



Item: O'Reilly Auto Parts – 3219 10th Avenue South

Applicant: O'Reilly Auto Enterprises LLC, Owner

Representative: Craig Schneider – Esterly, Schnieder & Associates

Presented By: Brad Eatherly, Planner I, Planning and Community Development

Action Requested: Approve the submitted design with conditions.

Suggested Motion:

1. Board Member moves:

"I move that the Design Review Board approve the Design Review Application for the proposed O'Reilly Auto Parts, located at 3219 10th Avenue South as shown in the conceptual development plans contained within this report and provided by the Applicant, subject to the conditions of approval."

2. Chairman calls for a second, discussion, inquiries from the public, and calls the vote.

Overall Project Description:

The applicant is proposing construction of a new O'Reilly Auto Parts store on a .92 acre parcel located at 3219 10th Ave S., legally described as Dudley Anderson Addition, Block 12, Lot 16, Section 8, Township 20 North, Range 4 East, P.M.M., Cascade County, MT. The proposed project would take place on the current Prime Cut restaurant site which has been vacant for several years. The development includes a one-story retail building comprising 7,162 sq. ft. The site is zoned C-2 General Commercial. The applicant desired to keep the existing Prime Cut building's rear yard setback instead of the required 13 feet. The applicant received a variance from the Board of Adjustment on June 7, 2018 to allow the minimum rear setback to remain at 0.87 feet. During the course of design development, NorthWestern Energy contacted the City regarding overhead lines that would conflict with the roof of the proposed building and any personnel that might be on the roof. The applicant agreed to move the rear setback south to accommodate the utility easement, bringing the rear yard setback to a total of 5.85 feet. Also, the applicant included side parapets stepped down from the front of the building to the rear of the building to give further clearance between the roof and the electrical lines overhead.

Exhibit 28-1 Standards and Guidelines for specific projects and buildings

New Construction

The proposal is in compliance with all requirements of Exhibit 28-1. The one-story auto parts retail building is proposed with a simple yet classic design. The exterior materials will consist of split-face and accent block. The building will be constructed with neutral colors such as Latte and Softer Tan, and more vibrant accent colors such as Positive Red and Dark Ivy. These colors will help to deter the monotony of identical treatments, while the exterior materials will convey permanence, stability, maintainability, and long life. A full color and material palette can be found in the attached color renderings.

A trash enclosure is proposed to be located within the development and incorporated into the northeast section of the parking lot. The enclosure has been designed to be screened by a six (6) foot high fence. Any mechanical equipment on site will be incorporated into the roofline of the building, hidden from public view.

Conformance with Title 17 - Land Development Code

The proposed project has been reviewed for initial compliance with the relevant requirements of Title 17 - Land Development Code, of the Official Code of the City of Great Falls (OCCGF), including but not limited to zoning, setbacks, building height and lot coverage.

Site Plan

The site plan includes two curb cuts off of 10th Ave South and two curb cuts, one on each side of the building, that access the alley to the north of the property. A new sidewalk that leads from the 10th Ave. S public right-of-way to a crosswalk allows for safe pedestrian access to the front door of the building. This sidewalk is proposed at a width of six feet.

The conceptual parking layout shows 33 parking spaces, two of which will be ADA accessible. This meets the code requirements for commercial retail buildings, which require 20 spaces plus 1 space per 300 square feet over 5000 square feet of floor space. The parking spaces are designed with a 10-foot width by 19-foot length.

Outdoor Lighting

The applicant has provided an outdoor lighting plan which is in compliance with the requirements of Chapter 40 - Outdoor Lighting of the OCCGF. The site will be lit with full cutoff pole mounted luminaries as well as building mounted lights. The fixtures are full down cast to prevent light pollution into the surrounding areas.

Landscaping

The proposed landscaping is in compliance with the minimum requirements of the OCCGF. Paved or nonliving surfaces are the dominant texture within the interior of the site, with cement walkways accessing the building from the public right-of-way, an asphalt parking lot, and cyprus mulch in all landscape beds. The exterior of the site will be significantly improved by landscaping including grass, canopy trees, shrubs, and perennials.

The OCCGF Chapter 44 – Landscaping requires one (1) canopy tree and seven (7) shrubs to be planted and maintained for each four hundred (400) square feet of landscaped area, which is fifteen percent of the gross lot area. For this site, there are 16 interior trees and 106 shrubs required to be installed. The applicant's proposal is in compliance with code requirements. Because of an existing water main in the 10th Ave. S right-of-way, new boulevard trees will be

planted at least ten (10) feet away from this water line, at the property boundary with the State right-of-way, in order to comply with the utility spacing requirement in City code.

Signage

The applicant is proposing signage to be placed on the exterior facade of the building as well a freestanding pole sign. The proposed signage will be reviewed under a separate application and shall meet the requirements of the OCCGF.

Recommendation:

Staff supports this application and recommends the Design Review Board approve the submitted design with conditions.

Conditions of Approval:

- A. The proposed project shall be developed consistent with the conditions in this staff report, all codes and ordinances of the City of Great Falls, the State of Montana, and all other applicable regulatory agencies.

- B. If after the approval of the conceptual development plans as amended by this Board, the owner proposes to expand or modify the conceptual development plans, the Director of the Planning and Community Development Department shall determine in writing if such proposed change would alter the concept for one or more review criteria. If such proposed change would alter the plan, the proposal shall be resubmitted for review as a new application.

Exhibits:

Project Narrative
Aerial Map
Site Photos
Elevations/Renderings/Color Palette
Development Plans

CC Dave Dobbs, City Engineering
Patty Cadwell, Neighborhood Council Coordinator
Todd Seymanski, City Forester
Craig Schneider, Esterly, Schnieder & Associates, architect@esterlyschneider.com

Project Narrative

S 10th Ave

Great Falls, MT #2


Construction of a New O'Reilly Auto Parts store is being planned for South 10th Avenue, located directly north of the intersection for South 33rd St and 10th Avenue. A 4,914 square foot building currently exists on site, which will be demolished. In its place a new 7,162 square foot building with architectural features in compliance with the City of Great Falls design standards will be built. A variance to locate the building within a 13'-0" building setback along the rear property line of the site was also applied for and approved by the city on June 12th, 2018. Zoning for this development is C-2. Site improvements include 36 parking spaces, landscaping, and stormwater management. The store will be owned by O'Reilly Auto Enterprises, LLC and is a business for the purpose of the retail sale of parts.

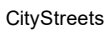
Two entry driveways are being proposed along South 10th Avenue.

This lot contains one parcel APN: 0000740200, which is approximately 0.925 acres or 40,284 square feet with an existing building operating as a restaurant.

AERIAL MAP



 Subject Property

 City Streets

 City Limits

 Parcel

130 65 0 130 Feet



Site Photos



Looking NW from 10th Ave S



Looking east



View of building relationship to alley and utilities



1 FRONT EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"

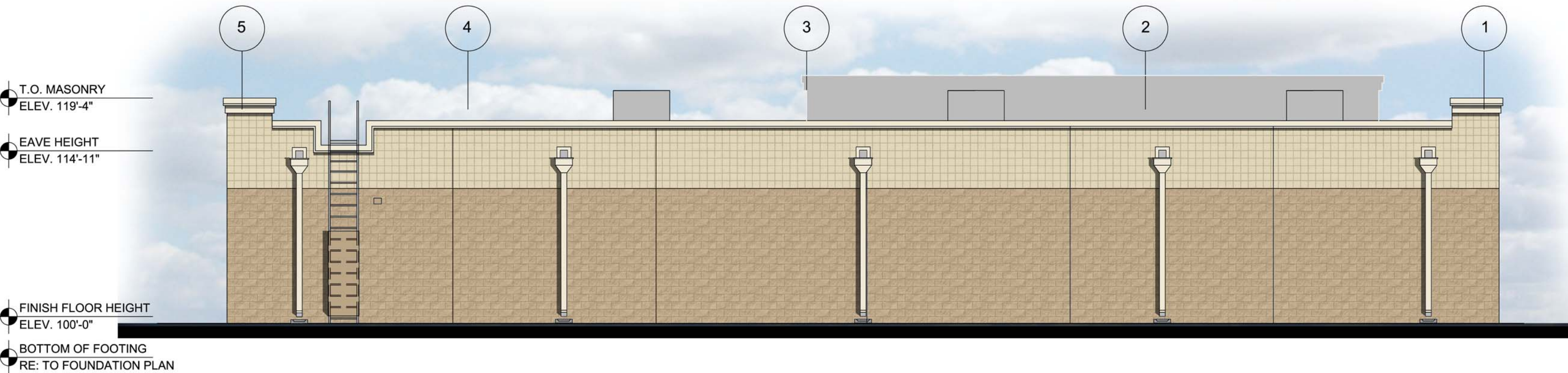


FRONT ELEVATION WINDOW REQUIREMENT

REQUIRED: 30% OF AREA OF FRONT ELEVATION FRONT ELEVATION GLAZING PROVIDED
 STOREFRONT: 438 SF / 2,250 SF = 19%
 APPLIED MULLIONS: = 190 SF / 2,250 SF = 8%
 PROVIDED: 27% OF AREA OF FRONT ELEVATION

2 RIGHT EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"



3 REAR EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"



4 LEFT EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"

BUILDING SIGN SCHEDULE

FRONT EXTERIOR ELEVATION:
 TYPE: OR 63" / 31" AP LINEAR
 DETAIL: REFER TO 5/SG2.1

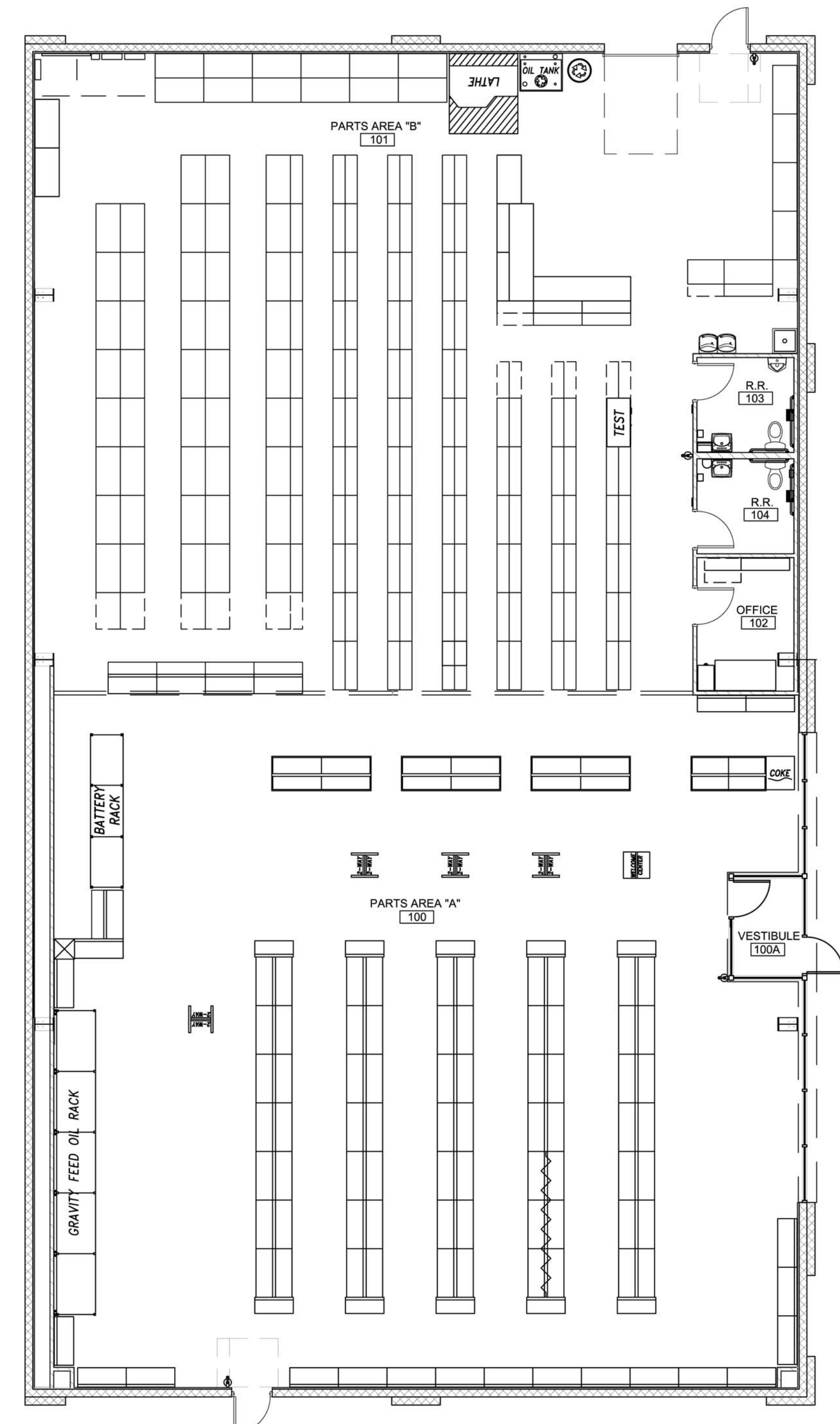
RIGHT EXTERIOR ELEVATION:
 TYPE: NO SIGN
 DETAIL:

REAR EXTERIOR ELEVATION:
 TYPE: NO SIGN
 DETAIL:

LEFT EXTERIOR ELEVATION:
 TYPE: OR 49" / 24" AP LINEAR
 DETAIL: REFER TO 7/SG2.1

FINISH LEGEND:

	FIELD BLOCK -	PAINTED SPLIT FACE C.M.U. COLOR: SHERWIN WILLIAMS "LATTE" SW6108
	ACCENT BLOCK-	SHERWIN WILLIAMS "SOFTER TAN" SW6141
	EIFS AROUND SIGN -	CUSTOM RED MIX BY DRYVIT ORAP011030S SHERWIN WILLIAMS "POSITIVE RED" SW6871
	STOREFRONT -	KAWNEER "DARK IVY"



4 FLOOR PLAN

CE1 SCALE: 1/8" = 1'-0"



CRAIG A. SCHNEIDER, AIA
 ARCHITECT
 1736 East Sunshine, Suite 417
 Springfield, Missouri 65804
 417.862.0558
 Fax: 417.862.3265
 e-mail: architect@estetzschneider.com

PROJECT:
NEW O'REILLY AUTO PARTS STORE
S 10TH AVE
GREAT FALLS, MT #2

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

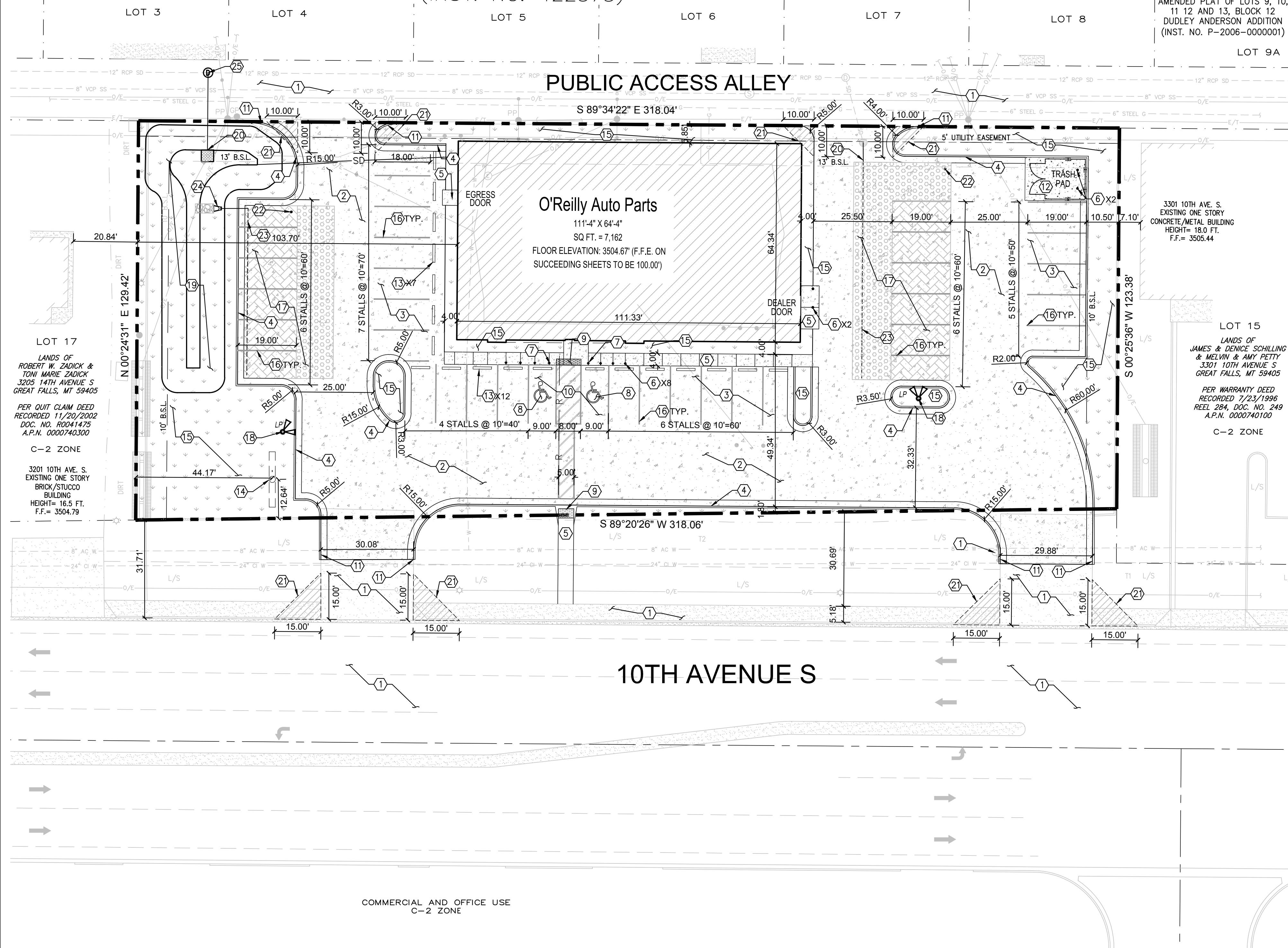
NOT FOR CONSTRUCTION

COMM #	
DATE:	8-27-18
REVISION	
DATE:	

CE1

BLOCK 12
DUDLEY ANDERSON ADDITION
(INST. NO. 422573)

AMENDED PLAT OF LOTS 9, 10,
11 12 AND 13, BLOCK 12
DUDLEY ANDERSON ADDITION
(INST. NO. P-2006-0000001)



ZONING CODE

ZONING
PARCEL ID: 0000740200
CURRENT OWNER: O'REILLY AUTO ENTERPRISES, LLC.
CLASSIFICATION: GENERAL COMMERCIAL
PROPERTY AREA: 40,198 SF (0.92 ACRE)

PARKING SUMMARY
PARKING FORMULA: 20 PLUS 1 PER 300 SF IN EXCESS OF 5,000 SF
2 HC SPACE REQUIRED WITH 1 VAN STALL, 9' WIDE WITH 8' LANDING.
TYP. SPACE SIZE: 10' X 19'
SPACES REQUIRED: 28 STALLS
SPACES PROVIDED: 36 STALLS
H.C. SPACES PROVIDED: 2

KEY NOTES

- 1) PROTECT EXISTING IMPROVEMENTS IN PLACE.
- 2) CONCRETE PAVING (HEAVY DUTY) AT DRIVE AREAS, DRIVE APRONS, DRIVE LANES, AND REFUSE AREA, REFER TO DETAIL 2/C2.2.
- 3) CONCRETE PAVING (STANDARD DUTY) AT PARKING AREAS, REFER TO DETAIL 1/C2.2.
- 4) CONCRETE CURB, REFER TO DETAIL 3/C2.2.
- 5) CONCRETE SIDEWALK, REFER TO DETAIL 4/C2.2.
- 6) STEEL BOLLARD, REFER TO DETAIL 6/C2.2. PROVIDE (2) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, AND (8) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF BOLLARDS ADJACENT TO BUILDING PERIMETER.
- 7) HANDICAP PARKING SIGN, REFER TO DETAIL 7/C2.2.
- 8) ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING, REFER TO DETAIL 5/C2.2.
- 9) DETECTIBLE WARNING SURFACE, REFER TO DETAIL 8/C2.2.
- 10) ACCESSIBLE PARKING SPACE WITH ACCESS AISLE (ADA COMPLIANT) NOT TO EXCEED 2% SLOPE MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- 11) 3" TERMINATION CURB, REFER TO DETAIL 9/C2.2.
- 12) TRASH ENCLOSURE WITH 6" FENCING, REFER TO DETAIL C2.3 & 2/C2.2 HEAVY DUTY.
- 13) CONCRETE BUMPER BLOCK (8" W X 5" H X 6'-0" LONG) ANCHORED TO PAVING WITH (2) 1'-6" LONG #4 REBAR.
- 14) PROPOSED POLE SIGN. SIGN OWNER FURNISHED AND INSTALLED (REFER TO SCOPE OF WORK SCHEDULE). REFER TO SHEET US1 PREPARED BY MEP FOR ADDITIONAL REQUIREMENTS.
- 15) LANDSCAPING. SEE LANDSCAPING PLANS FOR ADDITIONAL INFORMATION.
- 16) 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - WHITE (2 COATS).
- 17) PERMEABLE PAVEMENT.
- 18) INSTALL LIGHT POLE. REFER TO PLANS PREPARED BY MEP.
- 19) WATER QUALITY AND DETENTION POND
- 20) PROPOSED STORM DRAIN IMPROVEMENTS
- 21) CLEAR VISIBILITY TRIANGLES
- 22) 6" OBSERVATION WELL
- 23) 6" PERFORATED UNDERDRAIN IN RESERVOIR LAYER
- 24) 6" FLARED END SECTION
- 25) PROPOSED STORM DRAIN MANHOLE, PER MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS DRAWING NO. 02722-2.

GENERAL NOTES

- A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- B) SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D) REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- E) PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

LEGAL DESCRIPTION

LOT 16 IN BLOCK 12 OF THE AMENDED PLAT OF LOTS 14 AND 15, BLOCK 12, DUDLEY ANDERSON ADDITION TO THE CITY OF GREAT FALLS, CASCADE COUNTY, MONTANA, ACCORDING TO THE OFFICIAL PLAT OR MAP THEREOF ON FILE AND OF RECORD IN THE OFFICE OF THE CLERK AND RECORDER OF SAID COUNTY.

BASIS OF BEARING

CONSIDERED AS BEING SOUTH 89°34'22" EAST ALONG THE CENTERLINE OF 10TH AVENUE SOUTH AS SHOWN ON THAT CERTIFICATE OF SURVEY, RECORDED INSTRUMENT NO. S-0004866, CASCADE COUNTY, MONTANA RECORDS.

SYMBOLS LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	NEW POLE SIGN LOCATION
	NEW CONCRETE PAVING BLOCK
	NEW LIGHT POLE LOCATION
	O'REILLY PROPERTY LINE
	ADJACENT PROPERTY/ROW LINE
	ROADWAY CENTERLINE
	CLEAR VISIBILITY TRIANGLE
	PROPOSED RIPRAP
	PERMEABLE PAVEMENT
	RESERVOIR LAYER BENEATH PCC
	LANDSCAPING

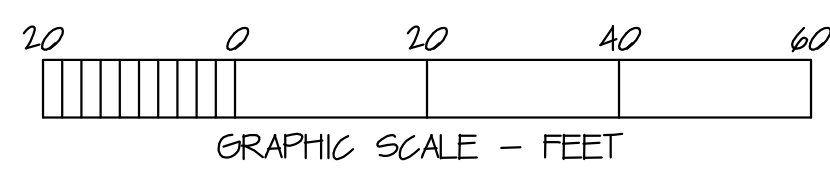
CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



Know what's below
Call before you dig.

1 SITE DEVELOPMENT PLAN

C2.1 SCALE: 1" = 20'-0"



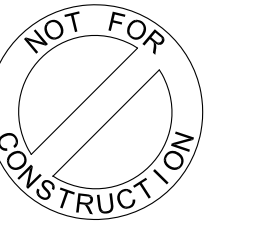
PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.
-PRELIMINARY-
TAIT & ASSOCIATES, INC.
6163 East County Road 16
Loveland, CO 80537
P: (970) 477-3763 / 377-4777
WWW.TAIT-ANDASSOCIATES.COM
Since 1964
CONSTRUCTION

CRAIG A. SCHNEIDER, AIA
ARCHITECT
1736 East Sunshine, Suite 417
Springfield, Missouri 65804
417-862-0558
Fax: 417-862-3265
e-mail: architect@estertyschneider.com

PROJECT:
NEW O'REILLY AUTO PARTS STORE
3219 10TH AVENUE S
GREAT FALLS, MT 59405
SITE DEVELOPMENT PLAN

O'Reilly AUTO PARTS
CORPORATE OFFICES:
230 SOUTH P. O. CENTER
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM #	0000
DATE:	08-24-18
REVISION	
DATE:	



CRAIG A. SCNEIDER, AIA
ARCHITECT

417.862.0558
417.862.3265
FAX: 417.862.3265
e-mail: architect@estfryschneider.com

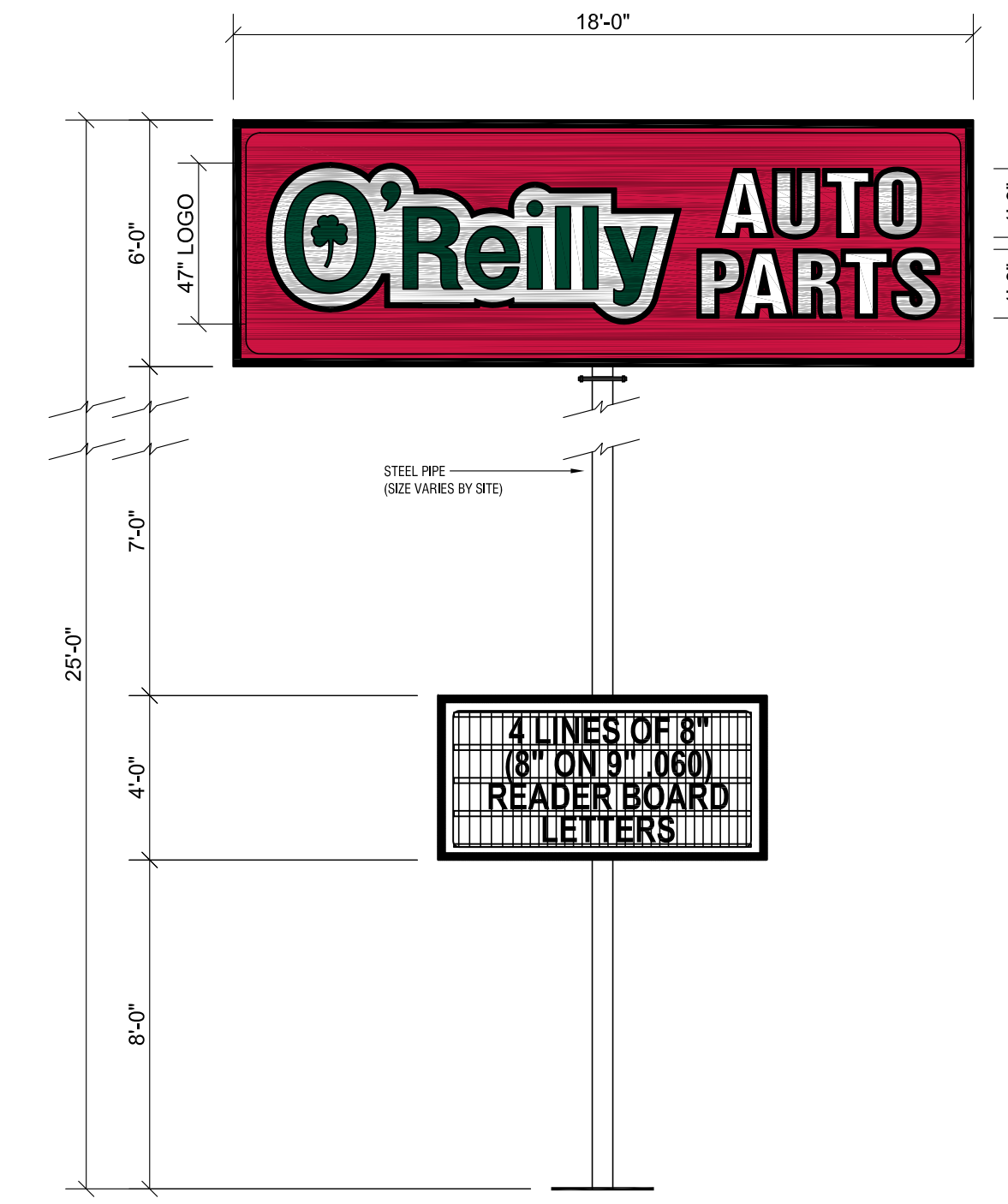
PROJECT:
NEW O'REILLY AUTO PARTS STORE
S 10TH AVE
GREAT FALLS, MT #2

LANDSCAPE/SIGNAGE PLAN

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM #
DATE: 9-6-18
REVISION DATE: 9-14-18
DATE: 9-27-18

L1.1



2 GROUND SIGN ELEVATION
L1.1 SCALE: 1/4" = 1'-0"

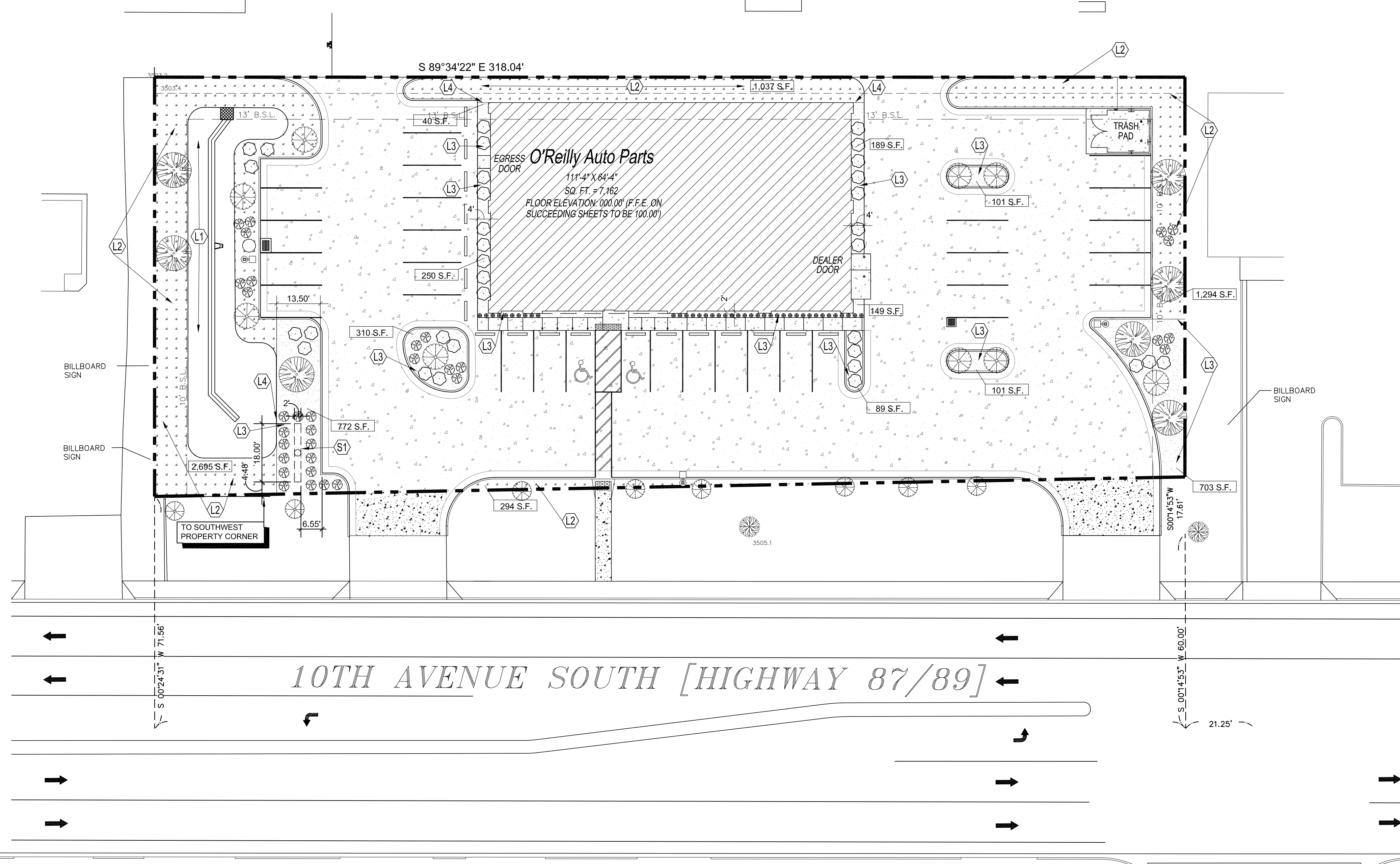
LANDSCAPE KEY NOTES

- (L1) AREA OF HYDRO MULCH OR SEED AND STRAW. UNLESS NOTED OTHERWISE, ALL AREAS DISTURBED BY CONSTRUCTION ARE FIRST TO BE FINE GRADED AND THEN FOLLOWED BY HYDRO MULCH OR SEED AND STRAW OVER MIN. 4" TOPSOIL STOCKPILED FROM SITE OR HAULED IN AS REQUIRED.
- (L2) AREA OF SOD, REFER TO DETAIL 1/L1.2.
- (L3) CYPRESS MULCH, REFER TO DETAIL 2/L1.2.
- (L4) LANDSCAPE EDGING, REFER TO DETAIL 2/L1.2. PROVIDE AT ALL GROUND COVER TYPE TRANSITIONS.

SIGNAGE KEY NOTES

- (S1) SITE SIGN, REFER TO ELEVATION 2/SG.1

811
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Call before you dig.



PLANTING REQUIREMENTS

GROSS PROPERTY AREA: 40,284 SQ FT
 LANDSCAPED AREA REQUIRED: 15% OF GROSS PROPERTY AREA (40,284/0.15 = 6,042.6 SQ FT)
 LANDSCAPED AREA PROVIDED: 9,758 SQ FT
 TREES REQUIRED: 1 PER 400 SQ FT: 6,043/400 = 15.1 (16)
 TREES PROVIDED: 16
 SHRUBS REQUIRED: 7 PER 400 SQ FT: (6,043/400) x 7 = 105.75 (106)
 SHRUBS PROVIDED: 106

BOULEVARD TREES REQUIRED: 1 PER 35 LINEAR FT OF FRONTAGE (318'-0" / 35'-0" = 10)
 TREES PROVIDED: 8 (PLUS 2 EXISTING = 10)

PLANTING SCHEDULE

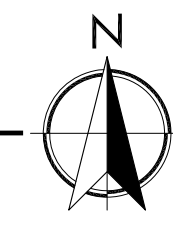
REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS
ALL PLANTINGS MAY BE SUBSTITUTED DUE TO REGION OR LOCAL REQUIREMENTS IF NECESSARY

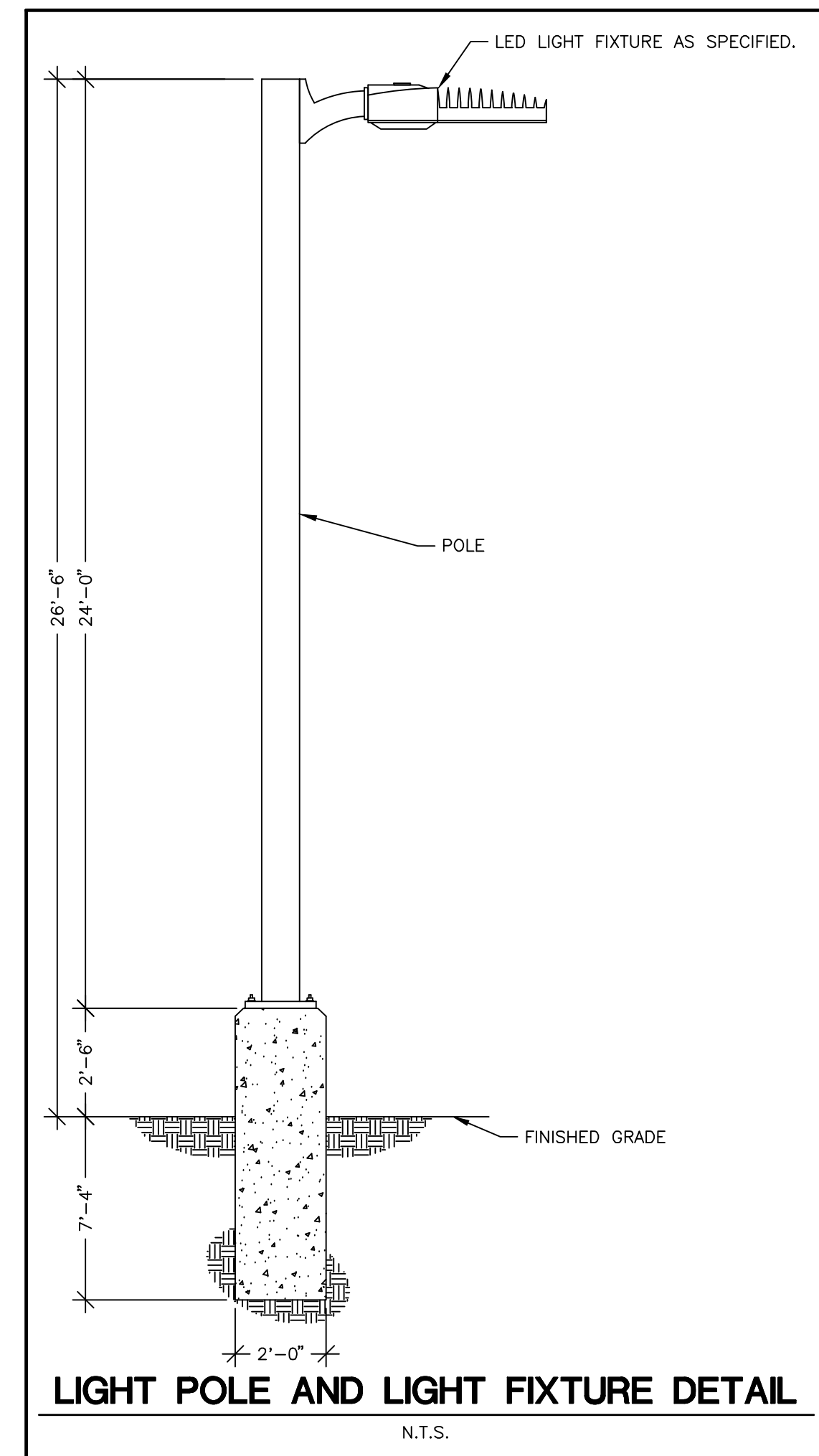
MARK	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	DETAIL	NOTES
(M)	AUTUMN BLAZE MAPLE	ACER RUBRUM	7	2 1/2" CALIPER MIN.	5/L1.2	WELL BRANCHED, FULL HEAD, 10' HEIGHT MIN., B & B
(M)	LITTLE LEAF LINDEN - GREENSPIRE	TILIA CORADA "GREENSPIRE"	17	1 1/2" CALIPER MIN.	5/L1.2	WELL BRANCHED, FULL HEAD, 8' HEIGHT MIN., B & B
(M)	DRAWF NORWAY SPRUCE	TAXUS MEDIA NIGRA	33	2' HEIGHT MIN.	4/L1.2	FULL PLANT
(M)	WHITE SPIREA	SPIRAEA BETULIFOLIA	33	1' HEIGHT MIN.	4/L1.2	FULL PLANT
(M)	STELLA DE ORO DAYLILY	HEMEROCALLIS	40	1' HEIGHT MIN.	4/L1.2	FULL PLANT

SYMBOLS LEGEND

- NOTE: REFER TO SURVEY SHEET FOR SYMBOLS LEGEND OF EXISTING CONDITIONS.
- 1,025 S.F. AREA OF SOD OR MULCH IN SQUARE FEET
 - NEW AREA OF LANDSCAPE GRAVEL
 - NEW AREA OF SOD
 - NEW SHRUB PLANTING
 - NEW TREE PLANTING

1 LANDSCAPE PLAN
L1.1 SCALE: 1" = 20'-0"





AUTOMATIC LIGHTING CONTROL

COMPLIANCE WITH ENERGY CODE IS ACHIEVED BY:

- ONCE THE EMS HAS BEEN PROGRAMMED, THE INTERIOR AND EXTERIOR LIGHTS WILL TURN ON AND OFF USING THE FOLLOWING LOGIC: SEE EM SHEETS.
 - INTERIOR WORK LIGHTS WILL TURN ON WITH FIRST MOTION IN THE STORE AND WILL TURN OFF 15 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.
 - INTERIOR SALES LIGHTS WILL TURN ON AT STORE OPENING AND TURN OFF 15 MINUTES AFTER STORE CLOSING.
 - EXTERIOR SIGN LIGHTS WILL TURN ON WHEN ITS DARK ENOUGH OUTSIDE ANYTIME DURING STORE HOURS, AND WILL TURN OFF AT STORE CLOSING.
 - EXTERIOR SITE LIGHTS WILL TURN ON WHEN IT IS DARK ENOUGH OUTSIDE AND IT IS WITHIN STORE HOURS OR THERE IS MOTION IN THE STORE. THEY WILL TURN OFF 30 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.
- BESTROOMS AND OFFICES: ALL LIGHTING IN THESE AREAS ARE CONTROLLED BY OCCUPANT-SENSING DEVICES.



EXTERIOR LIGHT FIXTURE SCHEDULE

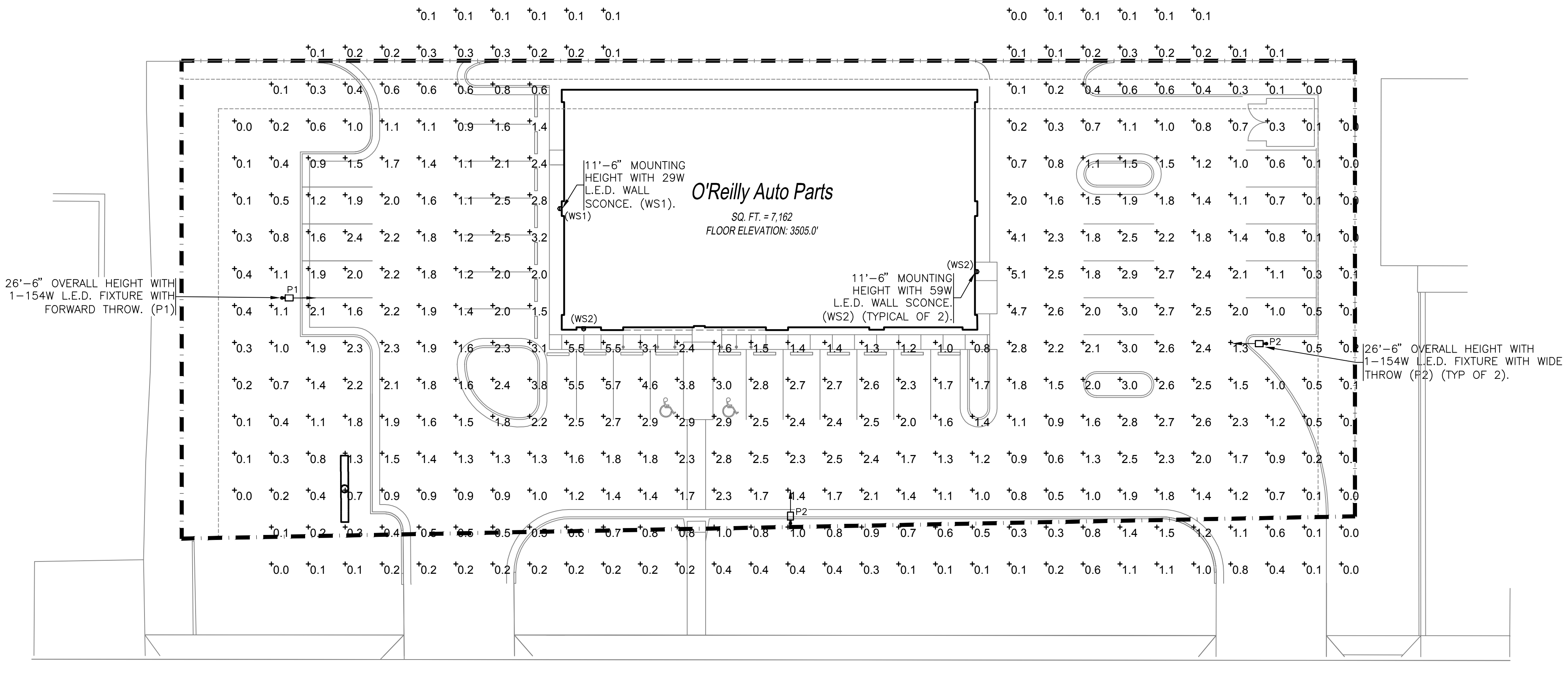
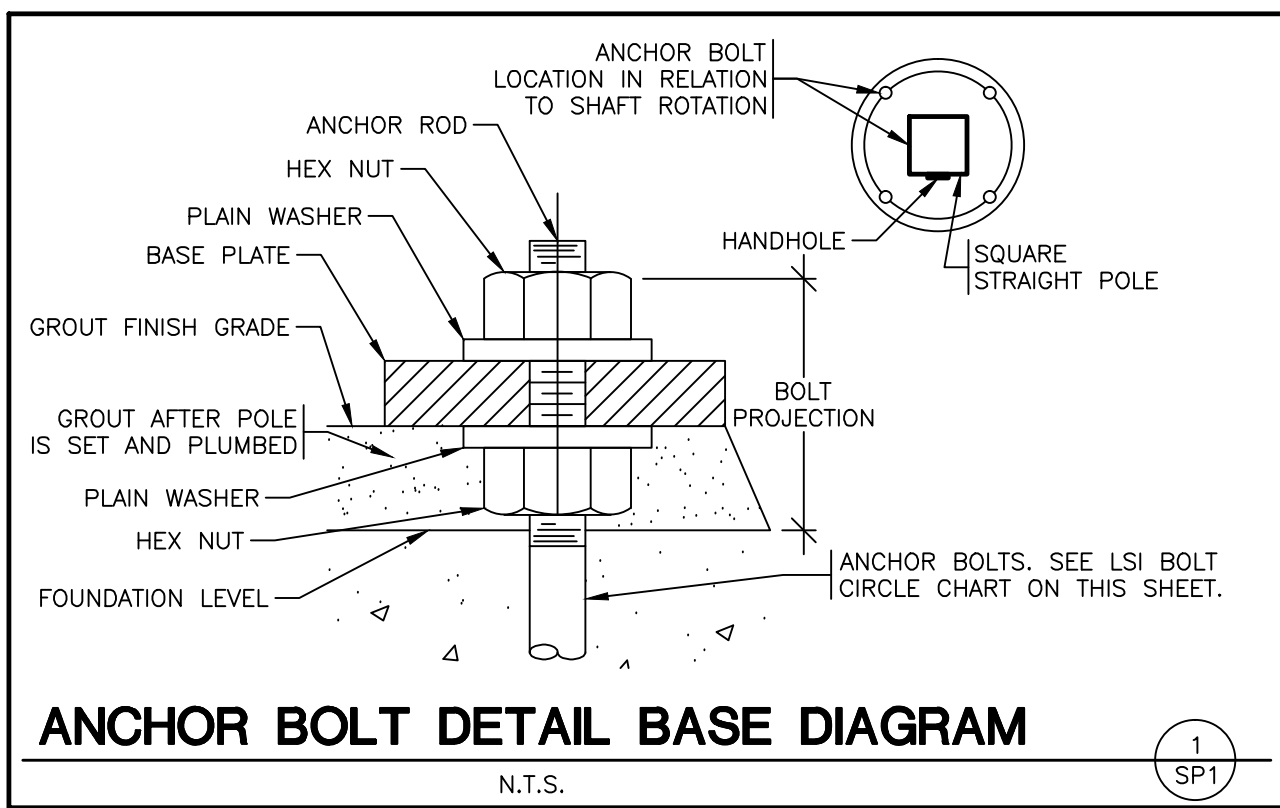
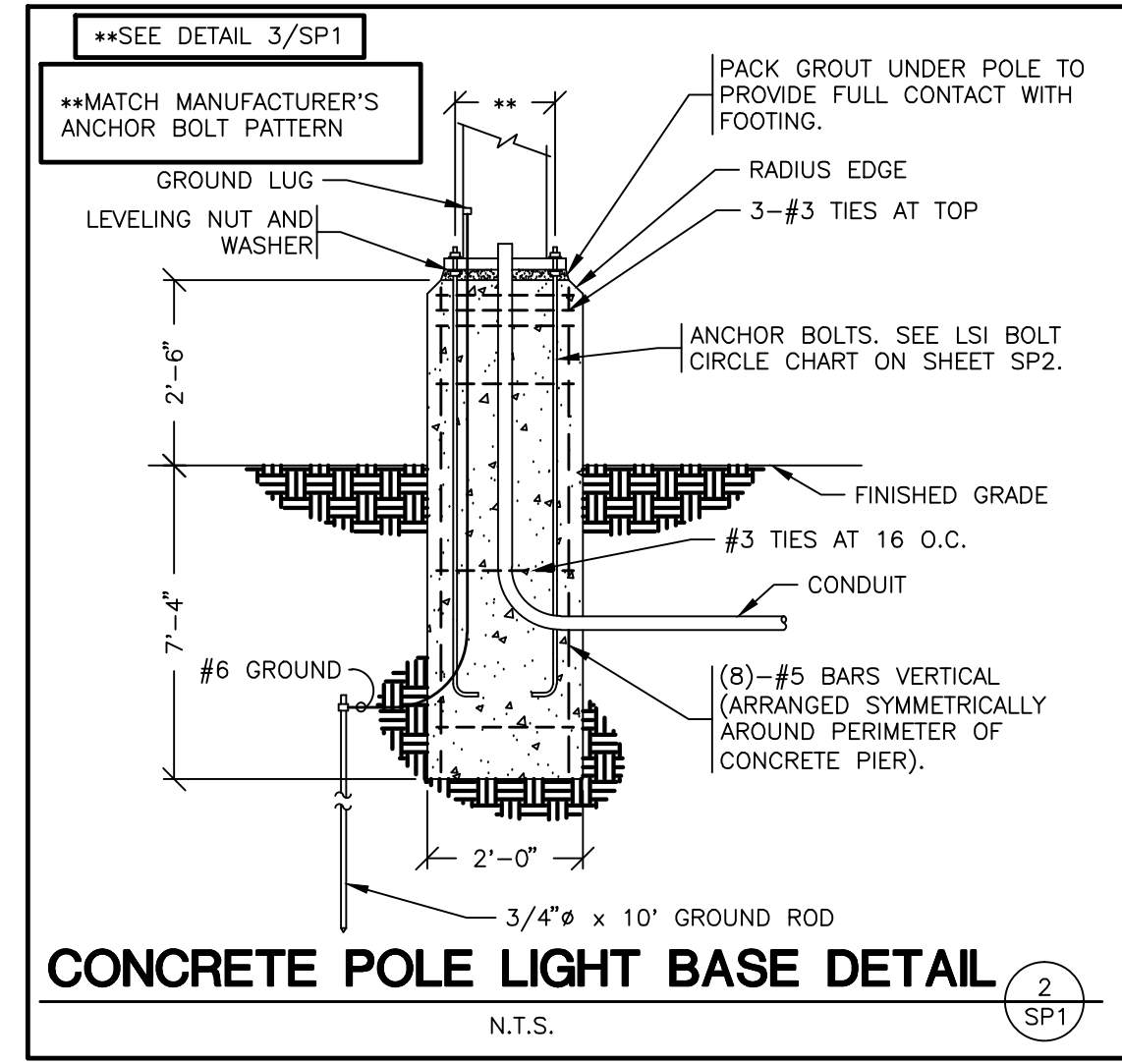
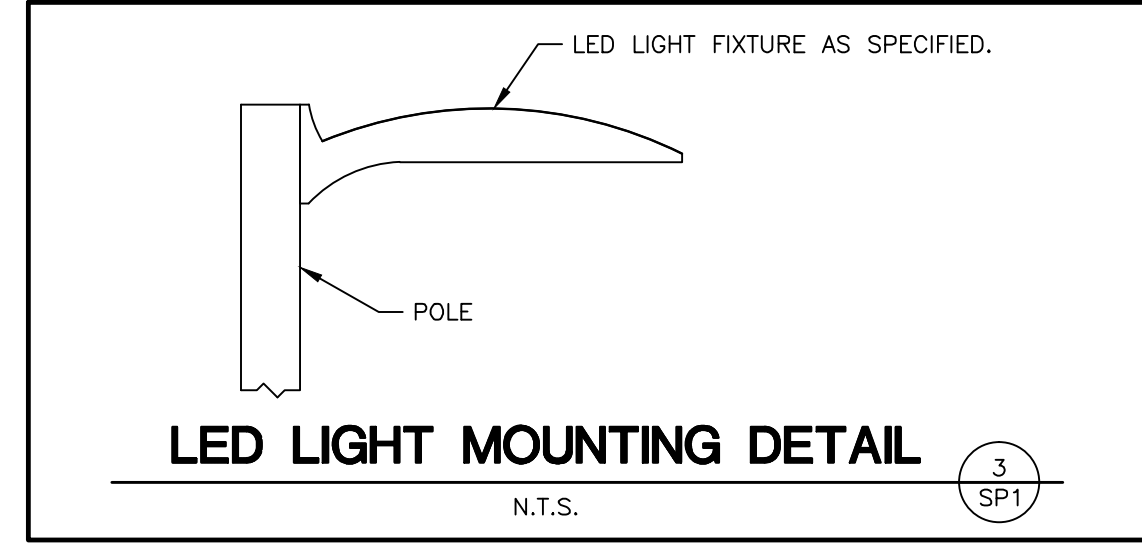
ALL ITEMS LISTED ON THE "LIGHT FIXTURE SCHEDULE" WILL BE SUPPLIED BY THE OWNER (O'REILLY). ITEMS SHALL BE DIRECT ORDERED AND/OR RELEASED FROM THE LISTED ELECTRICAL EQUIPMENT DISTRIBUTOR:

GRAYBAR ELECTRIC CO. INC.
11885 LACKLAND ROAD
ST. LOUIS, MO 63146

GRAYBAR O'REILLY TEAM
EMAIL: oreilly@graybar.com
TOLL FREE: (314) 573-2080

MARK	MFR.	CATALOG NUMBER	SUPPLY VOLTAGE	FINISH	MOUNTING			LAMP TYPE	WATTAGE	NOTES
					SURF. WALL	SURF. CEILING	OTHER			
LED EXTERIOR LIGHTS										
WS1	LSI	XWM-3-LED-03L-50-UE-BRZ NO SUBSTITUTIONS	120	DARK BRONZE	X			X	29	FULL CUT-OFF. ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS.
WS2	LSI	XWM-FT-LED-06L-50-UE-BRZ NO SUBSTITUTIONS	120	DARK BRONZE	X			X	59	FULL CUT-OFF. ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS.
LED POLE LIGHTS										
P1	LSI	XALM-FT-LED-SS-50-UE-BRZ-IL	120	DARK BRONZE			X	X	154	24' POLE LENGTH, FULL CUT-OFF, NO SUBSTITUTIONS. ANCHOR BOLTS W/HARDWARE & TEMPLATE, WITH INTERNAL LOUVER HOUSE SIDE SHIELD.
	LSI	5SQB3-S11G-24-S-BRZ-LAB-5BC								
P2	LSI	XALM-3-LED-SS-50-UE-BRZ-IL	120	DARK BRONZE			X	X	154	24' POLE LENGTH, FULL CUT-OFF, NO SUBSTITUTIONS. ANCHOR BOLTS W/HARDWARE & TEMPLATE, WITH INTERNAL LOUVER HOUSE SIDE SHIELD.
	LSI	5SQB3-S11G-24-S-BRZ-LAB-5BC								

FIXTURE QUANTITY TO BE VERIFIED WITH SITE PLAN QUANTITY



CRAIG A. SCHNEIDER, AIA
ARCHITECT

1736 East Sunshinic, Suite 417
Springfield, Missouri 65804

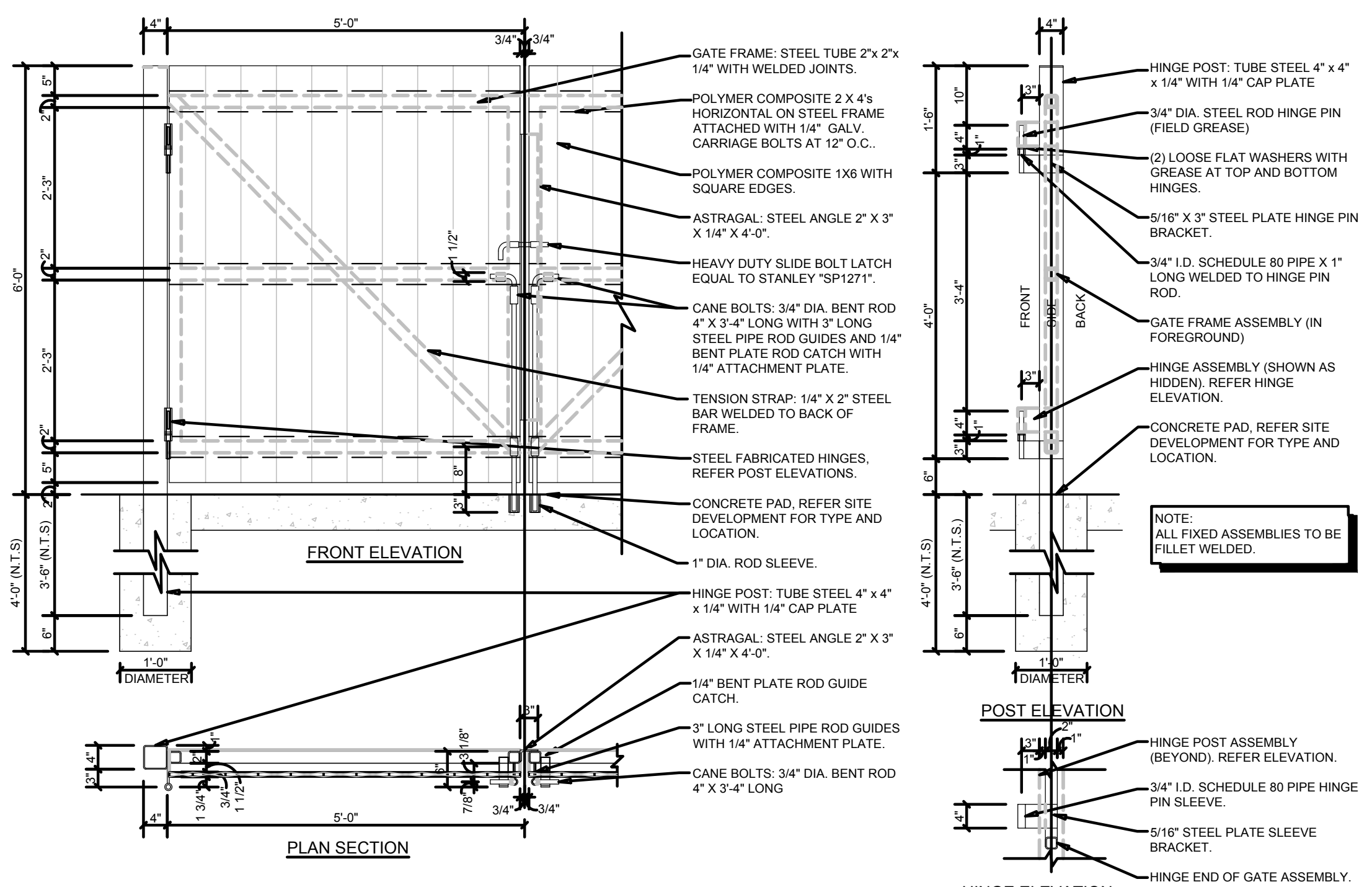
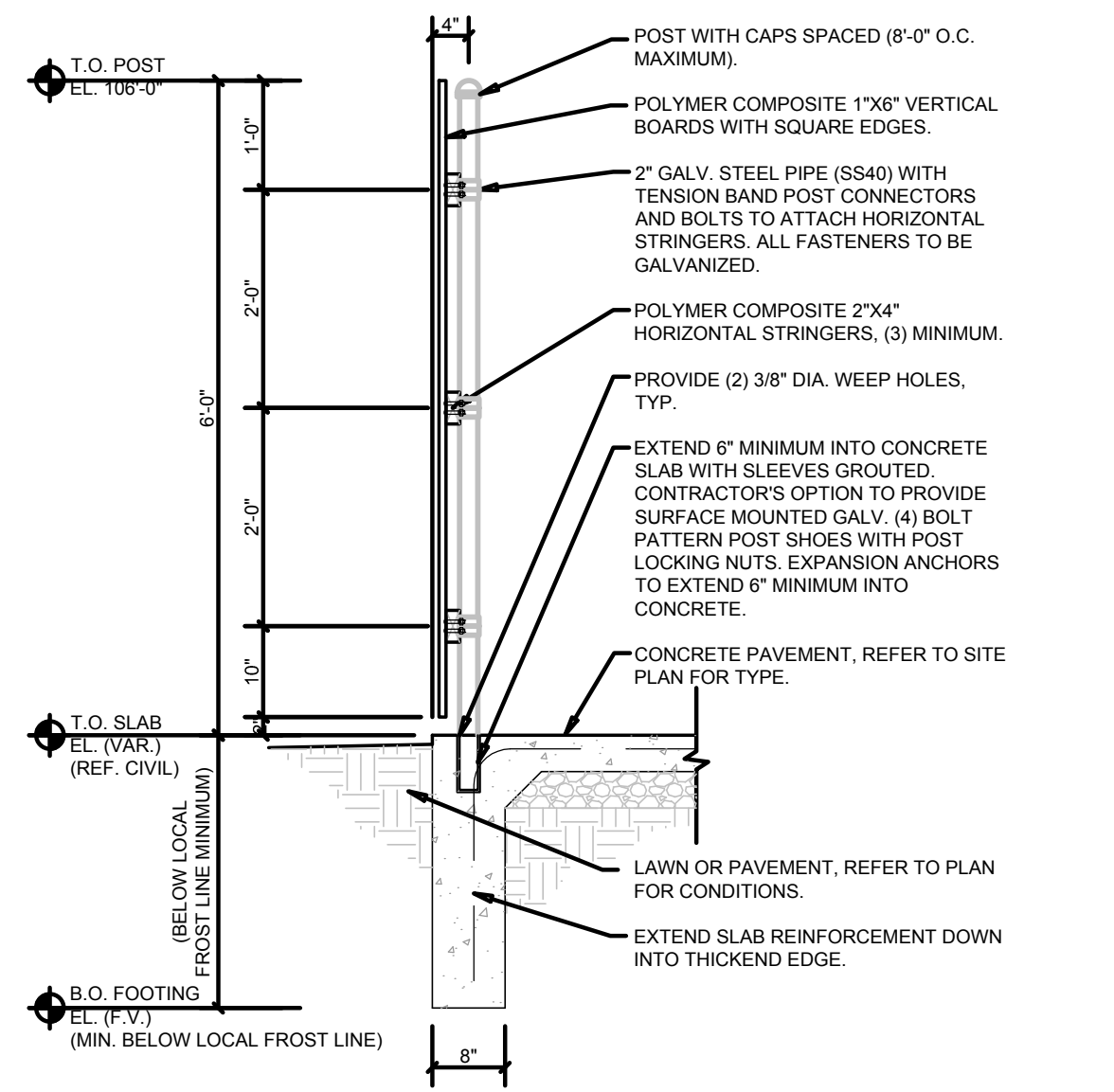
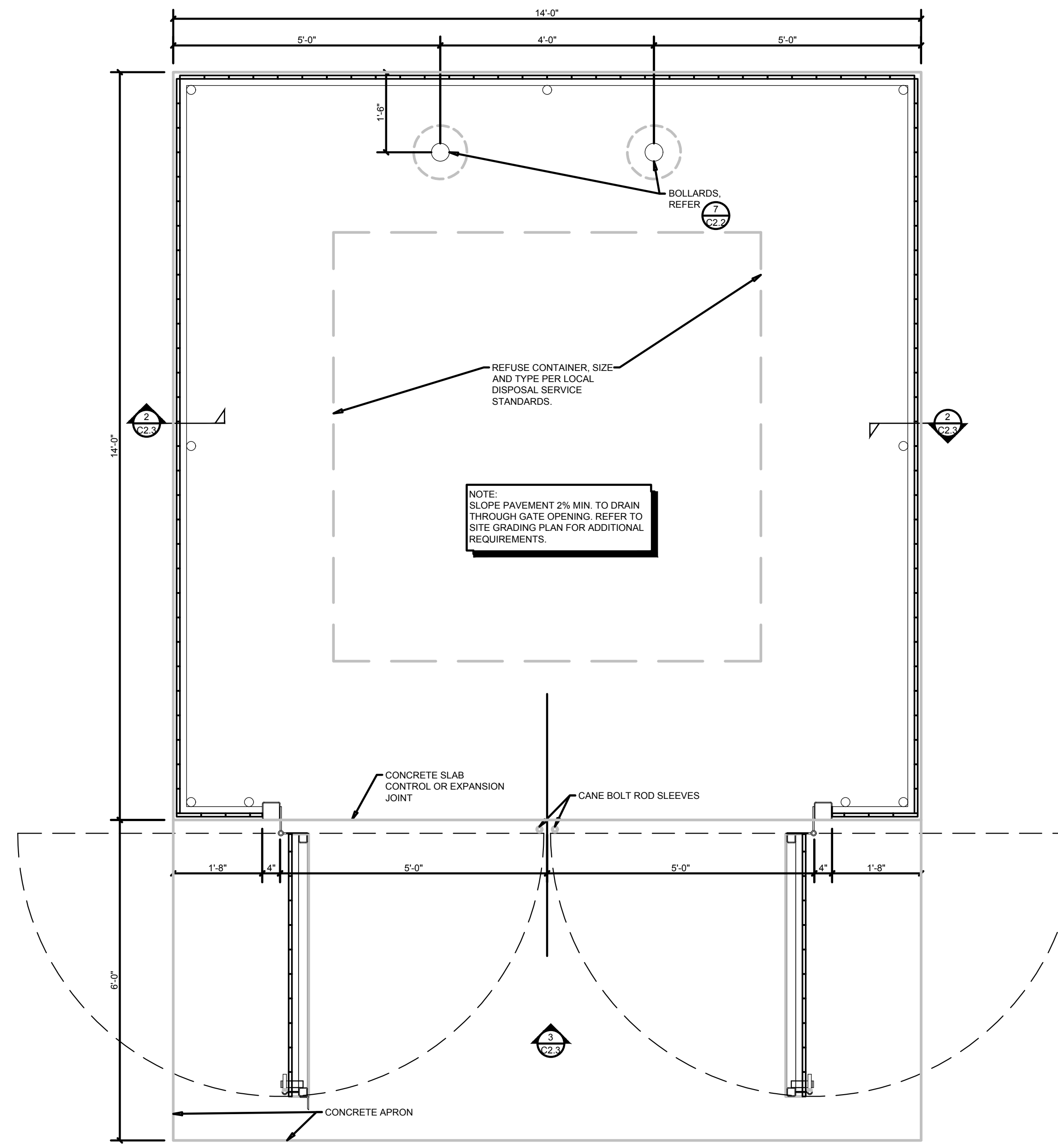
417.862.0558
Fax: 417.862.3265
e-mail: architect@estertyschneider.com

PROJECT:
NEW O'REILLY AUTO PARTS STORE
S 10TH AVE
GREAT FALLS, MT #2
SITE PHOTOMETRIC PLAN



COMM # 4234
DATE: 9-28-18
REVISION DATE:

H:\ORE\0430\0430SP1 27 Sep 2018 - 10:31 am



GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) DIMENSIONS ARE TO ROUGH FACE OF CONCRETE, FRAMING, OR CENTER LINE OF STRUCTURE UNLESS OTHERWISE INDICATED.
- (C) REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (D) REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES, COLORS, AND FINISHES. UNLESS OTHERWISE INDICATED PROVIDE FINISHES AS FOLLOWS:
 1. ALL NON-GALVANIZED METAL PARTS TO BE PRIMED AND PAINTED (2) COATS SHERWIN WILLIAMS SW6488 "HUNT CLUB".
 2. POLYMER COMPOSITE MATERIAL COLOR TO BE EQUAL TO "TREX" DECKING SERIES "PEBBLE GREY". FINAL COLOR TO BE SELECTED BY OWNER FROM MANUFACTURER'S STANDARD SAMPLES.

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

-PRELIMINARY-

TAIT & ASSOCIATES, INC.
 6165 East County Road 16
 Loveland, CO 80537
 P: 970.477.7777
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Since 1984

CONSTRUCTION

CRAIG A. SCNEIDER, AIA
 ARCHITECT

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 e-mail: architect@estertyschneider.com

PROJECT:
 NEW O'REILLY AUTO PARTS STORE
 3219 10TH AVENUE S
 GREAT FALLS, MT 59405

TRASH ENCLOSURE DETAIL

O'Reilly AUTO PARTS

CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

COMM #	0000
DATE:	09.06.18
REVISION	
DATE:	

CAUTION:
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



**Know what's below
 Call before you dig.**