Company smelting and refining operations. Construction of the “Big” stack began in 1908 and, in 1910, the properties of the Boston & Montana Company were acquired by the Anaconda Copper Mining Company.

The barn is a two-story, wood framed, gable-roofed structure built in a T-plan oriented north-south on the south end of the Anaconda Hills golf course. The barn has a sandstone foundation and is situated on a small rise that slopes down to the east and south. It is the only remaining industrial building on the former 450 acre ACM site.



3.0 Existing Documentation

No existing documentation of construction detail has been obtained, either in hard copy or digital format. As a result, all observations and estimated methods of replacement are dependent on the observable exterior condition of the building and on-site field verification and measurement. Design teams collaborated to ascertain the existing building dimensions and visually measure, quantify, and observe the existing conditions of the structure related to the intent of this document.

4.0 Existing Conditions



The existing building is a two-story T-shaped structure in plan with gable roof. Truss bearing elevation is approximately 20' above main floor level. Trusses in the north section appear to be stick-built common-style trusses. Construction of the roof in the southern section consists of larger heavy timber trusses with purlins spanning between them. Cupolas rest on the top of both the north and south sections. Top of roof is approximately 31'-9" above main floor, and the top of the cupolas sit approximately 37' above main floor.

Both floor levels are fully wood-framed with wood flooring. The main floor is framed over crawl space, accessible in the south half, but the north section is inaccessible and was unobserved at the time of this report. Foundation walls are sandstone construction, and carry the heavy timber frame for the floor structure. The second level is framed over heavy timber primary structure and is approximately 12'6" above main floor level.



All walls are 2x framed and faced with painted narrow wood lap siding. The roof itself is sheathed and finished with wood shakes. All doors and windows are constructed completely of wood. The exterior grounds are primarily gravel and grade is typically at main floor level.

4.1 Character Defining Materials and Features

Our position is that the following features, architectural marks, and features are considerably contributing to the history and architectural character of the building and care should be undertaken to preserve and/or restore as appropriate within the guidelines of the Secretary of the Interior :

4.11 Roof Cupolas. The three cupolas on the roof should be preserved in form, dimension, and materiality. Due to their condition, they will need to be rebuilt. We don't think that their use as air relief vents will need to be continued, but the louvers should be retained.

4.12 Wood Doors. All the wood doors should be preserved in their materiality and aesthetic materiality/method of construction. Due to their condition, they will need to be replumbed and likely re-hinged.

4.13 Heavy Timber Trusses on the South Section. These trusses and their supporting steel rods are in reasonably good shape and should be retained.

4.14 Narrow-plank wood siding. In heavily-weathered condition, the barn structure itself should attempt to preserve the narrow-plank wood siding, both in dimension and materiality.

4.15 Sandstone Foundation. If at all possible, we would recommend preserving the externally visible sandstone foundation. Where possible, reinforce the foundation internally as necessary to stabilize the structure.

4.16 Opening Locations and Dimensions. No windows are currently intact, but all existing openings and window/vent patterns should remain as part of the historical nature and use of the building.

4.17 Heavy Timber Framing, Main Floor. The heavy timber columns, beams, and kickers on main floor showcase the methods of construction and also the affect of time on the structure. Our recommendation would be to preserve all the heavy timber framing and attempt to augment that structure rather than replace it.

4.18 Wood Shake Roof. Doesn't really exist in its current condition; however, the wood shakes have been the roofing material since the building was erected.

4.2 Overall maintainability and safety of the building

Current condition of the building is in overall disrepair and is unsafe for occupation. Categorical review of each of the primary building systems are as follows :

4.21 Roof

The existing shake roofing is well past its useful life and is neither complete nor capable of weather-protecting the interior of the building. Roof sheathing is heavily weathered and weakened throughout. Stick-built trusses on the north section are broken and the bottom chords are completely sheared from the primary structure, allowing the walls to shift laterally. Hip-jacks are broken, allowing the roof to sag, especially under the weight of snow. These failures have resulted in substantial sag in the ridge of the north section.



Roof structure on the south section is relatively intact and in more serviceable condition. Lateral purlins are undersized, but in generally good working condition. No ridge exists currently. Rods that extend from the girder trusses to the floor system below are intact.

4.22 Exterior Walls, windows, doors

Exterior windows consist only of heavily weathered frames. Many of the headers have been dislodged or are broken, and their nailed connection points severed. As a result, the windows are collapsing. They don't currently keep the weather out of the building, and are open for potential rodent or avian access to the building.

Doors are wood and mounted on hinges. Most are no longer plumb and don't easily close. Wood is heavily weathered, dry, cracking, and no level of weatherstripping exists.



Exterior walls are failing. At the roof level, both the failure of the trusses on the north section as well as attempts to stabilize the structure have caused the walls to shift out of plumb heavily to the north. Much of the siding is intact, but checked in multiple areas and separating from the building.



Virtually all the corner trimboards as well as fascia boards are missing. As anticipated with a structure of this vintage, no weather barrier currently exists. Consequently, any weather events are absorbed by the sheathing boards at minimum and likely the framing as well.

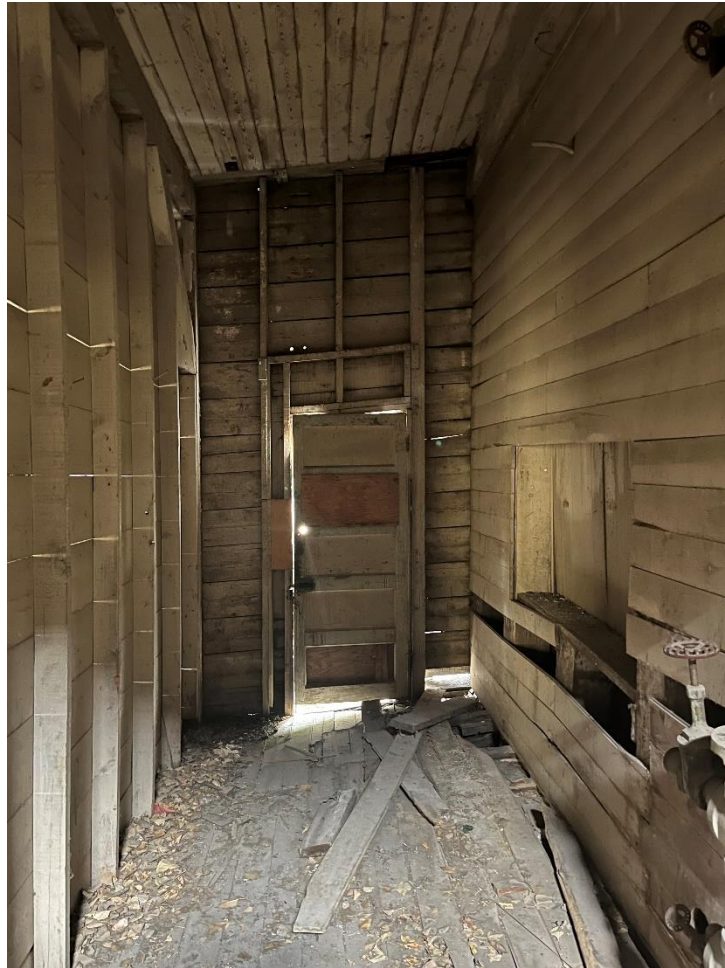
4.23 Primary Structure

Primary structure is a series of heavy timber columns and beams serving as intermediate bearing for the building. Sizing of these beams and columns are in general accordance with the loading anticipated; however, many of the columns are suffering from dry-rot, and some of them have separations at their connecting points. The original design for the second floor required two parallel rows of columns to support the roof structure. These are all currently absent, resulting in a dangerous structural situation on the northern section. The structure is in danger of collapse.



Building lateral systems at both the roof and the walls are impaired, rendering the building unable to resist wind or seismic forces acting on the building.

Internal stairwell is stable. Main floor level is not level, but apart from some holes and gaps in the flooring, is in relatively serviceable condition. The second level south section is covered with debris but is primarily stable. Floor in the north section is noticeably out of level, primarily at the north end of the building where the exterior walls have shifted out of plumb.



Foundations in the north section are mostly unobserved due to lack of access to below-floor areas. Foundations in the south section are accessible from openings in the wall along the southeastern corner of the building. Sandstone is weathered and the joints require maintenance, but the stone is in adequate condition.

5.0 Recommendations

Due to the various degradation of different systems in the building, and considering the amount of effort required to repair and/or stabilize the existing structure, the design team recommends the following strategy for mothballing the building to protect it against further damage. Attached are full schematic drawings for the below scope of work summary. The intent of these recommendations is to fully protect the existing architecture and materials from further degradation and is not intended to replace them.

5.1 Internal Shear Wall construction

First, the interior column grid in the north section must be rebuilt, infill framed with stud wall construction, and sheathed in order to create a central stabilizing core. This core is proposed to extend up to the truss bearing point so that it can successfully tie to the exterior walls and also anchor the roof itself. Secondly, this structural core will serve as a safe area from which to stage construction operations. Attached drawings indicate extent and preliminary design of this central stabilizing building core.

5.2 Stabilize the exterior walls

Following construction of the central stabilizing core, the exterior walls can be positioned more closely to plumb by anchoring them to the central core. This will ensure that subsequent envelope stabilizing strategies will succeed.

5.3 Set the north roof ridge elevation level

Once the exterior walls are plumb and the top plates are repaired as necessary, the roof can be stabilized by rebuilding the trusses and restoring a continuous, level ridge line at the roof. This will allow for resurfacing and weatherization of the roof assembly. It is our position that trying to weather-protect the structure without first setting the ridge level will compromise the weather-resistant properties and long term durability of any roofing system, and also make any future work such as permanent roofing much more difficult and costly.



5.4 Weatherprotect the Roof System

Strip the existing roofing, resheathe, and provide a weather resistant roofing material capable of enduring Montana weather conditions for the length of time needed until a more permanent roof solution can be installed. Options for a protective membrane include :

- 5.4.1 Synthetic Roofing Underlayment. Not Advised. These underlayments are typically stapled down, and while the material itself can sometimes prove

durable, the installation of synthetic underlayments is not intended to provide waterproof protection long term. Wind, hail, and snow can cause the system to fail if used independently.

- 5.4.2 Ice and Water Shield. Not Advised. Similar to the option in 5.4.1, these products are not intended to work independently as a primary defense against moisture intrusion. However, Ice and Water Shield, if installed appropriately, is more resilient than option 5.4.1.
- 5.4.3 Torch-down roll roofing. Installed properly, this system can wear extremely well, and also provide a base for over-shingling at a later date. Does require full manufacturer installation techniques to be followed throughout and not just reliant on nail-down fasteners. Could be a solid solution, but we recommend better benefit-to-cost solutions below.
- 5.4.4 Self-Adhered Waterproof Membrane. PolyStick TU P by PolyGlass or similar. Depending on timeframe requirements, this could be a lower budget option. Polystick TU P carries an extended exposure time of up to 36 months and is a flexible solution that can handle some shifting in the building structure. *This pricing is included in the cost estimate.*
- 5.4.5 30-mil sheet membrane roof, mechanically attached. Not advised due to cost of material and the (non) wind-resistance of the building. If mechanically attached, the membrane can handle flex in the building and still maintain weather-tightness. The material will need to be firmly adhered along all edges and joints, and drip flashing installed around the entire perimeter to keep the wind from trying to separate the membrane from the structure. Critical to ensure that the new sheathing is tight – since the building itself isn’t necessarily air-tight, wind and air pressure from inside the building could potentially cause fastener tear in the membrane.
- 5.4.6 30-year composite shingles. The preferred solution is to treat the edges and valleys of the roof with ice/water shield and cover the rest with synthetic underlayment. Install Style-D drip edge at the perimeter of the roof and fully install new shingled roof. While the preservation of the building fully may require wood shake installation, the pricepoint, flexibility and durability of composite shingle systems for the near future would be our preferred solution for preserving the building interior. *This pricing is not included in the cost estimate and would be an upgraded approach to protecting the roof and building from moisture penetration for a longer period of time.*

5.5 Seal the windows and doors

Windows can then be framed over, **protecting** the existing original window frames, trim, and other defining elements, while still allowing for protection from the elements, rodent and avian penetration. Doors shall all be closed and screwed shut to prevent leaking and/or intrusion. One door to remain operational for maintenance purposes only. We recommend this approach over trying to board up the window openings from the interior due to the lack of plumb/level conditions in the building and also because keeping water and snow out of the building will be difficult to accomplish unless handled from the exterior.

5.6 Seal the foundation wall openings

The building now stabilized, openings in the foundation wall should be enclosed with materials capable of handling contact with the ground, but fully sealed to limit rodent intrusion into the building. An access door shall be installed for maintenance purposes only.

5.7 Protect the exterior

Lap siding boards to be removed from the building, stored and marked in a safe place for future re-use/re-installation and the structure wrapped with weather barrier, secured per manufacturer's instructions for long term exposure, with all seams lapped for positive drainage and seam tape applied.

6.0 Potential Construction Costs

See attached cost exhibit for opinion of probable costs relative to the scope of work outlined in item 5 above. The Cost exhibits represent all the work indicated above – where funds are limited, measures to stabilize the core, strengthen the roof, and weather-protect the roof are of primary priority.

7.0 Conclusion

The Barn structure currently located at the Anaconda Hills Golf Course, in its current state, can be salvaged and preserved, both for use and for its inherent historic value. For it to be preserved, the structure must be stabilized to prevent further movement and weatherized to prevent further degradation of the critical structural systems.



Structural Stabilization Opinion of Probable Cost

NOTE: Data from 2021 RSMean has been adjusted for a total 12.9% inflation. Bare values are RSMean 2021 listed values, inflation is accounted for in the respective O&P columns. Material and equipment O&P costs include 10% profit, labor O&P includes cost of labor burden and 10% profit. Labor burden is an estimate from back calculations. **This estimate is for the temporary shoring and stabilization of the structure only. This estimate does not include any costs for permanent structural rehabilitation and retrofitting.**

Section #	Section Description	Task #	Task Description	Unit Type	Unit Total	Bare Material	Material O&P	Bare Labor	Labor O&P	Unit O&P	Total O&P	Source	Notes
01 52	Field Offices and Sheds: Offices and Storage Space	13.20 0550	50x12 storage trailer (rent)	month	4					\$540.00	\$2,160.00	RSMean Online	Estimated duration of repairs
01 54	Construction Aids: Equipment Rental	33.40 2200	10kW gas generator	month	4					\$895.00	\$3,580.00	RSMean Online	Estimated duration of repairs
		33.60 3150	40 ton telehandler	month	4					\$10,527.00	\$42,108.00	RSMean Online	Estimated duration of repairs
01 56	Temporary Barricades: Temporary Fencing	26.50 0200	Rented 6' high > 1000' up to 12 months	LF	650					\$5.68	\$3,692.00	RSMean Online	
02 43	Building Relocation	13.13 0040	Wood Frame Bldg.	SF	4000					\$17.06	\$68,240.00	RSMean Online	Temporary building shoring
		05.10 3160	Beams 10"x12"	LF	300	\$0.00		\$9.85	\$16.57	\$16.57	\$4,970.93	2021 RSMean	
		05.10 4280	Joists, 2"x12"	LF	250			\$0.81	\$1.36	\$1.36	\$340.65	2021 RSMean	
		05.10 5480	Posts, 8"x8"	LF	84			\$2.37	\$3.99	\$3.99	\$334.89	2021 RSMean	Initial estimate: 7 posts @12'
06 05	Selective Demo Wood Framing	05.10 5688	Rafters, 2x6 @ 24" OC	SF	200			\$0.64	\$1.08	\$1.08	\$215.32	2021 RSMean	
		05.10 6056	2x6 Rafter tie	LF	680			\$0.73	\$1.23	\$1.23	\$835.05	2021 RSMean	
		05.10 6096	Board sheathing from roof	SF	5200			\$0.51	\$0.86	\$0.86	\$4,461.22	2021 RSMean	
		05.10 6159	Subfloor/roof deck, w/ tongue and groove boards	SF	450			\$0.36	\$0.61	\$0.61	\$272.52	2021 RSMean	
		05.10 6740	Wall Framing Inc. Studs, Plates, Blocking, 2x6	SF	360			\$0.74	\$1.24	\$1.24	\$448.14	2021 RSMean	
		10.02 2625	Wood Blocking, 2x4, Pneumatic Nailing	MBF	1.82	\$1,050.00	\$1,304.00	\$2,075.00	\$3,490.59	\$4,794.58	\$8,726.14	2021 RSMean	
		10.18 2765	Joist Framing, 2x14, Pneumatic Nailing	MBF	2	\$1,525.00	\$1,893.90	\$425.00	\$714.94	\$2,608.84	\$5,217.67	2021 RSMean	
		10.26 1205	Partitions, 2x6x12, 16" OC	LF	500	\$12.90	\$16.02	\$10.40	\$17.49	\$33.52	\$16,757.75	2021 RSMean	
06 11	Wood Framing	10.30 7000	Roof Framing, Rafters, 2x6, <4:12 Pitch	MBF	0.4	\$1,075.00	\$1,335.04	\$875.00	\$1,913.51	\$3,248.56	\$1,299.42	2021 RSMean	Steep slope addition included in labor O&P
		10.30 7300	Hip and Valley Rafters, 2x6	MBF	0.07	\$1,075.00	\$1,335.04	\$1,150.00	\$2,514.90	\$3,849.95	\$269.50	2021 RSMean	Steep slope addition included in labor O&P
		10.30 7540	Jack Rafters, 2x6	MBF	0.3	\$1,075.00	\$1,335.04	\$1,450.00	\$3,170.97	\$4,506.01	\$1,351.80	2021 RSMean	Steep slope addition included in labor O&P
		10.30 7780	Steep Slope Addition	30%					\$0.00		\$0.00	2021 RSMean	
06 13	Heavy Timber Construction	23.10 0100	Beams, 8x16	MBF	2.1					\$2,927.55	\$6,147.86	RSMean Online	
		23.10 0400	Columns, Structural Grade, 8x8	MBF	1.65					\$7,143.00	\$11,785.95	RSMean Online	
		23.10 0900	Floor Planks, 2"x10"	MBF	0.9					\$5,647.95	\$5,083.16	RSMean Online	
06 16	Sheathing	36.10 4605	5/8 Roof OSB, Pneumatic Nailing	SF	5000	\$1.05	\$1.30	\$0.67	\$1.47	\$2.77	\$13,846.00	2021 RSMean	Steep slope addition included in labor O&P
		36.10 4615	7/16 Wall OSB, Pneumatic Nailing	SF	6000	\$0.41	\$0.51	\$0.59	\$0.99	\$1.50	\$9,010.10	2021 RSMean	
											O&P total \$211,154.06		

Permit			
Base permit	Additional fee	Total Permit	Commercial plan review
\$1,091.02	\$710.27	\$1,801.29	\$1,170.84
Project Estimate			
10% Contingency	\$21,115.41	Total Estimate:	\$235,241.60

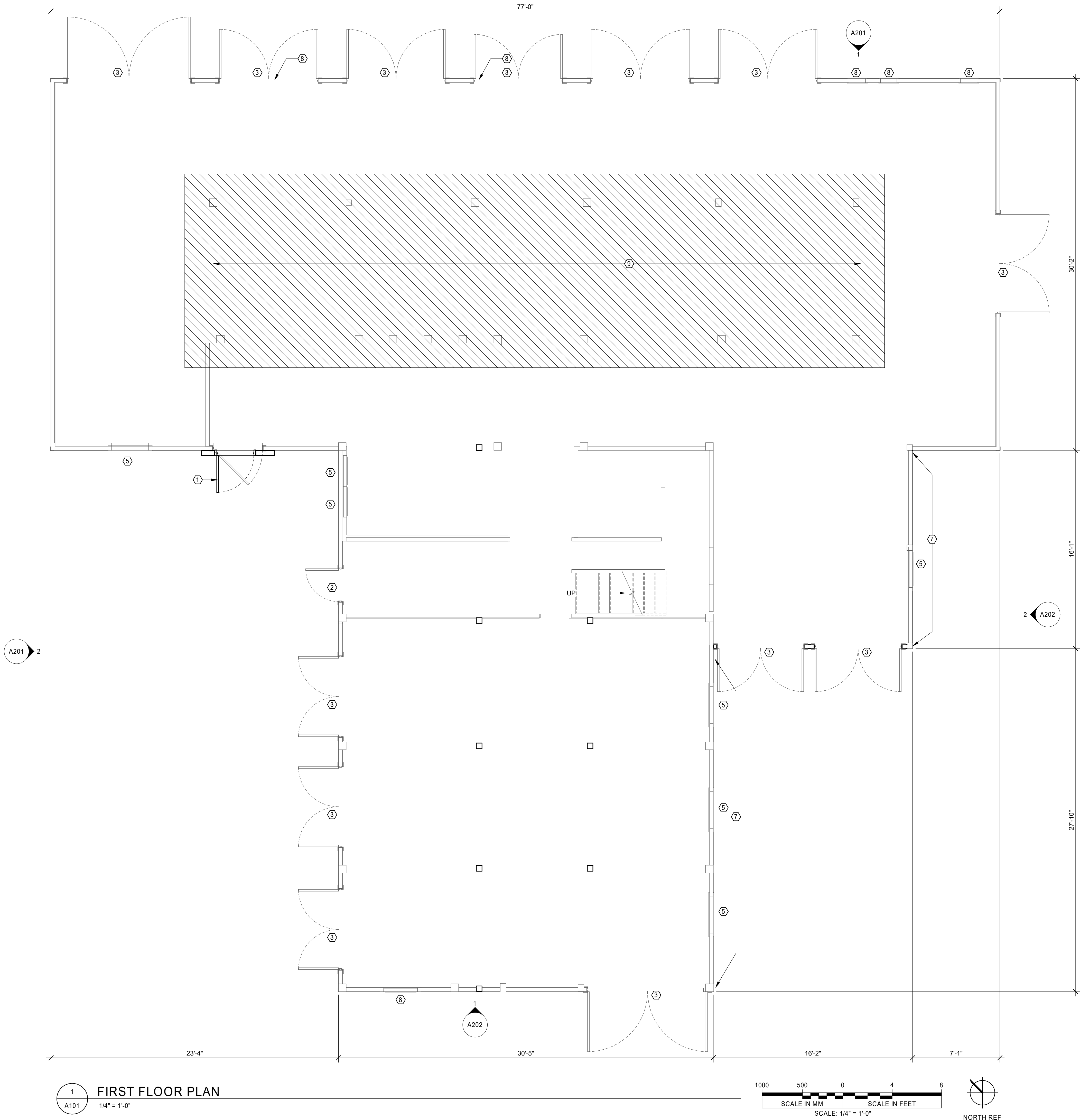
Architectural and Weatherization Opinion of Probable Cost

Cushing Terrell - Cost Estimating System

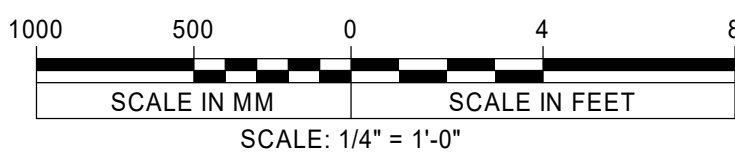
Project Name	Boston Barn	Project Number	CITYGFCC
Project Description:		Billing Group	BARN
		Building Area	1
		Perimeter	0
		Construction Months	5
		Bid ENR Index	8642
Estimate based on bid date of: 12/1/2023		Estimate Date	4/12/2023

Division	Description	Material Total	Labor Total	Extended Total	Cost/SF	% Total
06	Wood, Plastics, and Composites	23,274	15,159	38,433	\$38,433	36%
07	Thermal and Moisture Protection	27,976	26,774	54,749	\$54,749	52%
08	Openings	10,828	1,636	12,465	\$12,465	12%
	Subtotal	62,078	43,569	105,647		
	General Contractor's Markup @ 12%	7,449	5,228	12,678		12%
	Construction Total	69,527	48,797	118,325	\$118,325	
	General Conditions	11%	0	11,621		
	scope inclusion	10%	0	10,565		
	Prevailing Wages, 1% GRT, Bonding	5%	0	5,282		
	Project Cost Subtotal	69,527	48,797	145,793		
	Contingency @ 10%			11,832		
	Total Project Cost	69,527	48,797	157,625	\$157,625	

Item Number	Description	Qty	Unit	Material	Material Total	Labor	Labor Total	Unit	Total
Division 06	Wood, Plastics, and Composites								
061110240010	MISCELLANEOUS FRAMING								
5005	Wood framing, miscellaneous, nailers, treated, wood construction, 2" x 4", pneumatic nailed	5,400	L.F.	1.78	9,608	1.39	7,533	3	17,141
400010	WALL FRAMING								
0370	Wall framing, window buck, king studs, jack studs, rough sill, cripples, header and accessories, 2" x 6" wall, 6' wide, 8' high	5	Ea.	217.96	1,090	24.71	124	243	1,213
	Total Spec 1110				10,698		7,656		18,354
1636100010	SHEATHING								
0705	Sheathing, plywood on walls, CDX, 5/8" thick, pneumatic nailed	3,000	S.F.	1.83	5,493	0.96	2,889	3	8,381
	Total Spec 1636				5,493		2,889		8,381
	Division 06 Subtotal				16,191		10,545		26,736
	Remote factor @ 15%				2,429		1,582		4,010
	Subtotal				18,619		12,127		30,746
	Size factor @ 25%				4,655		3,032		7,687
	Subtotal				23,274		15,159		38,433
Division 07	Thermal and Moisture Protection								
072510100010	WEATHER BARRIERS								
3000	Weather barriers, building paper, spun bonded polyethylene	3,000	S.F.	0.21	618	0.27	813	0	1,430
	Total Spec 2510				618		813		1,430
3113100010	ASPHALT ROOF SHINGLES								
0850	36 month exposure rubberized asphalt underlayment	62	Sq.	270.35	16,762	251.83	15,613	522	32,375
	Total Spec 3113				16,762		15,613		32,375
4213300010	STEEL SIDING								
1001	Steel siding, colored, corrugated or ribbed, on steel frame, 10 year finish, 24 gauge, incl. fasteners	140	S.F.	3.38	473	2.09	293	5	766
	Total Spec 4213				473		293		766
4646100010	FIBER CEMENT SIDING								
0210	Fiber cement siding, accessories, fascia, 5/4" x 5-1/2"	280	L.F.	3.35	938	3.69	1,034	7	1,972
	Total Spec 4646				938		1,034		1,972
7143100010	DRIP EDGE, RAKE EDGE, ICE BELTS								
0100	Aluminum drip edge, white finish, .016" thick, 5" wide	520	L.F.	1.29	671	1.68	872	3	1,544
	Total Spec 7143				671		872		1,544
	Division 07 Subtotal				19,461		18,625		38,087
	Remote factor @ 15%				2,919		2,794		5,713
	Subtotal				22,381		21,419		43,800
	Size factor @ 25%				5,595		5,355		10,950
	Subtotal				27,976		26,774		54,749
Division 08	Openings								
081213130010	STANDARD HOLLOW METAL FRAMES								
0100	Frames, steel, knock down, hollow metal, single, 16 ga., up to 5-3/4" deep, 3'-0" x 7'-0"	1	Ea.	246.01	246	75.75	76	322	322
	Total Spec 1213				246		76		322
1313130010	STANDARD HOLLOW METAL DOORS								
1760	Doors, commercial, steel, insulated, full panel, 18 ga., 3'-0" x 7'-0" x 1-3/4" thick	1	Ea.	779.17	779	76.69	77	856	856
	Total Spec 1313				779		77		856
3113100010	TYPES OF FRAMED ACCESS DOORS								
1400	Doors, specialty, access, fire rated, with lock, metal, 48" x 48"	2	Ea.	702.95	1,406	77.08	154	780	1,560
	Total Spec 3113				1,406		154		1,560
7120050015	Hardware Group 3-Exterior,Hinges,HD cyl.lock,closer,thrshd,whstrp	1	Ea.	1,134.90	1,135	486.90	487	1,622	1,622
	Total Spec 7120				1,135		487		1,622
9119200010	STEEL LOUVERS								
3310	Wall louvers, galvanized steel, fixed blades, commercial grade, 24" x 24"	2	Ea.	431.34	863	34.51	69	466	932
3370	Wall louvers, galvanized steel, fixed blades, commercial grade, 48" x 48"	4	Ea.	776.04	3,104	68.98	276	845	3,380
	Division 08 Subtotal				7,533		1,138		8,671
	Remote factor @ 15.0%				1,130		171		1,301
	Subtotal				8,663		1,309		9,972
	Size factor @ 25.0%				2,166		327		2,493
	Subtotal				10,828		1,636		12,465
	Grand Total				62,078		43,569		105,647

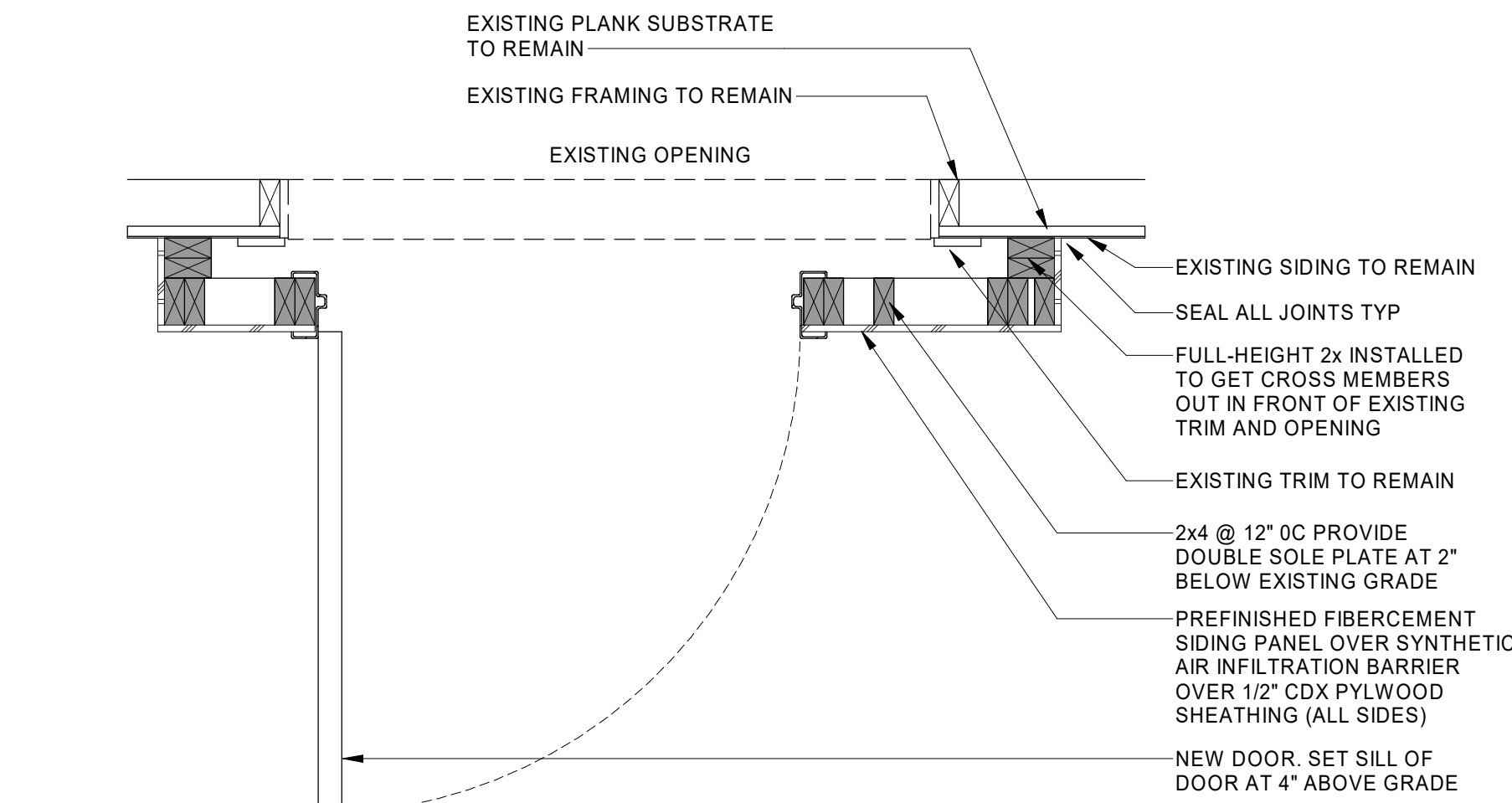


1
A101
FIRST FLOOR PLAN
1/4" = 1'-0"

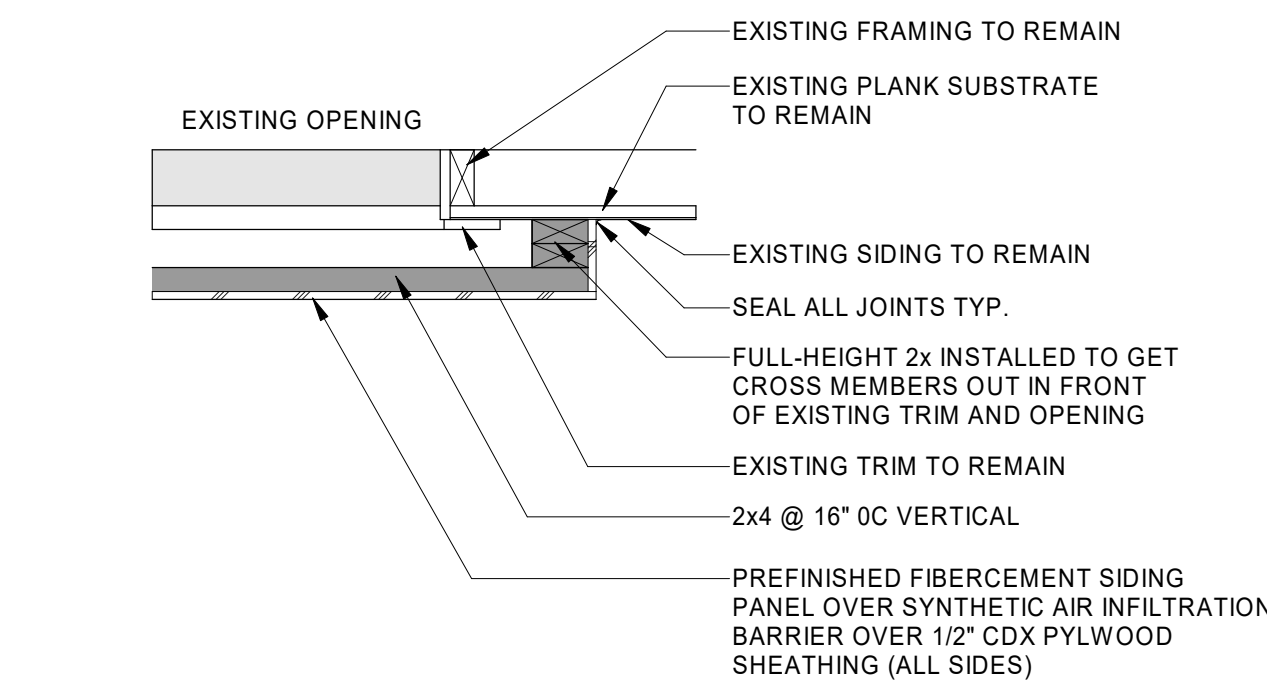


KEYNOTES FLOOR PLAN:

1. REMOVE EXISTING DOOR LEAF AND STORE INSIDE IN WEATHERSAFE LOCATION. ATTACH TO AN INTERIOR WALL AND ELEVATE OFF THE FLOOR. KEEP FRAME AND HINGES IN EXISTING CONDITION. PREP EXTERIOR OF DOOR WAY TO ACCOMMODATE MOTHBALL COVERING AND NEW ACCESS DOOR PER PLAN DETAIL 2/A101.
2. SINGLE DOOR. PRESERVE ALL EXISTING DOOR CONSTRUCTION. PROVIDE (2) THUMBTURN-STYLE HASP AT INTERIOR FACE OF DOOR. SET HASPS TO HOLD DOOR TIGHTLY SHUT. INSTALL BACKER ROD AT JAMBS AND HEAD OF DOOR TO FULLY SEAL ALL GAPS. PROVIDE ADJUSTABLE NEOPRENE SWEEP AT BOTTOM EDGE OF DOOR SET TIGHT TO FLOOR. INSTALL SIGN "NOT AN EXIT" ON INTERIOR FACE OF DOOR. PREP EXTERIOR OF DOOR TO ACCOMMODATE MOTHBALL COVERING PER DETAIL 3/A101.
3. DOOR PAIR. PRESERVE ALL EXISTING DOOR CONSTRUCTION. PROVIDE (2) THUMBTURN-STYLE HASP AT INTERIOR FACE OF DOOR. SET HASPS TO HOLD DOOR TIGHTLY SHUT. INSTALL BACKER ROD AT JAMBS AND HEAD OF DOOR TO FULLY SEAL ALL GAPS. PROVIDE ADJUSTABLE NEOPRENE SWEEP AT BOTTOM EDGE OF DOOR SET TIGHT TO FLOOR. INSTALL SIGN "NOT AN EXIT" ON INTERIOR FACE OF DOOR. PREP EXTERIOR OF DOOR TO ACCOMMODATE MOTHBALL COVERING PER DETAIL 3/A101.
4. SLIDING DOOR. PRESERVE ALL EXISTING DOOR CONSTRUCTION. PROVIDE (2) THUMBTURN-STYLE HASP AT INTERIOR FACE OF DOOR. SET HASPS TO HOLD DOOR TIGHTLY SHUT. INSTALL BACKER ROD AT JAMBS AND HEAD OF DOOR TO FULLY SEAL ALL GAPS. PROVIDE ADJUSTABLE NEOPRENE SWEEP AT BOTTOM EDGE OF DOOR SET TIGHT TO FLOOR. INSTALL SIGN "NOT AN EXIT" ON INTERIOR FACE OF DOOR. PREP EXTERIOR OF DOOR TO ACCOMMODATE MOTHBALL COVERING PER DETAIL 3/A101.
5. WINDOW. PRESERVE ALL EXISTING WINDOW CONSTRUCTION. SEE DETAIL 3/A101 FOR HEAD/JAMB/SILL CONDITION TO ENCLOSE WINDOW OPENING AND PROTECT FROM WEATHER.
6. FOLLOWING STRUCTURAL REINFORCEMENT OF FLOOR STRUCTURE, PIECE IN FLOORING WITH WOOD TO MATCH FINISH, DIMENSION AND SPECIES OF EXISTING . SCOPE ONLY IN THE DAMAGED AREA.
7. INFILL FRAME FROM 6" BELOW GRADE TO BOTTOM OF FLOOR FRAMING W/ P.T. 2x6 STUDS @ 12" O.C. FACE WITH WEATHERBARRIER AND 24 GA 7/8" PREFINISHED CORRUGATED METAL SIDING PANELS SPANNING HORIZONTALLY. PROVIDE CONTINUOUS DRIP EDGE AT TOP OF PANELS TYP.
8. INSTALL NEW METAL LOUVERS IN EXISTING OPENINGS. SIZE TO MATCH OPENING. PROVIDE METAL INSERT SCREENS. SEE ENTIRE PERIMETER OF LOUVER TO EXISTING BUILDING.
9. SEE STRUCTURAL DRAWING FOR AREAS OF FLOOR TO BE REMOVED AND REPLACED FOLLOWING STRUCTURAL IMPROVEMENTS. CARE TO BE TAKEN TO PRESERVE ALL FLOORING AND REINSTALL TO MATCH EXISTING CONDITIONS.



2
A101
OPERABLE DOOR OPENING DTL
1" = 1'-0"



3
A101
OPENING COVER DTL
1" = 1'-0"

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WHITE BARN ON ANACONDA SMELTER HILL
CITY OF GREAT FALLS
BOSTON BARN

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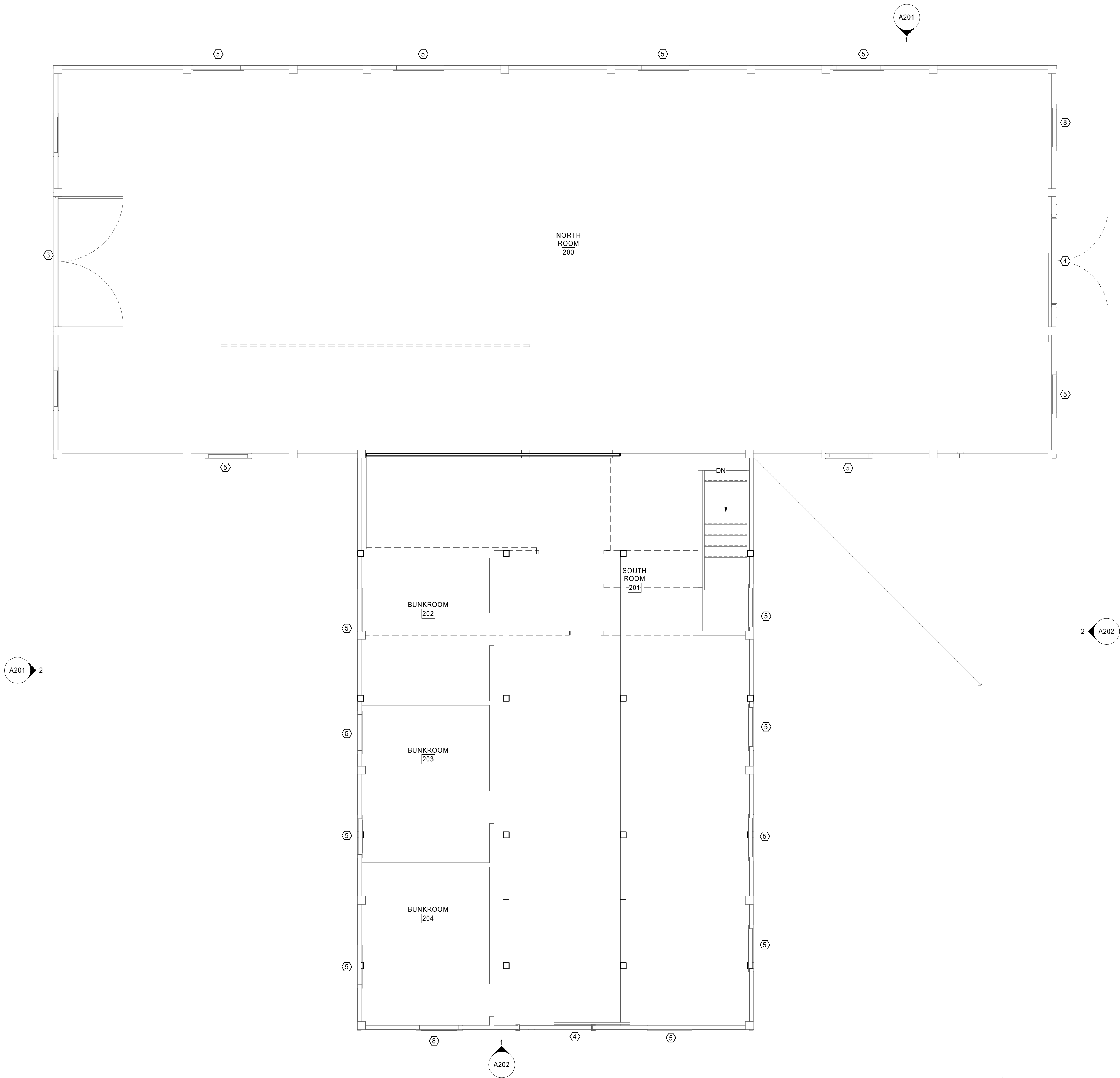
04.27.2023
PROJ# | CITYGF_BARN
DESIGNED BY | HOUTZ
DRAWN BY | SUMMERS

REVISIONS

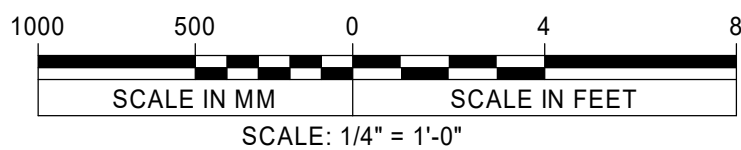
FIRST FLOOR PLAN

A101

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN



1
A102
SECOND FLOOR
1/4" = 1'-0"



KEYNOTES FLOOR PLAN:

1. REMOVE EXISTING DOOR LEAF AND STORE INSIDE IN WEATHERSAFE LOCATION. ATTACH TO AN INTERIOR WALL AND ELEVATE OFF THE FLOOR. KEEP FRAME AND HINGES IN EXISTING CONDITION. PREP EXTERIOR OF DOOR WAY TO ACCOMMODATE MOTHBALL COVERING AND NEW ACCESS DOOR PER PLAN DETAIL 2/A101.
2. SINGLE DOOR. PRESERVE ALL EXISTING DOOR CONSTRUCTION. PROVIDE (2) THUMBTURN-STYLE HASP AT INTERIOR FACE OF DOOR. SET HASPS TO HOLD DOOR TIGHTLY SHUT. INSTALL BACKER ROD AT JAMBS AND HEAD OF DOOR TO FULLY SEAL ALL GAPS. PROVIDE ADJUSTABLE NEOPRENE SWEEP AT BOTTOM EDGE OF DOOR SET TIGHT TO FLOOR. INSTALL SIGN "NOT AN EXIT" ON INTERIOR FACE OF DOOR. PREP EXTERIOR OF DOOR TO ACCOMMODATE MOTHBALL COVERING PER DETAIL 3/A101.
3. DOOR PAIR. PRESERVE ALL EXISTING DOOR CONSTRUCTION. PROVIDE (2) THUMBTURN-STYLE HASP AT INTERIOR FACE OF DOOR. SET HASPS TO HOLD DOOR TIGHTLY SHUT. INSTALL BACKER ROD AT JAMBS AND HEAD OF DOOR TO FULLY SEAL ALL GAPS. PROVIDE ADJUSTABLE NEOPRENE SWEEP AT BOTTOM EDGE OF DOOR SET TIGHT TO FLOOR. INSTALL SIGN "NOT AN EXIT" ON INTERIOR FACE OF DOOR. PREP EXTERIOR OF DOOR TO ACCOMMODATE MOTHBALL COVERING PER DETAIL 3/A101.
4. SLIDING DOOR. PRESERVE ALL EXISTING DOOR CONSTRUCTION. PROVIDE (2) THUMBTURN-STYLE HASP AT INTERIOR FACE OF DOOR. SET HASPS TO HOLD DOOR TIGHTLY SHUT. INSTALL BACKER ROD AT JAMBS AND HEAD OF DOOR TO FULLY SEAL ALL GAPS. PROVIDE ADJUSTABLE NEOPRENE SWEEP AT BOTTOM EDGE OF DOOR SET TIGHT TO FLOOR. INSTALL SIGN "NOT AN EXIT" ON INTERIOR FACE OF DOOR. PREP EXTERIOR OF DOOR TO ACCOMMODATE MOTHBALL COVERING PER DETAIL 3/A101.
5. WINDOW. PRESERVE ALL EXISTING WINDOW CONSTRUCTION. SEE DETAIL 3/A101 FOR HEAD/JAMB/SILL CONDITION TO ENCLOSE WINDOW OPENING AND PROTECT FROM WEATHER.
6. FOLLOWING STRUCTURAL REINFORCEMENT OF FLOOR STRUCTURE. PIECE IN FLOORING WITH WOOD TO MATCH FINISH, DIMENSION AND SPECIES OF EXISTING . SCOPE ONLY IN THE DAMAGED AREA.
7. INFILL FRAME FROM 6" BELOW GRADE TO BOTTOM OF FLOOR FRAMING W/ P.T. 2x6 STUDS @ 12" O.C. FACE WITH WEATHERBARRIER AND 24 GA 7/8" PREFINISHED CORRUGATED METAL SIDING PANELS SPANNING HORIZONTALLY. PROVIDE CONTINUOUS DRIP EDGE AT TOP OF PANELS TYP.
8. INSTALL NEW METAL LOUVERS IN EXISTING OPENINGS. SIZE TO MATCH OPENING. PROVIDE METAL INSERT SCREENS, SEE ENTIRE PERIMETER OF LOUVER TO EXISTING BUILDING.
9. SEE STRUCTURAL DRAWING FOR AREAS OF FLOOR TO BE REMOVED AND REPLACED FOLLOWING STRUCTURAL IMPROVEMENTS. CARE TO BE TAKEN TO PRESERVE ALL FLOORING AND REINSTALL TO MATCH EXISTING CONDITIONS.

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CITY OF GREAT FALLS
BOSTON BARN

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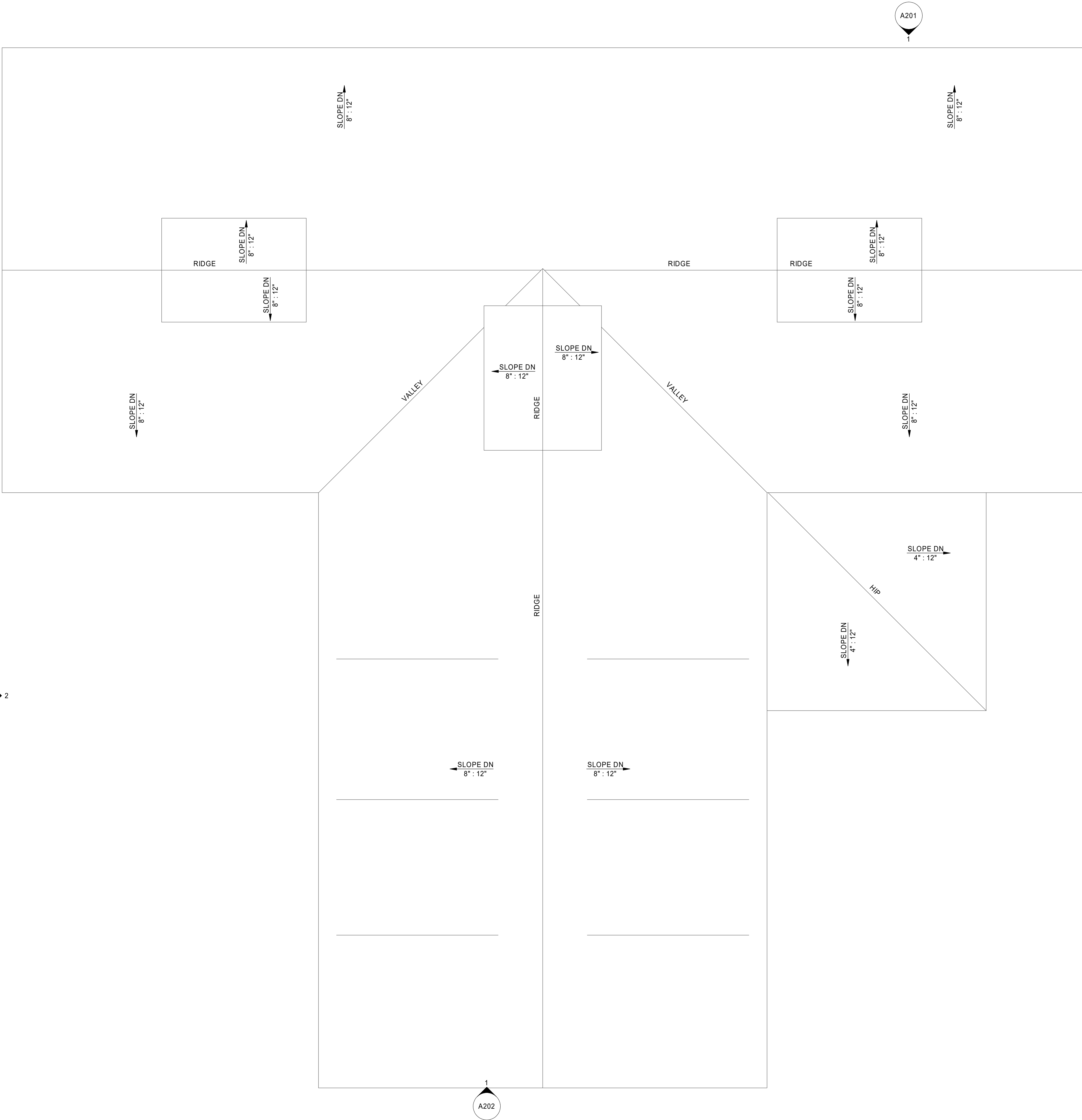
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SECOND FLOOR PLAN

A102



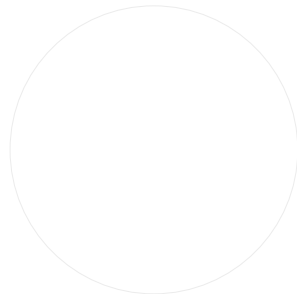
KEYNOTES ROOF PLAN:

- SEE STRUCTURAL DRAWINGS FOR ROOF STABILIZATION AND SETTING RIDGE AND ROOF SLOPE AT FINAL POSITION.
- REMOVE EXISTING SHAKE SHINGLES. EXISTING SUBSTRATE PLANKS TO REMAIN.
- PROVIDE NEW STYLE D DRIP EDGE AROUND ENTIRE PERIMETER OF ALL ROOFS.
- PROVIDE 36"W METAL VALLEY FLASHING AT ALL VALLEYS TYPICAL.
- INSTALL POLYSTICK TU P OR APPROVED EQUAL ELASTOMERIC BITUMEN UNDERLAYMENT (MINIMUM 36 MONTH EXPOSURE). LAY FOR POSITIVE DRAIN.

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CITY OF GREAT FALLS
BOSTON BARN



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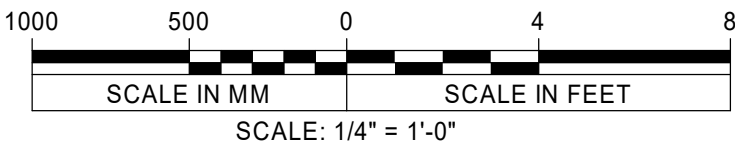
04.27.2023
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DESIGNED BY | HOUTZ
DRAWN BY | SUMMERS

REVISIONS

ROOF PLANS

A110

1
A110
ROOF
1/4" = 1'-0"



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KEYNOTES ELEVATIONS:

1. CUPOLA LOUVERS: PRESERVE ALL EXISTING DOOR CONSTRUCTION. PROVIDE (2) THUMBTURN-STYLE HASP AT INTERIOR FACE OF DOOR. SET HASPS TO HOLD DOOR TIGHTLY SHUT. INSTALL BACKER ROD AT JAMBS AND HEAD OF DOOR TO FULLY SEAL ALL GAPS. PROVIDE ADJUSTABLE NEOPRENE SWEEP AT BOTTOM EDGE OF DOOR SET TIGHT TO FLOOR. INSTALL SIGN "NOT AN EXIT" ON INTERIOR FACE OF DOOR. PREP EXTERIOR OF DOOR TO ACCOMMODATE MOTHBALL COVERING PER DETAIL 3/A101
2. CORNER TRIM BOARDS. REMOVE EXISTING CORNER TRIMBOARDS IF STILL IN PLACE. REPLACE WITH NEW HARDWOOD TRIM. PREPPED AND PAINTED. MATCH DIMENSION TO EXISTING SIDING EDGES. FULLY SEAL JOINT ALONG OUTSIDE CORNER, TYP ALL.
3. FOUNDATION VENT LOUVER WITH INSECT SCREEN.
4. LOUVER INSTALL. INSTALL NEW METAL LOUVERS IN EXISTING OPENINGS. SIZE TO MATCH OPENING. PROVIDE METAL INSERT SCREENS. SEE ENTIRE PERIMETER OF LOUVER TO EXISTING BUILDING.
5. FULLY SEAL GAP BETWEEN BUILDINGS WITH FLEXIBLE SEALANT.
6. CRAWL SPACE ACCESS DOOR. PROVIDE 24"H x 42"W PREFINISHED LOCKING HM ACCESS DOOR.
7. INFILL FRAME FROM 6" BELOW GRADE TO BOTTOM OF FLOOR FRAMING W/ P.T. 2x6 STUDS @ 12" O.C. FACE WEATHERBARRIER AND 24 GA 7/8" PREFINISHED CORRUGATED METAL SIDING PANELS SPANNING HORIZONTALLY. PROVIDE CONTINUOUS DRIP EDGE AT TOP OF PANELS TYP

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WHITE BARN ON ANACONDA SMELTER HILL
CITY OF GREAT FALLS

BOSTON BARN

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04.27.2023
PROJ# | CITYGF_BARN
DESIGNED BY | HOUTZ
DRAWN BY | SUMMERS

REVISIONS

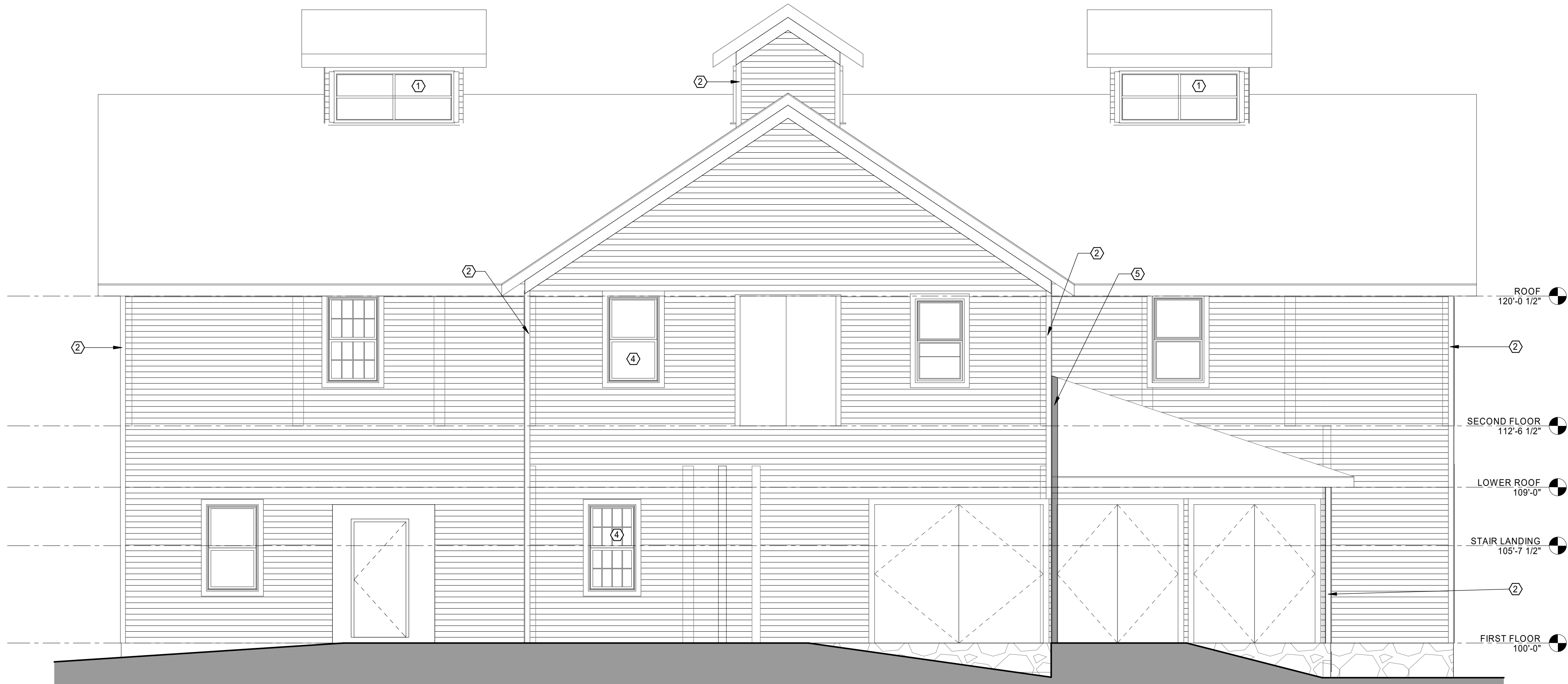
EXTERIOR
ELEVATIONS

A201

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

KEYNOTES ELEVATIONS:

1. CUPOLA LOUVERS. PRESERVE ALL EXISTING DOOR CONSTRUCTION. PROVIDE (2) THUMBTURN-STYLE HASP AT I NTERIOR FACE OF DOOR. SET HASPS TO HOLD DOOR TIGHTLY SHUT. INSTALL BACKER ROD AT JAMBS AND HEAD OF DOOR TO FULLY SEAL ALL GAPS. PROVIDE ADJUSTABLE NEOPRENE SWEEP AT BOTTOM EDGE OF DOOR SET TIGHT TO FLOOR. INSTALL SIGN "NOT AN EXIT" ON INTERIOR FACE OF DOOR. PREP EXTERIOR OF DOOR TO ACCOMMODATE MOTHBALL COVERING PER DETAIL 3/A101
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5. FULLY SEAL GAP BETWEEN BUILDINGS WITH FLEXIBLE SEALANT.
6. CRAWL SPACE ACCESS DOOR. PROVIDE 24"H x 42"W PREFINISHED LOCKING HM ACCESS DOOR.
7. INFILL FRAME FROM 6" BELOW GRADE TO BOTTOM OF FLOOR FRAMING W/ P.T. 2x6 STUDS @ 12" O.C. FACE WEATHERBARRIER AND 24 GA 7/8" PREFINISHED CORRUGATED METAL SIDING PANELS SPANNING HORIZONTALLY. PROVIDE CONTINUOUS DRIP EDGE AT TOP OF PANELS TYP



1 SOUTH
A202
1/4" = 1'-0"

1000 500 0 4 8
SCALE IN MM SCALE IN FEET
SCALE: 1/4" = 1'-0"



2 EAST
A202
1/4" = 1'-0"

1000 500 0 4 8
SCALE IN MM SCALE IN FEET
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

WHITE BARN ON ANACONDA SMELTER HILL
CITY OF GREAT FALLS
BOSTON BARN

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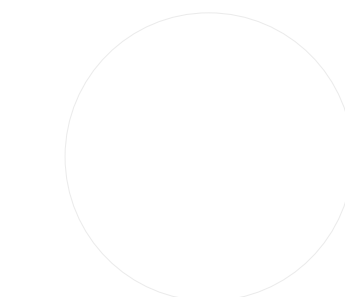
NOT FOR
CONSTRUCTION

04.27.2023
PROJ# | CITYGF_BARN
DESIGNED BY | HOUTZ
DRAWN BY | SUMMERS

REVISIONS

EXTERIOR
ELEVATIONS

A202



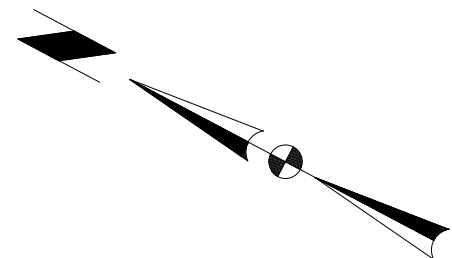
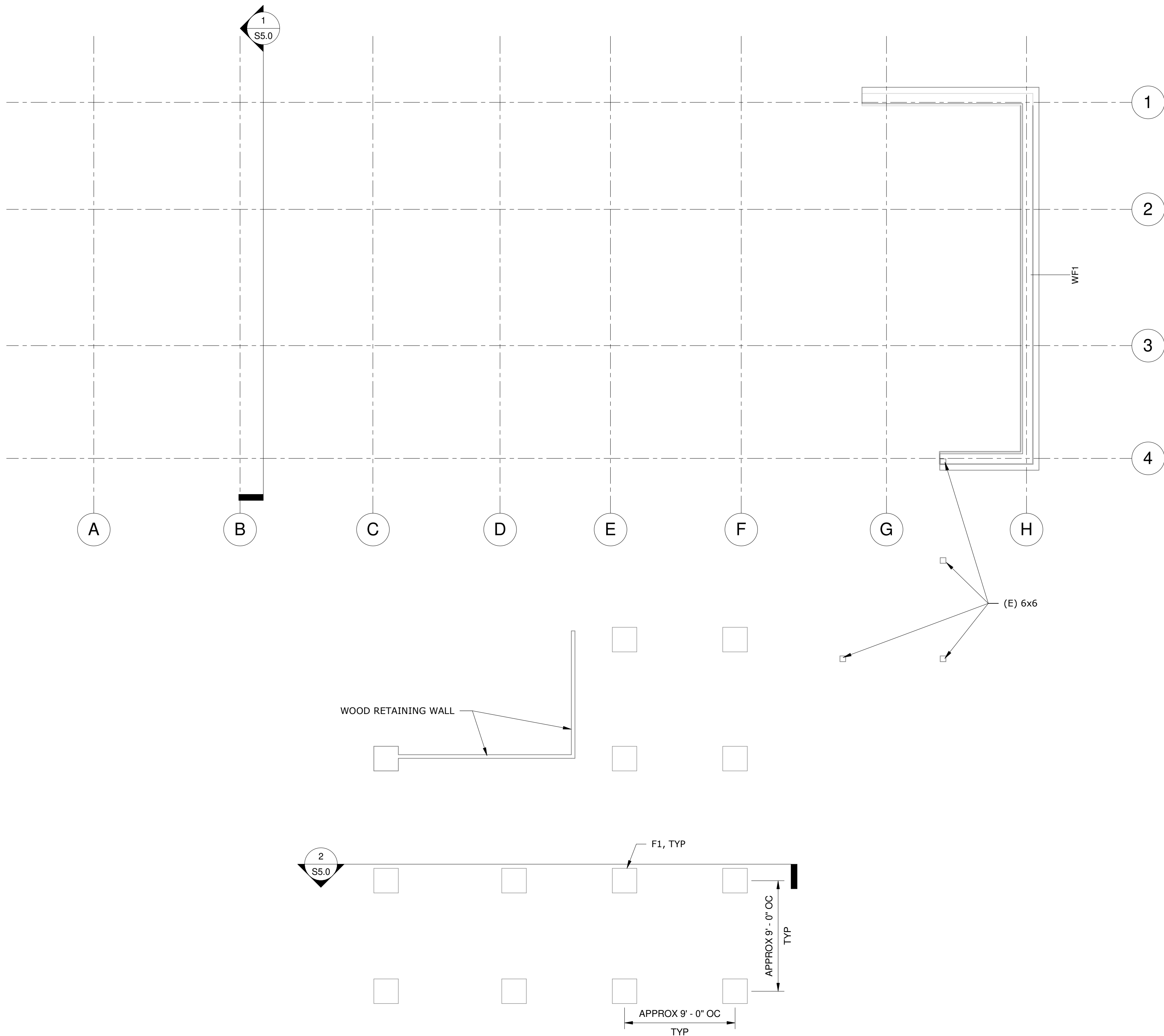
NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

GENERAL NOTES

- UNVERIFIED FOUNDATION ELEMENTS NOT INCLUDED.
WF1 WALL ASSUMED AROUND PERIMETER NORTH SECTION. F1 ASSUMED SUPPORTING COLUMNS IN SOUTH SECTION.

LEGEND

- WF1 STONE WALL FOOTING, WIDTH UNKNOWN.
F1 APPROX 2'x2' STONE SPREAD FOOTING



FLAG NOTES

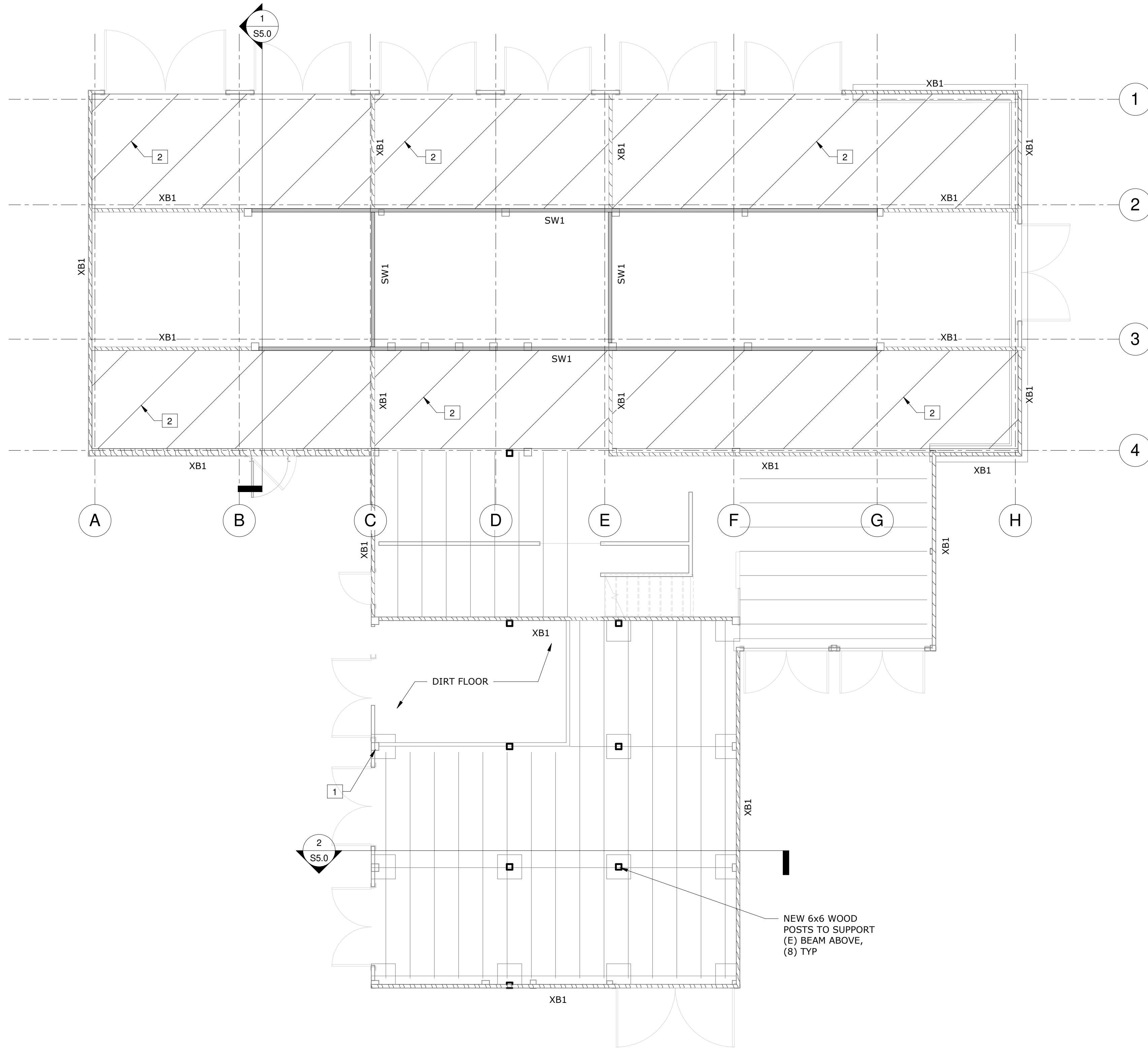
- 1 DETERIORATED POST. REMOVE AND REPLACE PRIOR TO INITIAL BRACING.
- 2 2x4 LAID FLAT @ 4'-0" OC W/ (2) 16d NAILS INTO EA JOIST, MIN (3) JOIST LAP.

GENERAL NOTES

1. UNOBSERVED FLOOR FRAMING NOT INCLUDED. BEAMS AND JOISTS IN NORTH SECTION ASSUMED TO BE SIMILAR TO SOUTH SECTION.
2. PROVIDE DIAGONAL BRACING FROM BOTTOM OF WALL TO TOP OF WALL AT LARGE OPENINGS ALONG GRID LINE 1, THE WEST WALL OF THE SOUTH SECTION, AND THE SOUTH WALL IN THE SOUTHEAST SECTION.

LEGEND

- SW1 2x6 WOOD SHEAR WALL W/ 7/16" SHEATHING, 8d NAILS @ 6" OC ALL PANEL EDGES, 12" OC FIELD. BLOCK HORIZONTAL EDGES.
- XB1 BRACE WALL WITH DIAGONAL 2x4'S @ 45° FROM BOTTOM OF WALL TO TOP OF WALL. MINIMUM (3) BRACES PER WALL.



1 **MAIN FLOOR FRAMING PLAN**
3/16" = 1'-0"

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FLAG NOTES

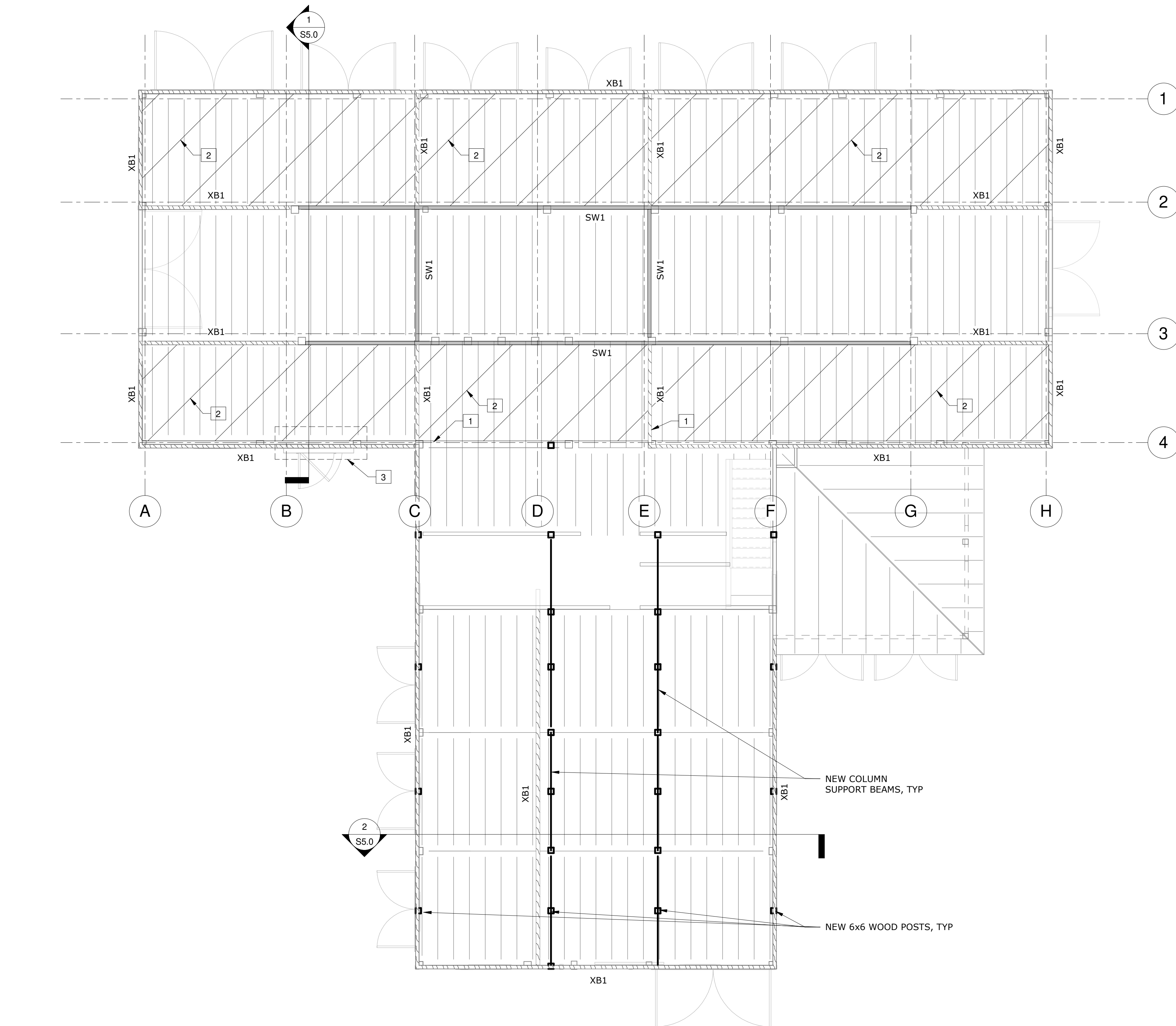
- 1 DAMAGED FLOOR FRAMING MEMBER, REPAIR OR REPLACE.
- 2 2x4 LAID FLAT @ 4'-0" OC W/ (2) 16d NAILS INTO EA JOIST, MIN (3) JOIST LAP.
- 3 FLOOR COLLAPSE AREA. NEW FRAMING & FLOORING REQUIRED.

GENERAL NOTES

1. UNOBSERVED FLOOR FRAMING NOT INCLUDED. BEAMS AND JOISTS IN NORTH SECTION ASSUMED TO BE SIMILAR TO SOUTH SECTION.
2. PROVIDE DIAGONAL BRACING FROM BOTTOM OF WALL TO TOP OF WALL AT LARGE OPENINGS ALONG GRID LINE 1, THE WEST WALL OF THE SOUTH SECTION, AND THE SOUTH WALL IN THE SOUTHEAST SECTION.

LEGEND

- SW1 2x6 WOOD SHEAR WALL W/ 7/16" SHEATHING, 8d NAILS @ 6" OC ALL PANEL EDGES, 12" OC FIELD. BLOCK HORIZONTAL EDGES.
- XB1 BRACE WALL WITH DIAGONAL 2x4'S @ 45° FROM BOTTOM OF WALL TO TOP OF WALL. MINIMUM (3) BRACES PER WALL.



1 SECOND FLOOR FRAMING PLAN
3/16" = 1'-0"



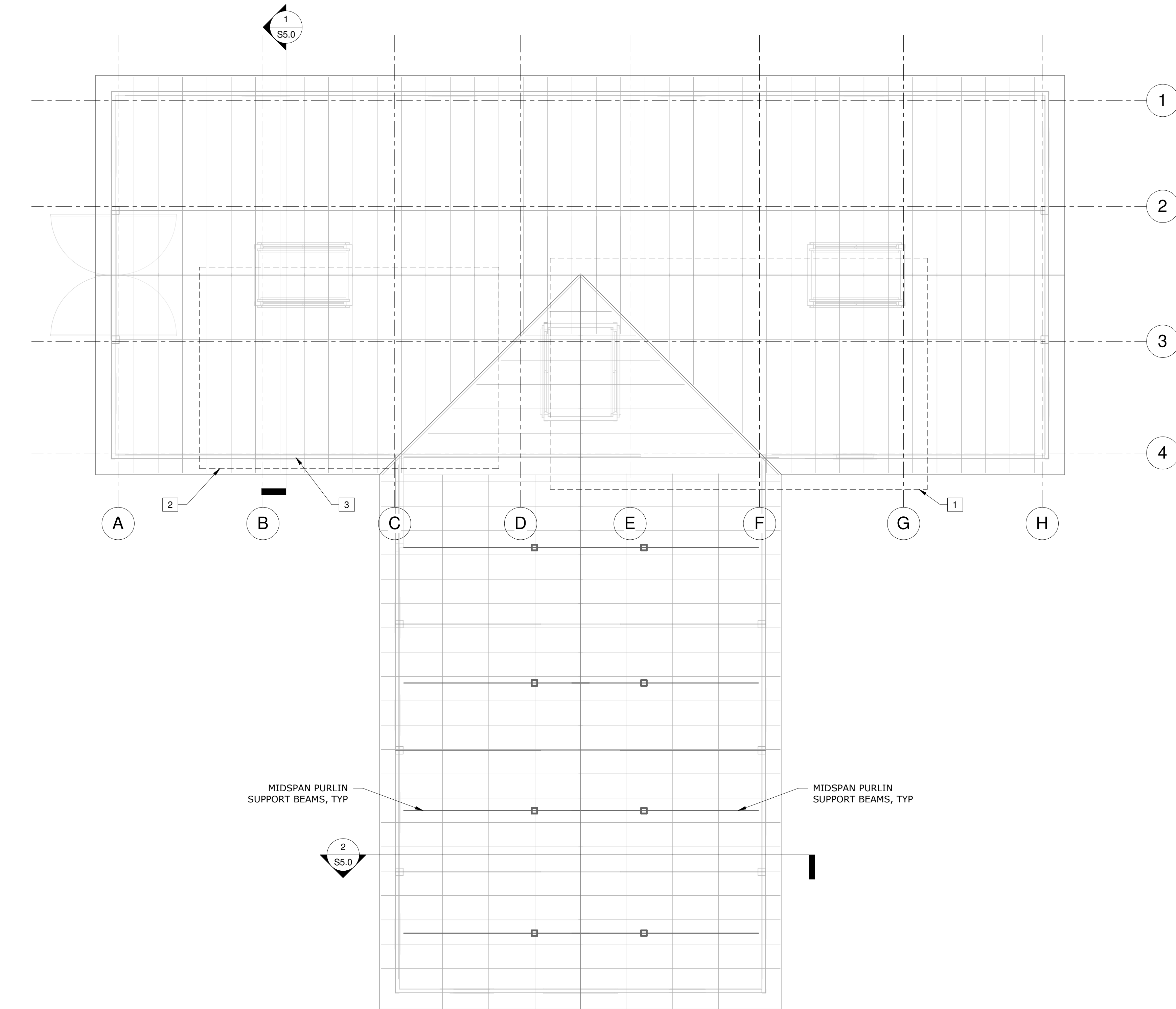
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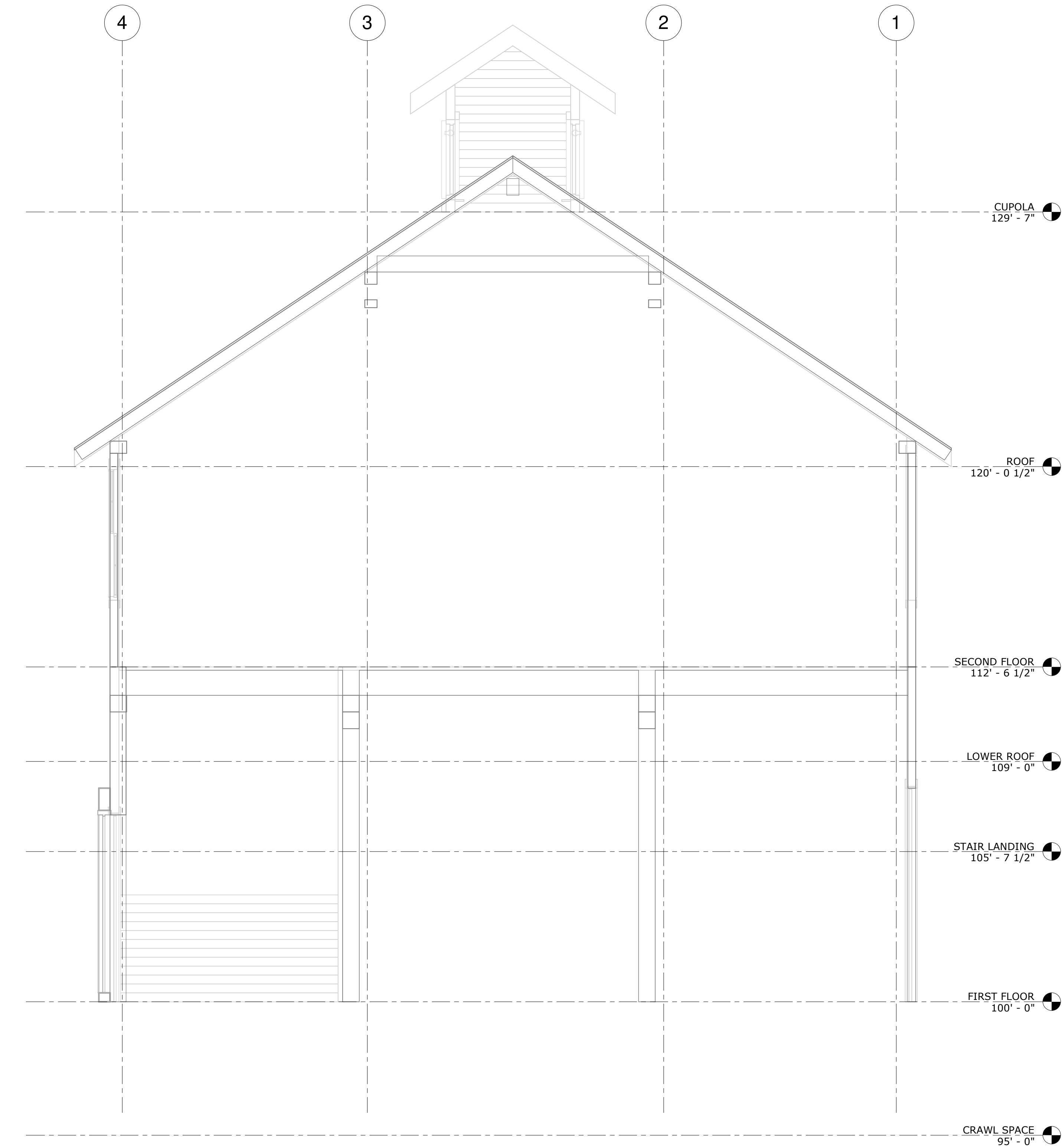
FLAG NOTES

- 1 ROOF COLLAPSE AREA, REMOVE AND REPLACE FRAMING.
- 2 RAFTERS FAILING, REMOVE AND REPLACE.
- 3 FAILED WINDOW HEADER, REMOVE AND REPLACE.

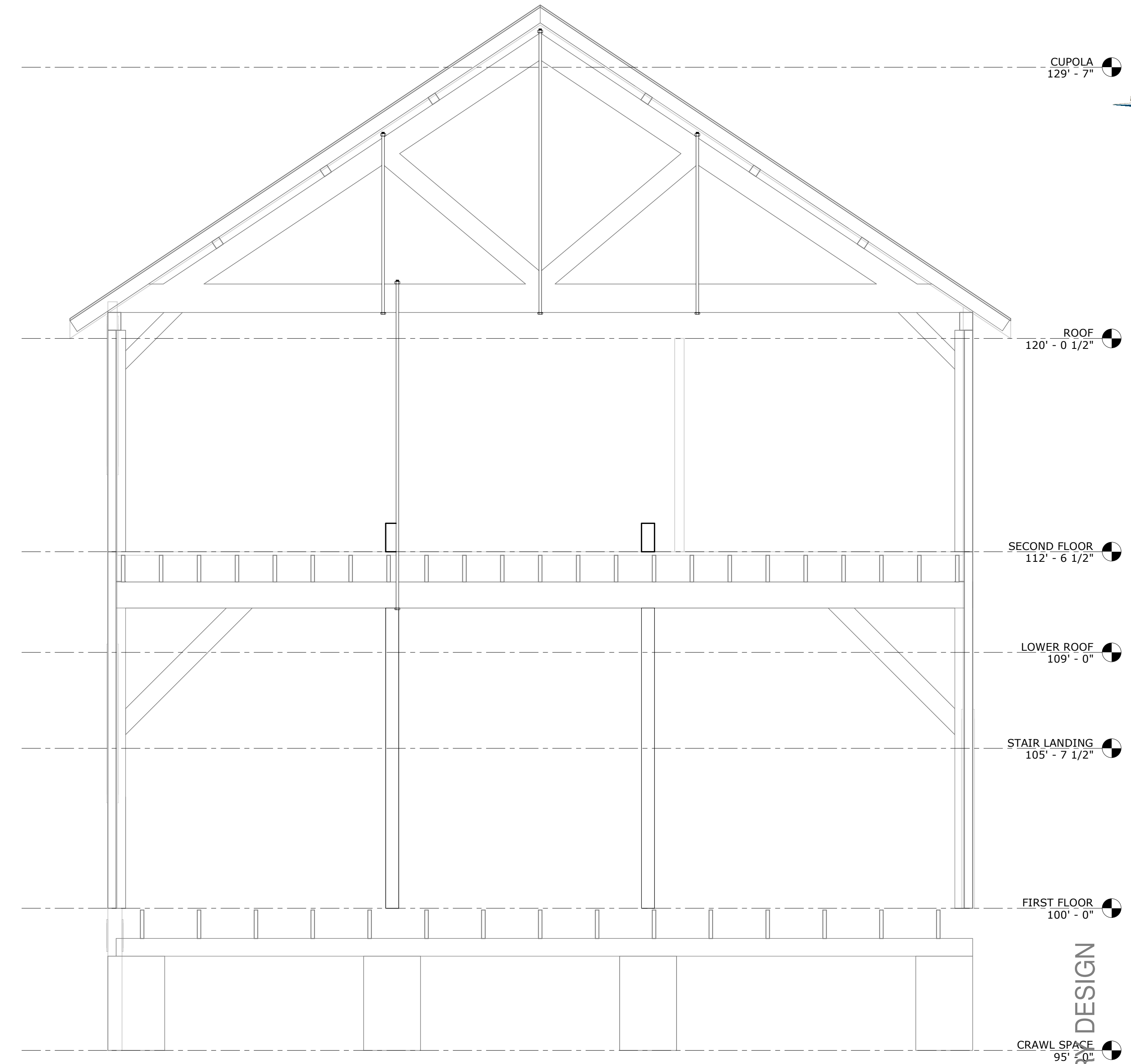
GENERAL NOTES

- ROOF SHEATHING TO BE 19/32" 40/20 RATING OSB W/ 8d NAILS @ 6" OC PANEL EDGES, 12" OC FIELD.
- WORKING PLATFORM TO BE ADDED BETWEEN WALLS ALONG GRID LINES 2 AND 3.





1 BUILDING SECTION
3/8" = 1'-0"



2 BUILDING SECTION
3/8" = 1'-0"