



**Item:** Montana Federal Credit Union – 15 14<sup>th</sup> Street South

**Applicant:** Montana Federal Credit Union, Owner

**Representative:** Jule Stuver – CTA, Inc.

**Presented By:** Brad Eatherly, Planner I, Planning and Community Development

**Action Requested:** Approve the submitted design with conditions.

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**Suggested Motion:**

1. Board Member moves:

“I move that the Design Review Board approve the Design Review Application for the proposed Montana Federal Credit Union building addition, located at 15 14<sup>th</sup> Street South as shown in the conceptual development plans contained within this report and provided by the Applicant, subject to the conditions of approval.”

2. Chairman calls for a second, discussion, inquiries from the public, and calls the vote.

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**Overall Project Description:**

The applicant is proposing construction of an expansion to the Montana Federal Credit Union on a .91 acre parcel located at 15 14<sup>th</sup> Street S., legally described as Great Falls First Addition, Block 354, Lot 8A, Section 7, Township 20 North, Range 4 East, P.M.M., Cascade County, MT. The proposed project would also include landscaping and a trash enclosure that sits on Lot 7 in the northeast section of the same block. Lots 1-6 of Block 354 is currently owned by the First Presbyterian Church and utilized as a parking lot. The credit union and the church have a shared parking agreement for that parking lot and the credit union is proposing to re-pave and re-configure the parking lot. The parking lot to the west of the existing credit union building, will remain unchanged. The expansion includes a two-story banking building comprising 13,992 sq. ft. on the ground floor with another 6,620 sq. ft. for the second floor for a total of 20,612 sq. ft. The site is zoned C-5 Central Business Periphery.

**Exhibit 28-1 Standards and Guidelines for specific projects and buildings**

Expansion

The proposal is in compliance with all requirements of Exhibit 28-1. One guideline, dealing with signage, states that signs should consist of materials and colors that are similar to and compliment the primary structure. It should be noted that the color scheme of the proposed

signage is bold and varies from the neutral colors of the existing and proposed buildings. This includes the proposed awnings near the front façade entrance. These can be seen in the attached renderings. Staff does recognize the boldness of the color scheme and its departure from Guideline 24. However, staff is ultimately fine with the design because the bold color signage and awnings are a small part of the overall building. The two-story expansion is proposed with a contemporary design containing a gabled roof with asphalt shingles as well as a flat roof. The addition is proposed with a simple yet classic design. The exterior materials will consist of stone and EIFS. The building will be constructed with neutral colors that match the existing building such as Wheat and Sage Bend, and more vibrant accent colors with shades of purple and blue. The design of the proposed building will help to deter the monotony of identical treatments, while the exterior materials will convey permanence, stability, maintainability, and long life. A full color and material palette can be found in the attached color renderings and elevations.

A trash enclosure is located on the adjacent vacant property owned by the applicant. While this is an unusual location choice, it doesn't violate City code. The enclosure is designed to be screened by a six (6) foot high fence, brick veneer, and CMU block wall.

### **Conformance with Title 17 - Land Development Code**

The proposed project has been reviewed for initial compliance with the relevant requirements of Title 17 - Land Development Code, of the Official Code of the City of Great Falls (OCCGF), including but not limited to zoning, setbacks, building height and lot coverage.

### Site Plan

The site plan includes no new curb cuts on any part of the block. No new sidewalks are proposed. New crosswalks lead from the parking lot that is owned by the First Presbyterian Church to sidewalks for safe pedestrian access to the front and rear doors of the credit union building.

The conceptual layout for the credit union's parking lot shows 24 parking spaces, two of which will be ADA accessible. The conceptual parking layout for the church's parking lot, shows 90 parking spaces, one of which will be ADA accessible. This meets the code requirements for commercial buildings, which require 1 parking space per 300 square feet. The parking spaces are designed with a 10-foot width by 19-foot length. The church and the credit union have a shared parking agreement.

### Outdoor Lighting

The applicant has provided an outdoor lighting plan which is in compliance with the requirements of Chapter 40 - Outdoor Lighting of the OCCGF. The proposed lighting plan provides lighting mounted on the building and pole-mounted lights in the parking lot. The fixtures are full down cast to prevent light pollution into the surrounding areas.

### Landscaping

The proposed landscaping is in compliance with the minimum requirements of the OCCGF. Paved or nonliving surfaces are the dominant texture within the interior of the site, with cement walkways accessing the building from the public right-of-way, an asphalt parking lot, and organic mulch in all landscape beds. The exterior of the site will be significantly improved by landscaping including grass, canopy trees, shrubs, and perennials.

The OCCGF Chapter 44 – Landscaping requires one (1) canopy tree and seven (7) shrubs to be planted and maintained for each four hundred (400) square feet of landscaped area, which is fifteen percent of the gross lot area. For this site, there are already 20 existing interior trees on the property. A total of 137 new shrubs required to be installed. The applicant’s proposal is in compliance with code requirements.

Signage

The applicant is proposing signage to be placed on the exterior facade of the building as well as two existing monument signs. The proposed signage will be reviewed under a separate application and shall meet the requirements of the OCCGF.

**Recommendation:**

Staff supports this application and recommends the Design Review Board approve the submitted design with conditions.

**Conditions of Approval:**

- A. The proposed project shall be developed consistent with the conditions in this staff report, all codes and ordinances of the City of Great Falls, the State of Montana, and all other applicable regulatory agencies.
  
- B. If after the approval of the conceptual development plans as amended by this Board, the owner proposes to expand or modify the conceptual development plans, the Director of the Planning and Community Development Department shall determine in writing if such proposed change would alter the concept for one or more review criteria. If such proposed change would alter the plan, the proposal shall be resubmitted for review as a new application.

Exhibits:

Project Narrative  
Aerial Map  
Site Photos  
Elevations/Renderings/Color Palette  
Development Plans

CC Dave Dobbs, City Engineering  
Patty Cadwell, Neighborhood Council Coordinator  
Todd Seymanski, City Forester  
Jule Stuver, CTA, Inc., julst@ctagroup.com



## Design Review Board Narrative

**TO:** Brad Eatherly  
**FROM:** Jule Stuver, CTA Inc.  
**DATE:** September 28, 2018  
**RE:** Montana Federal Credit Union Addition to 14<sup>th</sup> Street

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The proposed construction is for a two-story addition to the east side of the existing Montana Federal Credit Union located at 15 14<sup>th</sup> Street South, as well as remodeling the existing single floor building itself. The addition will extend office space and relocate conference and training areas from the existing facility into the new addition. The addition's floor plan incorporates open central area windows opening up toward 15<sup>th</sup> street. The second floor space will have a central open atrium and include break room, lounge and meeting areas. The existing bank will be remodeled with new office layout and teller line.

Legal Description: Great Falls First Addition, Section 07, Township 20 N, Range 04 E, Block 354, Lots 8-14

Property Zoning: C-5 Central Business Periphery

Project Area: Existing 7,350 existing + 13,262 new = 20,612 sf

The existing building is a 7,350 square foot single level structure with mechanical mezzanine built in 2004. The addition will be a two-story addition with 6,640 square feet footprint for an overall of 20,612 square feet building. The exterior walls are of stone veneer to match the existing structure. The gables will be EIFS to match the existing building. Roof will include both flat membrane areas with screened by parapets and sloped shingle roof to match existing structure.

The addition will replace existing parking at the east side of building. The total required parking is 69 stalls. The existing stalls with the construction of the addition will be 22 stalls. Banks shares parking with the north parking lot owned by the Trinity Evangelical Lutheran Church. Parking meets requirements of allowable shared parking per 17.36.2.060 bank/religious institution adjoined parking. Existing parking lot light poles will be updated with new LED heads.

Landscape will be removed due to the construction of the addition. New landscape foundation plantings are added to bring count up to requirements. Landscaping will be similar to what is currently on site to provide continuity of existing species. Existing boulevard tree count was below

## MEMORANDUM (cont.)

the requirement of a tree per 35'-0 and therefore new boulevard Greenspire Lindens and Norway Maples have been added to boulevard to meet the requirements.

# AERIAL MAP



 Subject Property

 CityStreets

 City Limits

180 90 0 180 Feet



# Site Photos



Looking SW from Central Ave



Looking north from 1st Ave S



*prototype: 14th Street*

# EXISTING CONDITIONS



*prototype: 14th Street*

# EXISTING CONDITIONS: SIGNAGE CONCEPT

PORTICO FILL-IN,  
CHANNEL-LIT LOGO  
SCONCES & AWNINGS



*New Construction:  
14th Street*

**ADDITION: RENDERING & MATERIALS**



**EXTERIOR MATERIALS**



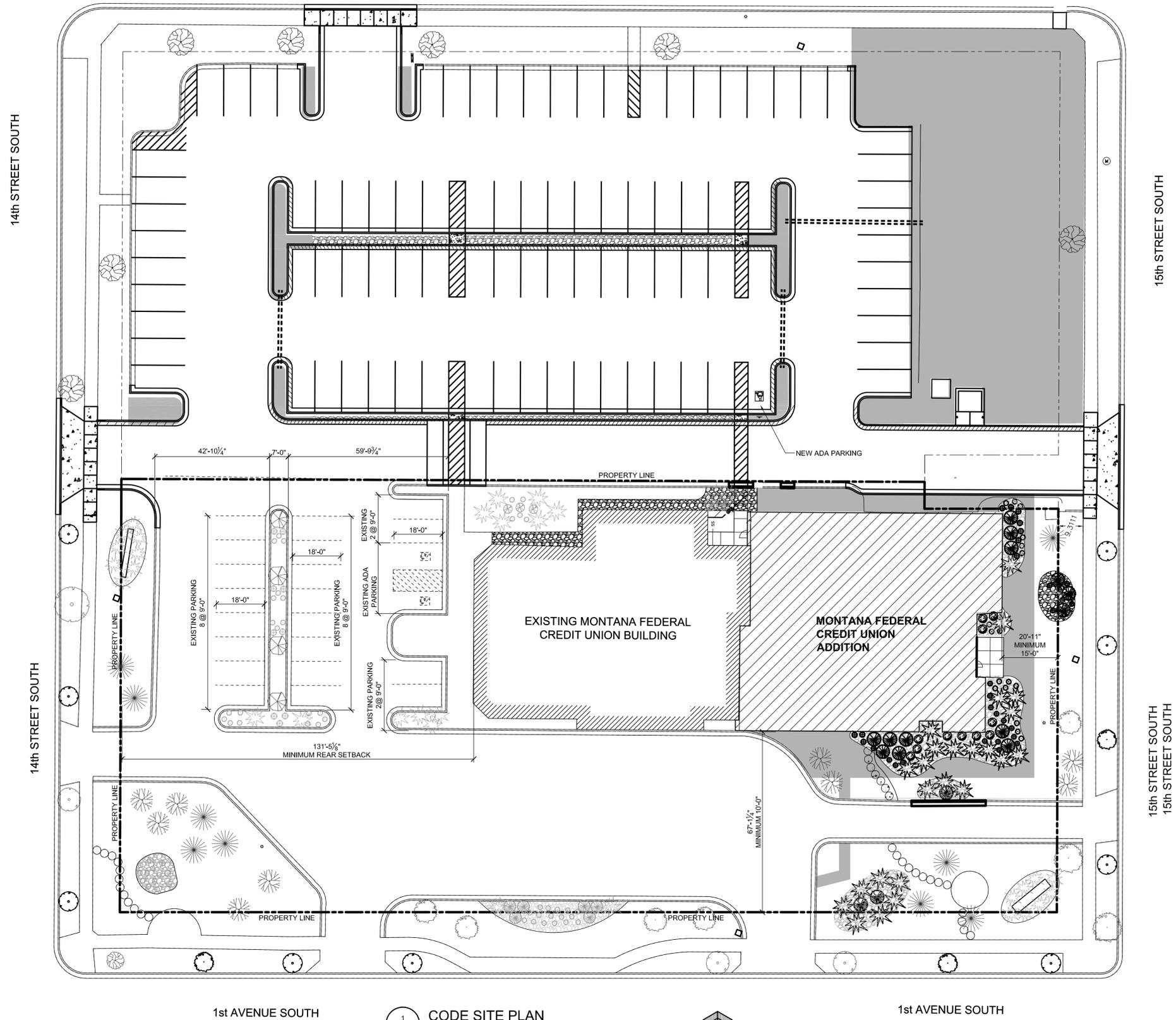
STONE:DRESSED/WHEAT



STONE: ROCKED/SAGE BAND



EIFS: AT GABLES AND BAND



1 CODE SITE PLAN  
CD01

1"=20'-0"  
NORTH REF

**ZONE REQUIREMENTS**

<b>ZONE:</b>	C-5, CENTRAL BUSINESS PERIPHERY	<b>HEIGHT LIMITS:</b>	<b>MAXIMUM BUILDING HEIGHT</b>	55 FEET	ACTUAL 39'-10"	<b>PARKING REQUIREMENTS:</b>	1 PER 300 SF GROSS FLOOR AREA	20,612 SF / 300 = 69 STALLS REQUIRED.
<b>ADDRESS:</b>	15 14TH STREET SOUTH, GREAT FALLS, 59401	<b>SETBACKS:</b>	<b>MINIMUM FRONT REQUIREMENT:</b>	15'-0"	ACTUAL 20'-11"	<b>ADA REQUIRED:</b>	3	
<b>LEGAL DESCRIPTION:</b>	GEocode: 02-3016-07-2-13-08-0000 & 02-3016-07-2-13-03-0000, Great Falls First Addition, S07, T20 N, R04 E, Block 354, Lots 7-14, LOTS CONSILIATED		<b>MINIMUM SIDE REQUIRED</b>	10'-0"	EXISTING NON-CONFORMING	<b>EXISTING PARKING SPACES ON CONSOLIDATED LOTS</b>	22	
<b>LOT ACREAGE:</b>	1.377		<b>MINIMUM REAR REQUIRED (1/10TH LOT DEPTH /NOT LESS THAN 1/10TH BLDG HGHT)</b>	350'-0" X 0. = 35'-0"	ACTUAL 131'-5"	<b>ADA STALLS</b>	3	
<b>BUILDING SQUARE FOOTAGE:</b>	TWO STORY ADDITION					<b>SHARED PARKING ALLOWABLE PER 17.36.2.060: BANK / RELIGIOUS INSTITUTION CHURCH PARKING IS ADJOINING AND MEETS REQUIREMENTS OF 17.36.2.060.</b>		
<b>SF=</b>	FIRST FLOOR 13,992 SF SECOND FLOOR 6,620 SF TOTAL = 20,612 SF							

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

GREAT FALLS, MONTANA  
14TH STREET ADDITION

**MONTANA FEDERAL CREDIT UNION**

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CONSTRUCTION DOCUMENTS

09.13.1218  
DRAWN BY | STUVER  
CHECKED BY | STUVER  
REVISIONS

CODE SITE PLAN

**CD01**

### Site Requirements

**BUILDING AREAS:**  
 MAIN LEVEL .....13,992 SF  
 UPPER LEVEL .....6,620 SF

**TOTAL BLD'G SF FOR LANDSCAPING CALC. ....20,612 SF**  
 (BASEMENT NOT INCLUDED IN CALC)

**PROPERTY AREA:**  
 GROSS PROPERTY AREA .....62,500 SF

**LANDSCAPE REQUIREMENTS:**  
 MIN. LANDSCAPING REQUIREMENTS 15% 52,500 SF X 15% = 7,825 SF REQUIRED  
 12,334 SF PROVIDED

**PLANTING REQUIREMENTS:**  
 1 TREE AND 7 SHRUBS PER 400 SF  
 REQUIRED 7,825 SF / 400 SF = ..... 20 TREES REQUIRED  
 ..... 20 EXISTING INTERIOR TREES  
 ..... 137 SHRUBS REQUIRED  
 ..... 137 SHRUBS PROVIDED  
 ..... 138 TOTAL SHRUBS

**BOULEVARD TREES**  
 1 BLVD TREE PER 35'-0" OF STREET FRONTAGE (EXCLUDING DRIVES)  
 REQUIRED: 740 LF / 35 LF = ..... 22 BLVD TREES REQUIRED  
 ..... 23 BLVD TREES PROVIDED (13 EXISTING 12 NEW)

**FOUNDATION PLANTINGS**  
 FRONTAGE: EXISTING  
 SIDE FRONTAGE: 188'-6" x 20% = 37'-8"

**PLANT LEGEND:**

	PATMORE ASH, SHADE TREE, TO BE IRRIGATED		CANADA RED CHERRY, SHADE TREE, TO BE IRRIGATED
	GREENSPIRE LINDEN, SHADE TREE, TO BE IRRIGATED		MINT JULIP JUNIPER SHRUB, DRIP IRRIGATION
	QUAKING ASPEN, SHADE TREE, TO BE IRRIGATED		BUFFALO JUNIPER, GROUND COVER, DRIP IRRIGATION
	NORWAY MAPLE, SHADE TREE, TO BE IRRIGATED		GLOBE ARBORVITAE, SHRUB, DRIP IRRIGATION
	COLORADO BLUE SPRUCE, SCREEN TREE, TO BE IRRIGATED		GOLDFINGER POTENTILLA, SHRUB, DRIP IRRIGATION
			GOLD NINEBARK, SHRUB, DRIP IRRIGATION
			STELLA DE ORO DAYLILY, DRIP IRRIGATION
			NEW SODDED LAWN, TO BE IRRIGATED

**PLANT SCHEDULE**

**TREES**

QTY.	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	COND.	REMARKS
8	PA	PATMORE GREEN ASH	FRAXINUS PENNSYLVANICA	2" CALIPER	B&B	SINGLE LEADER
11	GL	GREENSPIRE LINDEN	TILIA CORDATA	2" CALIPER	B&B	SINGLE LEADER
10	QA	QUAKING ASPEN	POPULUS TRIMULOIDES	EXISTING	B&B	SINGLE LEADER
7	NM	NORWAY MAPLE	ACER PLATANOIDES	EXISTING	B&B	SINGLE LEADER
9	BS	COLORADO BLUE SPRUCE	PICEA PUNGENS GLAUCA	EXISTING	B&B	SINGLE LEADER
1	CC	CANADA RED CHERRY	PRUNUS VERGINIANA	EXISTING	B&B	'SHUBERT'

**SHRUBS**

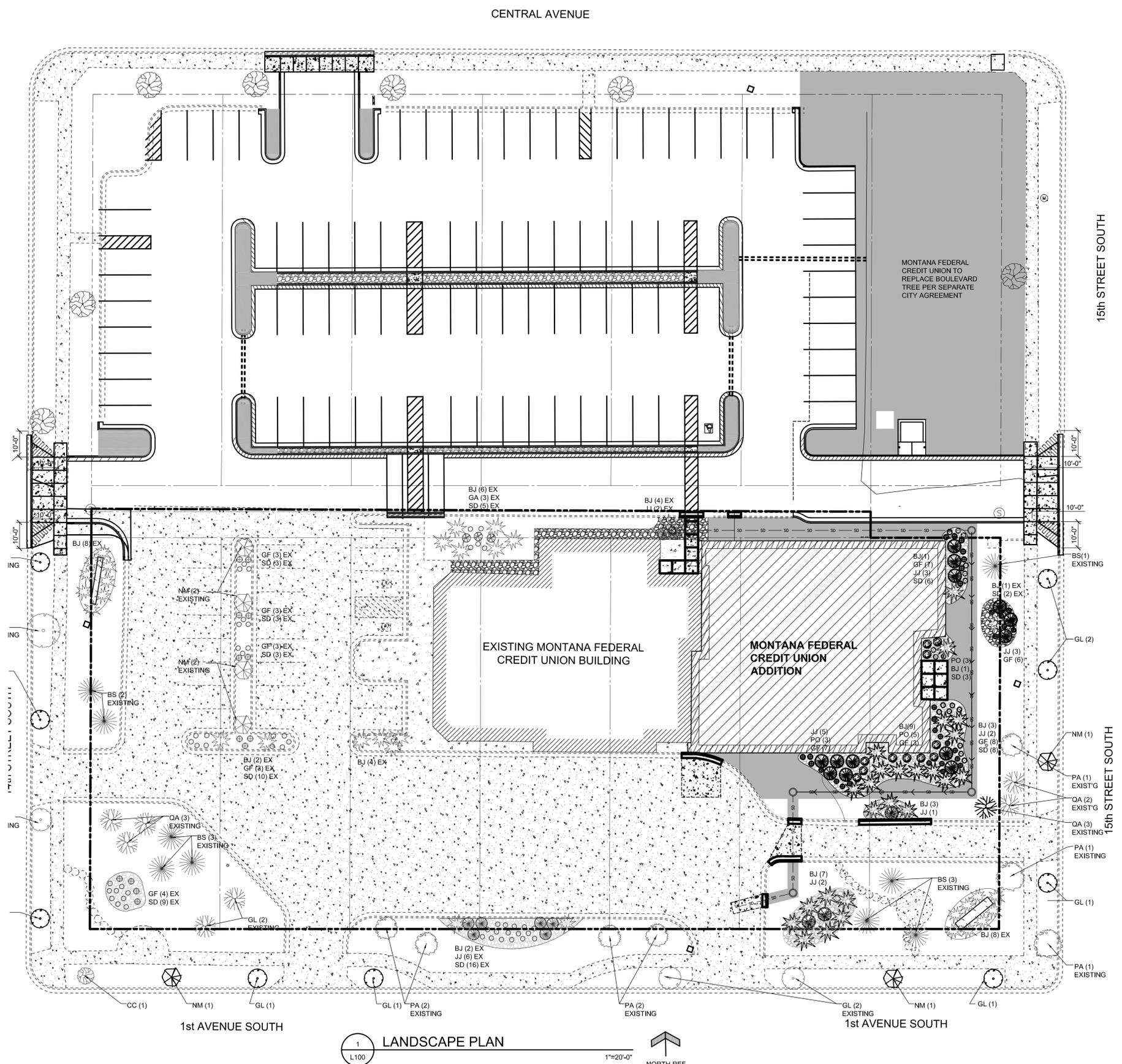
QTY.	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	COND.	REMARKS
59	BJ	BUFFALO JUNIPER	JUNIPERUS SABINA	5 GAL.	UNIFORM	'BUFFALO'
3	GA	GLOBE ARBORVITAE	THUJA OCCIDENTALIS	5 GAL.	UNIFORM	'LITTLE GIANT'
24	JJ	MINT JULIP JUNIPER	JUNIPERUS CHINENSIS	5 GAL.	UNIFORM	'MINT JULIP'
42	GF	GOLDFINGER POTENTILLA	POTENTILLA FRUTICOSA	5 GAL.	UNIFORM	'GOLDFINGER'
11	PO	DART'S GOLD NINEBARK	PHYSOCARPUS OPULIFOLIUS	5 GAL.	UNIFORM	'DART'S GOLD'

**ORNAMENTAL GRASS**

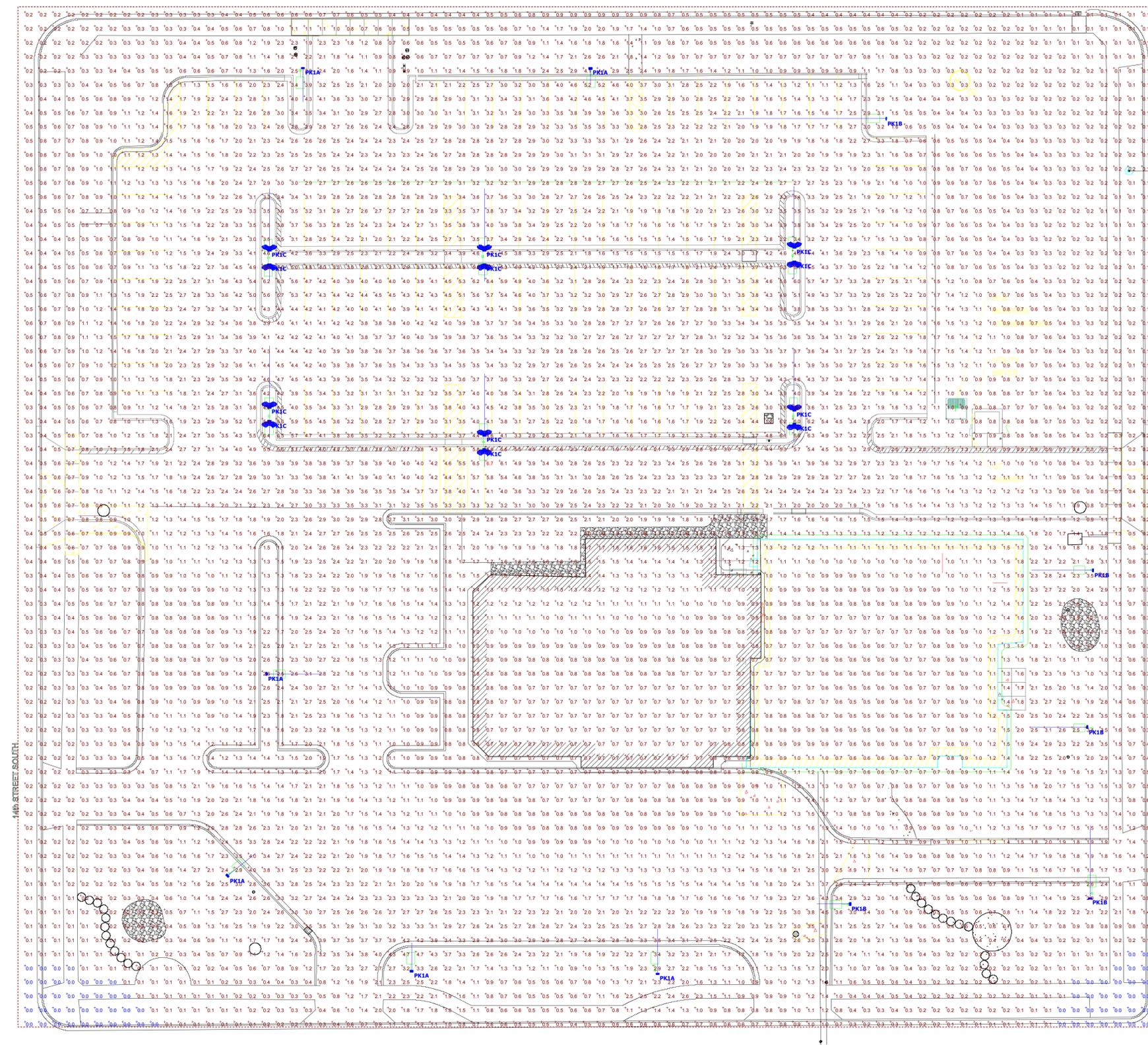
QTY.	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	COND.	REMARKS
71	SD	STELLA DE ORO DAYLILY	HEMEROCALLIS	5 GAL.	UNIFORM	'LITTLE GRAPETTE'

- PLANTING NOTES:**
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INSTALLATION. EXCAVATION, OR PLANTING OPERATIONS, ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTOR'S RESPONSIBILITY.
  - CONTRACTOR TO REVIEW ALL OTHER CONTRACT DOCUMENTS, CIVIL AND LANDSCAPING SHEETS IN PARTICULAR. CONTRACTOR TO EVALUATE EXISTING SITE CONDITIONS AND REMEDY AS REQUIRED TO PROVIDE FOR HEALTHY PLANT GROWTH AND MITIGATE UNSIGHTLY CONDITIONS.
  - LAWN AREAS SHALL RECEIVE 6" OF TOPSOIL AND PLANTER AREAS SHALL RECEIVE 12" OF TOPSOIL. COORDINATE TOPSOIL INSTALLATION WITH OTHER TRADES. CONTRACTOR SHALL VERIFY CHARACTERISTICS OF TOPSOIL TO BE INSTALLED AND AMEND AS REQUIRED TO GET PROPER CHARACTERISTICS AND DEPTH.
  - CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. THE ILLUSTRATED LOCATION SHALL DICTATE COUNT. DURING PLANT AND IRRIGATION SYSTEM INSTALLATION, KEEP ADJACENT PAVING, CONSTRUCTION AREAS, AND WORK AREAS CLEAN AND IN ORDERLY CONDITION. PROTECT ALL PLANT AND IRRIGATION MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS OR ACTIVITIES BY OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE ANY DAMAGED PLANTINGS OR IRRIGATION EQUIPMENT.
  - IN THE EVENT OF ANY DISCREPANCIES, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
  - NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT.
  - ALL PLANTING BEDS TO BE MULCHED WITH ORGANIC MULCH. MULCH AS SPECIFIED. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
  - EDGING AS SPECIFIED. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
  - WEED BARRIER AS SPECIFIED. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
  - ALL SOD AREAS, FOUNDATION PLANTINGS, PARKING LOT ISLANDS, AND R.O.W. TO BE IRRIGATED SEE IRRIGATION NOTES.

- TREE, SHRUB, AND PERENNIAL NOTES:**
- ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN NURSERY AND LANDSCAPE ASSOCIATION STANDARD FOR NURSERY STOCK.
  - ALL PLANT MATERIAL SHALL BE INSTALLED USING COMMON SENSE AND GOOD PLANTING PRACTICES.
  - WEED BARRIER FABRIC SHALL BE INSTALLED IN ALL TREE WELLS AND SHRUB BEDS.
  - ALL PLANT MATERIAL SHALL RECEIVE AN ADEQUATE AMOUNT OF WATER TO MEET WATERING REQUIREMENTS SUPPLIED BY AN AUTOMATIC IRRIGATION SYSTEM.
  - ALL PLANTS SHALL BE INSTALLED AFTER THE IRRIGATION SYSTEM.
  - CONTRACTOR SHALL MAINTAIN TREES AND SHRUBS FOLLOWING SUBSTANTIAL COMPLETION AS SPECIFIED BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. RESTORE OR REPLACE DAMAGED TREE WRAPPINGS.
  - ALL TREES SHALL HAVE MULCH RINGS. ALL B&B MATERIAL SHALL HAVE ALL TWINE AND BURLAP REMOVED, AND AT LEAST HALF OF THE WIRE BASKET REMOVED. ROOT FLARES SHALL BE VISIBLE ABOVE FINISHED GRADE.
  - IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY AND MITIGATE AS REQUIRED.



LANDSCAPE PLAN  
1"=20'-0"  
NORTH REF



14th STREET SOUTH

16th STREET SOUTH

1st AVENUE SOUTH

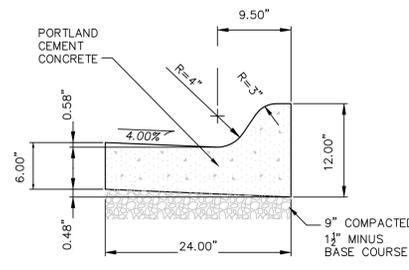
Plan View  
Scale - 1" = 20ft

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	PK1A	6	Lithonia Lighting	DSX0 LED P6 40K T2M MVOLT	DSX0 LED P6 40K T2M MVOLT	LED	1	DSX0_LED_P6_4 OK_T2M_MVOLT.l es	15931	1	134
	PK1B	5	Lithonia Lighting	DSX0 LED P6 40K T4M MVOLT	DSX0 LED P6 40K T4M MVOLT	LED	1	DSX0_LED_P6_4 OK_T4M_MVOLT.l es	15627	1	134
	PK1C	12	Lithonia Lighting	DSX0 LED P6 40K T3M MVOLT	DSX0 LED P6 40K T3M MVOLT	LED	1	DSX0_LED_P6_4 OK_T3M_MVOLT.l es	15508	1	134

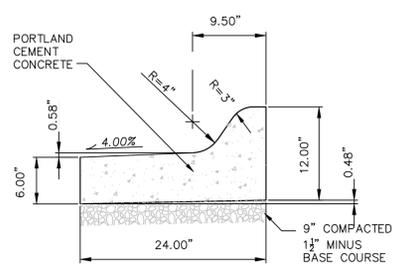
Designer  
LANCE JONES  
Date  
9/28/2018  
Scale  
Not to Scale  
Drawing No.  
MTFCU SITE PLAN  
Summary  
MT FED CREDIT  
UNION GF MT



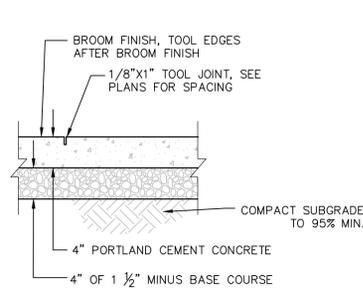
www.ctagroup.com  
800.757.9522



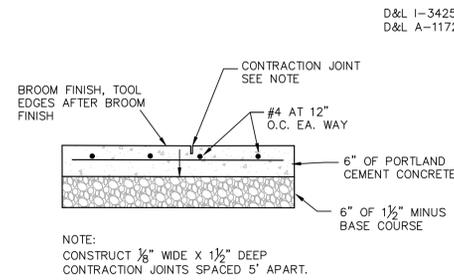
**STANDARD CURB & GUTTER**  
SCALE: NOT TO SCALE



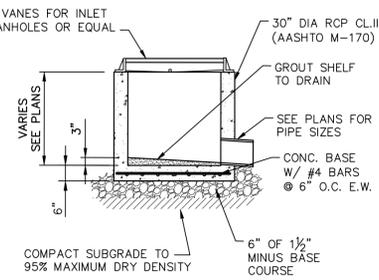
**SPILL CURB & GUTTER**  
SCALE: NOT TO SCALE



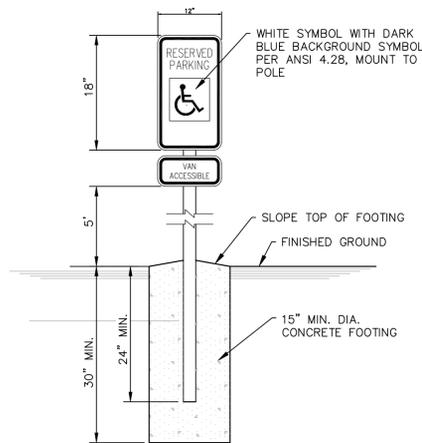
**4" CONCRETE SIDEWALK SECTION**  
SCALE: NOT TO SCALE



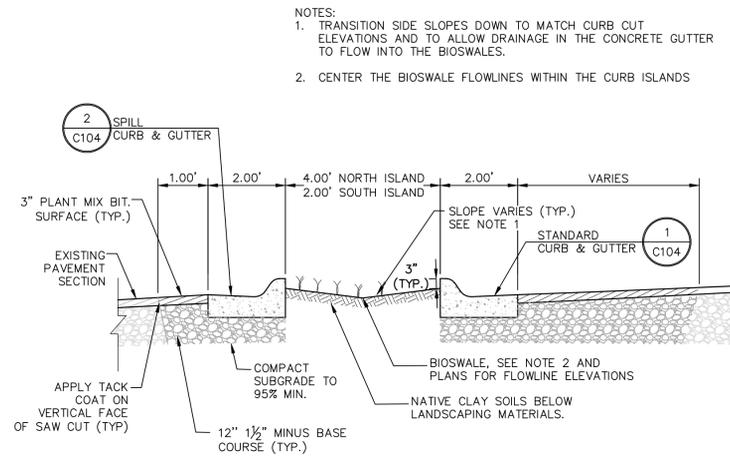
**6" REINFORCED CONCRETE SECTION**  
SCALE: NOT TO SCALE



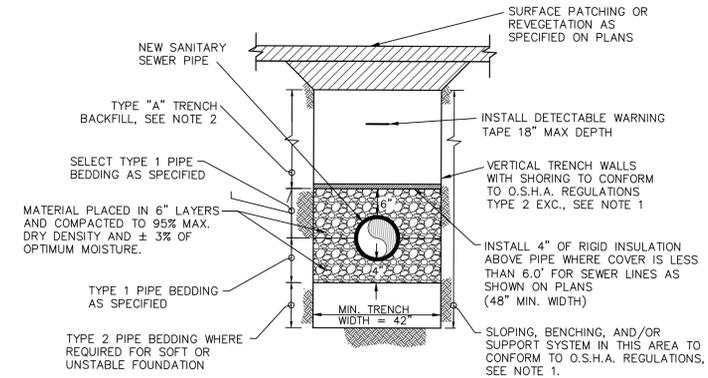
**STORM DRAIN INLET / MANHOLE**  
SCALE: NOT TO SCALE



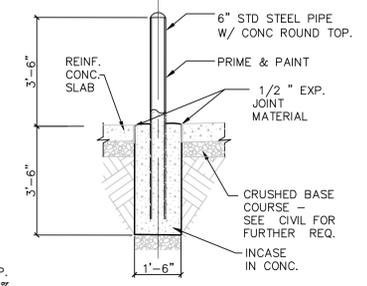
**ADA PARKING SIGN**  
SCALE: NOT TO SCALE



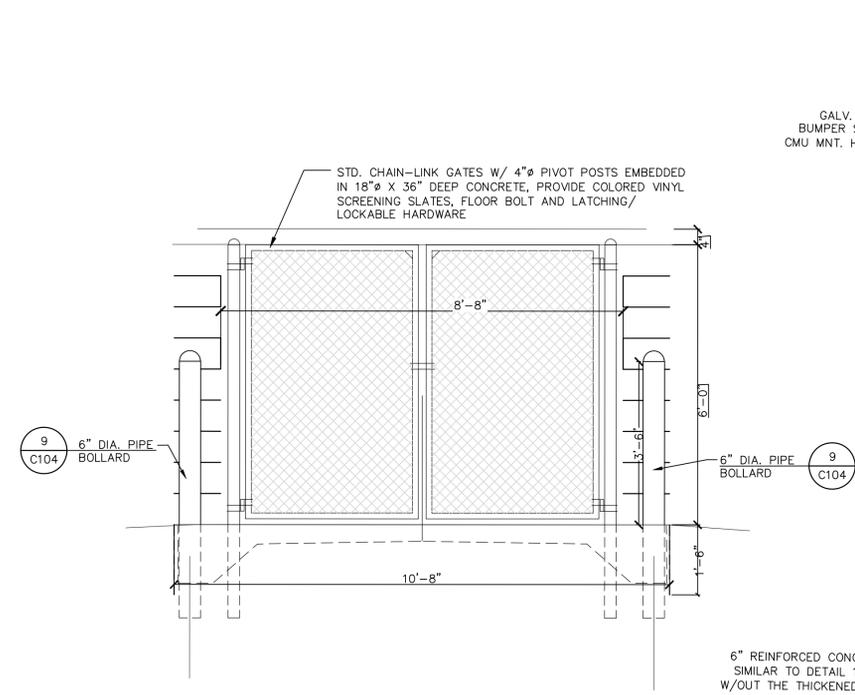
**CURB ISLAND / BIOSWALE TYPICAL SECTION**  
SCALE: NOT TO SCALE



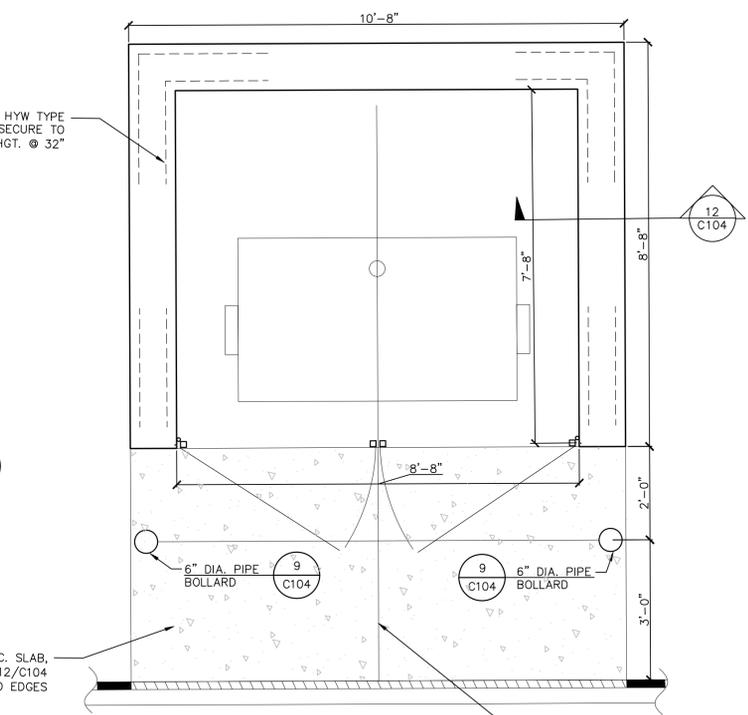
**STANDARD UTILITY TRENCH**  
SCALE: NOT TO SCALE



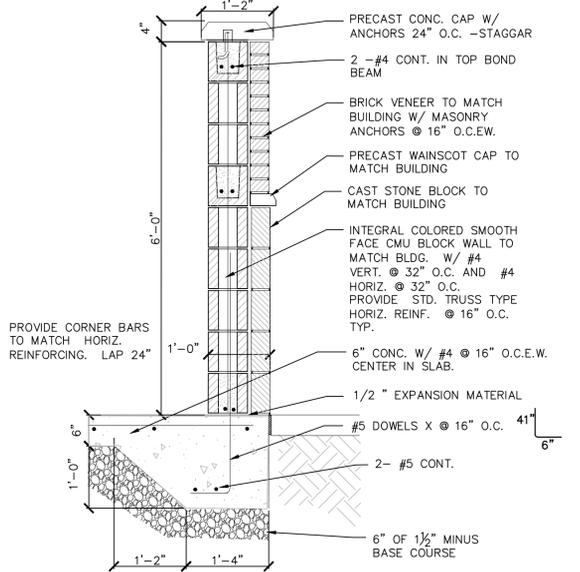
**BOLLARD DETAIL**  
SCALE: NOT TO SCALE



**TRASH ENCLOSURE ELEVATION**  
SCALE: NOT TO SCALE



**TRASH ENCLOSURE PLAN**  
SCALE: NOT TO SCALE



**ENCLOSURE WALL DETAIL**  
SCALE: NOT TO SCALE

NOTES:  
1. TRANSITION SIDE SLOPES DOWN TO MATCH CURB CUT ELEVATIONS AND TO ALLOW DRAINAGE IN THE CONCRETE GUTTER TO FLOW INTO THE BIOSWALES.  
2. CENTER THE BIOSWALE FLOWLINES WITHIN THE CURB ISLANDS

STANDARD UTILITY TRENCH CONSTRUCTION NOTES:  
1. SEE O.S.H.A. CONSTRUCTION STANDARDS FOR EXCAVATIONS, SEC. 1926, SUBPART P.  
2. TRENCH BACKFILL: PLACE BACKFILL IN 8-INCH (MAX) LIFTS AND COMPACT TO 95% MAXIMUM DRY DENSITY AND ± 3% OF OPTIMUM MOISTURE.  
3. PROVIDE 6" OF BEDDING BELOW THE PIPE IN AREAS WHERE BEDROCK IS PRESENT AT THE BOTTOM OF THE TRENCH.

GREAT FALLS, MONTANA  
PARKING LOT UPGRADES  
**MONTANA FEDERAL CREDIT UNION**



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CONSTRUCTION DOCUMENTS

09.17.2018  
DRAWN BY | GOLD  
CHECKED BY | SOMMER  
REVISIONS

DETAIL SHEET

C104