



Item: Jewell Addition Apartments – 1110, 1116, 1120 American Avenue

Applicant: T&M Development and Properties, Owner

Representative: Trace Timmer – T&M Development and Properties

Presented By: Brad Eatherly, Planner I, Planning and Community Development

Action Requested: Approve the submitted design with conditions.

Suggested Motion:

1. Board Member moves:

“I move that the Design Review Board (approve/approve with conditions/deny) the Design Review Application for the proposed Jewell Addition Apartments project, as shown in the conceptual development plans contained within this report and provided by the Applicant, subject to the Conditions of Approval.”

2. Chairman calls for a second, Board discussion, public comment, and calls the vote.
-

Overall Project Description:

The applicant is proposing the construction of a new 36-unit, multi-family apartment complex on a 2.84 acre parcel, located south of American Avenue. The development includes three 3 story apartment buildings. The total square footage of the combined buildings is proposed to be 12,264 square feet with an additional 6,048 square feet of carports and garages. The subject property is currently zoned as a PUD, Planned Unit Development. On July 3, 2018, the City Commission approved an amendment to the original PUD which was approved in 2005. The amendment allows for a change in use for the parcel in question. In 2005, a PUD was approved to allow 32 condominiums, an assisted living facility, and an exercise facility connected to the Hickory Swing golf course. The assisted living building approved for this parcel was never developed. The amended PUD allows for the applicant to build a multi-family residence in place of the assisted living facility. As it currently stands, the access road leading to Hickory Swing’s clubhouse is part of the proposed parcel, however the applicant is in the process of deeding that portion of the parcel to Hickory Swing, which will reduce the total acreage to 2.267 acres.

Exhibit 28-1 Standards and Guidelines for specific projects and buildings

New Construction

Staff has reviewed the proposal for conformance with the Standards and Guidelines put forth in

Title 17, Chapter 28-1 Design Review. The buildings are proposed with a contemporary architectural design. The colors proposed include Timber Bark and Norwegian Wood while materials will consist of horizontal James Hardie siding, and stone. A color and material palette can be found in the attached development drawings. A landscaped berm is proposed on the north side of the lot to mitigate the sounds and sights from the BNSF railyard across American Avenue. A trash enclosure is located within the development and incorporated into the parking areas. The enclosure is designed to be screened by a six (6) foot brick wall on the sides and back. Any additional mechanical equipment on site will be appropriately screened.

Staff has reviewed the proposed buildings, and finds them to be in compliance with all guidelines located in Exhibit 28-1, except for guidelines #6, #7, and #11:

6. Northerly exposure. In new construction, entrances, drainage facilities, drive-through facilities, etc., should be located on east, west, or south side of a building. Whenever it is absolutely necessary to locate such facilities on a building's north side, corrective measures should be taken to mitigate hazardous accumulations of snow and ice.

7. Relation of façade to front lot line. At least 50 percent of the front façade of any building facing the street should be located as close to the front lot line as allowed by the underlying zoning district.

11. Orientation of primary entry. The building's primary entrance should face the public street rather than the interior or rear of the site.

Staff believes that the configuration of the site dictates the deviation of all three guidelines. The entrance to Building 3 is located on the north of the building instead of the east, west, or south. Also, all three of the buildings do not meet Guideline #7. In regards to Guideline #11, two of the buildings, Buildings 1 and 2, do not comply with the guideline, but work well with the shape of the lot. The applicant's plan should not be required to comply with the guideline because there is a clear need to locate the buildings as far away from the railyard as possible.

Conformance with Title 17 - Land Development Code

The proposed project has been reviewed for initial compliance with the relevant requirements of Title 17 - Land Development Code, of the Official Code of the City of Great Falls (OCCGF), including but not limited to zoning, setbacks, building height and lot coverage.

Site Plan

The site plan includes one new curb cut off of American Avenue. Emergency access will be provided off of the drive leading to Hickory Swing Golf course. A knock-down gate is being proposed at this location to keep the property secure while also allowing access to emergency services. A looped drive within the project helps vehicular circulation while also providing access to parking spaces, carports, and garages. The proposed carports and garages also allow for residents and visitors to use the open parking spaces located in the center of the project.

Interior sidewalks are included to create safe pedestrian circulation throughout the site, and are proposed at a width of five feet. Additionally, there will be a boulevard style sidewalk with a proposed width of five feet. The OCCGF requires one and a half parking stalls per dwelling for multi-family units. The conceptual parking layout shows 56 total parking spaces, four of which will be ADA accessible. Included are 12 carport spaces and 16 garages to be utilized by the residents. This exceeds the code requirements for this particular project.

Stormwater Management

The site development will have impervious surfaces of more than 15,000 square feet; therefore, the developer is required to provide a stormwater management plan in compliance with the City of Great Falls Storm Design Manual and City standards. The plan will be reviewed and approved by the Public Works Department prior to the issuance of building permits for the development. The proposed conceptual grading plan outlines a stormwater detention area on the southern end of the parcel to provide both storage and water quality treatment. A bioswale along the west side of the site will provide additional treatment.

Outdoor Lighting

The applicant has provided an outdoor lighting plan which is in compliance with the requirements of Chapter 40 - Outdoor Lighting of the OCCGF. The proposed lighting plan provides lighting mounted on the building and pole mounted lighting. The proposed lighting plan and specifications show full downcast fixtures to prevent light pollution and meets all averages as set forth in the OCCGF.

Landscaping

The proposed landscaping is in compliance with the minimum requirements of the OCCGF. The OCCGF requires one (1) tree per 1,500 square feet of net lot area and at least 50% of the net lot area to be landscaped with turf grass or ground cover plants. The exterior of the site will be significantly improved by landscaping including grass, canopy trees, shrubs, and perennials. According to Chapter 44 – Landscaping of the OCCGF, 53 interior trees and eight (8) boulevard trees are required to be installed. The applicant is proposing 54 interior trees in addition to proposing 143 shrubs and perennials for the site. The applicant's proposal is in compliance with code requirements.

Signage

The applicant is proposing signage on the property. The proposed signage will be reviewed under a separate application and shall meet the requirements of the OCCGF.

Recommendation:

Staff supports this application and recommends the Design Review Board approve the submitted design with conditions.

Conditions of Approval:

- A. The proposed project shall be developed consistent with the conditions in this staff report, all codes and ordinances of the City of Great Falls, the State of Montana, and all other applicable regulatory agencies.

- B. If after the approval of the conceptual development plans as approved by this Board, the owner proposes to expand or modify the conceptual development plans, the Director of the Planning and Community Development Department shall determine in writing if such proposed change would alter the findings for one or more review criteria. If such proposed change would alter the findings, the proposal shall be resubmitted for review as a new application.

Exhibits:

Aerial Map
Project Narrative
Site Photos
Elevations
PUD Standards
Development Plans

CC Dave Dobbs, City Engineering
Jim Young, City Engineering
Patty Cadwell, Neighborhood Council Coordinator
Todd Seymanski, City Forester
Trace Timmer, T&M Development and Properties, trace.silverstone@gmail.com



RAILWAY CO

6TH ADD TO GF

AMERICAN AVE
EMERALD DR

AMERICAN AVE

HICKORY

SWING

JEWEL

GOLF

ADDITION

Overview

This project, proposed by T & M Properties and Development, consists of three 12-Unit Apartment buildings, with detached garages and car ports. This project is on a unique site that allows us to orient the buildings in a semi-circle along the back of the property, giving tenants a view of the golf course, all while bringing a new and unique Rental Complex to Great Falls. The shape of this site also allows us to have plenty of landscaping to improve the appearance of this location.

The apartment buildings themselves are to be higher-end interior and exterior finishes. All units will be 2 Bedroom, 2 Bath with a covered patio. The first will have one fully accessible ADA (Type A) unit with the other three unit on the main floor to be convertible (Type B) units. The second and third floor will have no ADA requirements. We will start with Building 1 (reference site plan) and the car port and garage located on the North Side of the Site. Building two will begin as soon as we can move subcontractors from the first building to the second or weather permitting. The third building and remaining car port and garage will be constructed shortly after, weather permitting.

This site includes a common grass area, which could possibly include picnic tables and a covered picnic area. The garages consist of two 8-unit structures. Each to have a single 8-foot garage door. The car ports will be steel construction and to have a very similar appearance to the carports located at Talus Apartments.

We plan to Berm up (elevated landscaping) along American Avenue, and landscape with trees. We decided on this concept to provide a better sound buffer from the railyard just to the North of the property. Another reason for this concept is to create a better-looking property, opposed to a large concrete fence. If we decide on a sign to designate the apartment complex it would be possibly consisted of Stone/Effis and metal fabricated lettering. The sign would not be any bigger than roughly 5 feet tall by 8 feet wide. The sign would possibly have some landscaping as well. At this point we have not decided on a name for the complex.

Site Photos



Looking Southwest from American Avenue



Looking North from rear of property

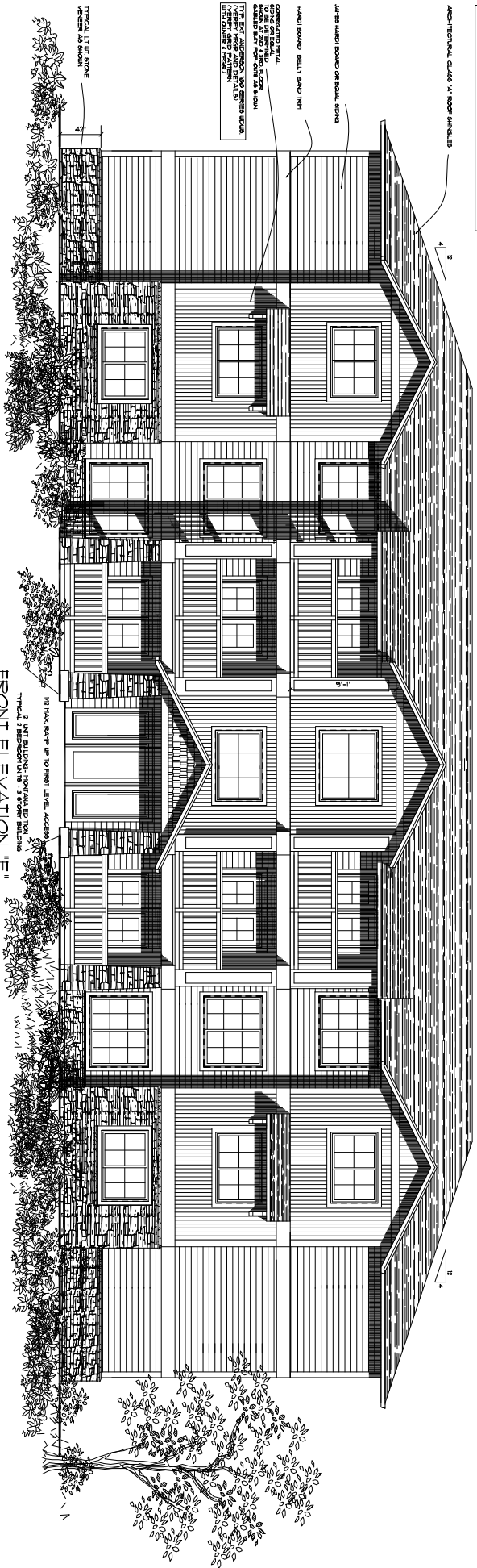


Looking West at neighboring condo complex

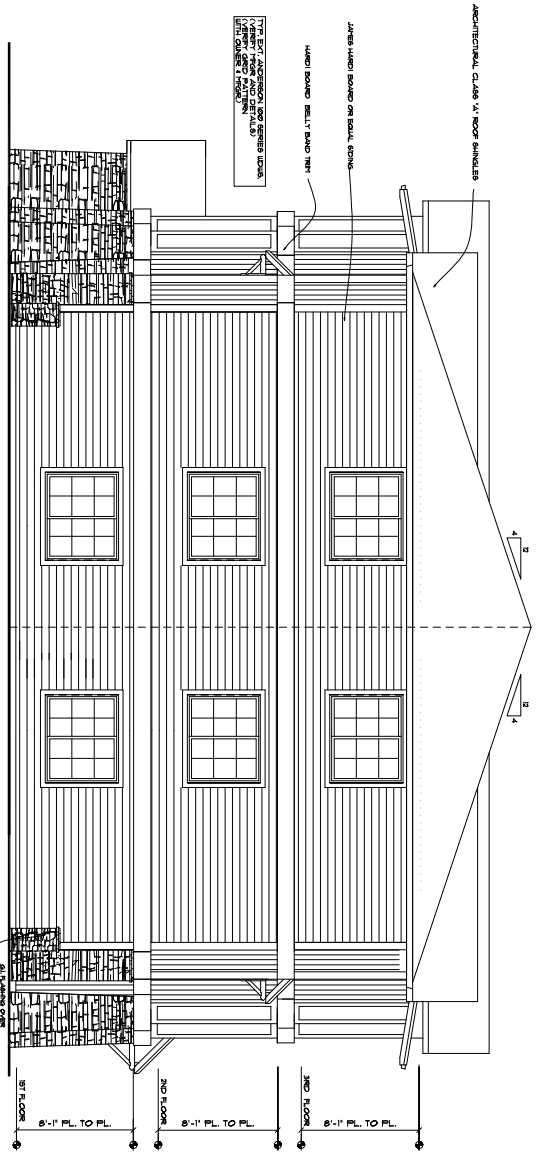


Looking East towards neighboring storage units

TYPICAL EXTERIOR MATERIALS



FRONT ELEVATION "E II"
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"

STUDY SET
NOT FOR CONSTRUCTION

THIS SET OF DRAWINGS IS TO BE CONSIDERED ONLY AS THE DESIGN, CONCEPTS, AND DETAILS OF THE PROPOSED PROJECT. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THIS OFFICE FOR CORRECTION PRIOR TO START OF WORK.

ELEVATION E

E-Mail - stockton@rs-net.com
Web Site - <http://www.stocktondesign.com>

A1.1

Plan# 12-2003-38
12-UNIT APPT
LIC: 2462-05-214
C: 2003-04-08-011
CNC: 1/03

Mark Bartolone
ARCHITECT
NEW YORK, NY.
Ph: 1.203.209.1579

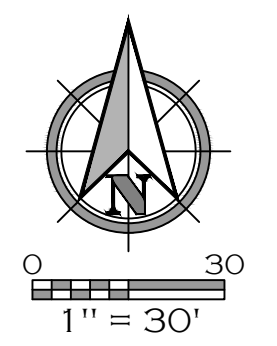
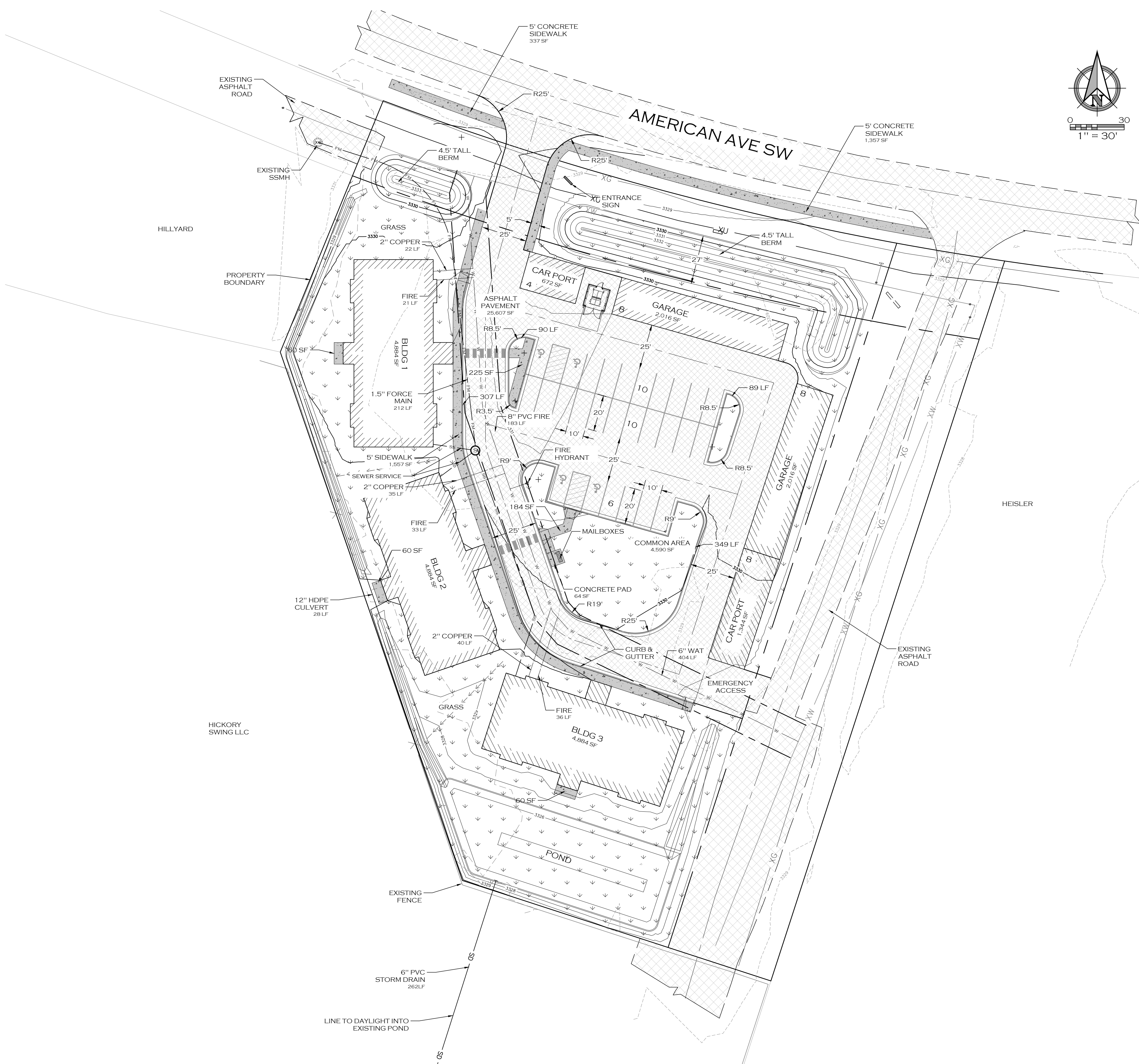
Building Designs
By
Stockton LLC.
Ph: 1.800.368.0821

THE DESIGN IDEAS AND CONCEPTS SET FORTH IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF BUILDING DESIGNS BY STOCKTON. ANY USE OF SAID DRAWINGS AND/OR THEIR CONTENT WITHOUT THE WRITTEN CONSENT OF BUILDING DESIGNS BY STOCKTON IS STRICTLY PROHIBITED BY LAW. THESE CONCEPTS AND IDEAS MAY NOT BE COPIED, REPRODUCED, OR SOLD WITHOUT WRITTEN PERMISSION FROM BUILDING DESIGNS BY STOCKTON. CONTRACTOR SHALL VERIFY AND CONFIRM ALL CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THIS OFFICE FOR CORRECTION PRIOR TO START OF WORK.

REV: 07-24-04
REV: 08-16-11

LOT 4, BLOCK 1 JEWEL ADDITION PUD ZONING STANDARD

Standard	Silver Stone PUD	R-6
Residential density	-	500 sq. feet of lot area per dwelling unit
Minimum lot size for newly created lots	-	7,500 sq. feet
Minimum lot width for newly created lots	-	50 feet
Lot proportions for newly created lots (maximum depth to width)	-	2.5:1
Maximum building height of principal building	40 feet	65 feet
Maximum building height of detached garage	18 feet	24 feet, but may not be higher than the uppermost elevation of the principal building
Maximum building height of other accessory structures and buildings	18 feet	12 feet
Minimum front yard setback	15 feet	15 feet
Minimum rear yard set back	10 feet	15 feet
Minimum side yard set back	7.5 feet	5 feet
Maximum lot coverage of principal and accessory buildings	17%	Corner lot: 70% Other types: 60%
Maximum Attached Garage	-	-
Maximum Detached Garage	2,100 Square Feet	-



NOTES:

- EXISTING UNDERGROUND INSTALLATIONS & PRIVATE UTILITIES SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. SERVICE LINES (WATER, POWER, GAS, SEWER, TELEPHONE, TELEVISION) MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THE PLANS. STATE LAW REQUIRES CONTRACTOR TO CALL ALL UTILITY COMPANIES BEFORE EXCAVATION FOR EXACT LOCATIONS.
- ALL ONSITE UTILITY IMPROVEMENTS SHALL CONFORM TO THE PLUMBING CODE (UPC) AND ALL ADMINISTRATIVE RULES OF MONTANA AND MODIFICATIONS TO THE UPC.
- ALL IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS 6TH EDITION, APRIL, 2010, INCLUDING ALL ADDENDUMS, AND ANY APPLICABLE CASCADE COUNTY STANDARDS.
- ALL PROPOSED WORK WITHIN AMERICAN AVENUE RIGHT-OF-WAY, INCLUDING CURB & GUTTER, PAVING, LANDSCAPE, ETC., IS SUBJECT TO THE APPROVAL OF THE MONTANA DEPARTMENT OF TRANSPORTATION (MDT).
- UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION LAYOUT AND STAKING SHALL BE PERFORMED UNDER THE RESPONSIBLE CHARGE OF A LAND SURVEYOR LICENSED IN THE STATE OF MONTANA AND BY A PARTY CHIEF OR ENGINEERING TECHNICIAN EXPERIENCED IN CONSTRUCTION LAYOUT AND STAKING TECHNIQUES AS ARE REQUIRED BY THE SPECIFIC TYPE OF WORK BEING PERFORMED.
- ALL EARTHWORK, TRENCHING, GRADING, FILLING, ETC., SHALL BE PERFORMED IN ACCORDANCE WITH GEOTECHNICAL INVESTIGATION REPORT RECOMMENDATIONS PREPARED FOR THIS PROJECT IF APPLICABLE.

SITE INFO

AREA	123,651 SF	
	2.84 ACRES	
LANDSCAPING		
GREEN SPACE	62,135 SF	(50.25%)
IMPERVIOUS	61,516 SF	(49.75%)
PARKING		
1.5 STALLS PER UNIT	54 PARKING STALLS	(REQUIRED)
36 UNITS x 1.5 =	56 PARKING STALLS	(PROPOSED)
PUD STANDARDS		
LAND USE	P.U.D. HIGH DENSITY RESIDENTIAL	
LANDSCAPING	WILL MEET CITY CODE	
MAXIMUM BUILDING HEIGHT	40'	
MAXIMUM ACCESSORY BUILDING HEIGHT	18'	
MAXIMUM ACCESSORY BUILDING AREA	3,500 SF	
MAXIMUM BUILDING COVERAGE OF LOT	50%	(REQUIRED)
	17%	(PROPOSED)
MINIMUM FRONT SET BACK	7.5'	
MINIMUM REAR YARD SET BACK	11.3'	
MINIMUM SIDE YARD SET BACK	7.5'	

PRELIMINARY - NOT FOR CONSTRUCTION

PROPOSED SITE PLAN

**SILVER STONE APARTMENTS
GREAT FALLS, MT**

PRELIMINARY

SILVER STONE APARTMENTS



client:	GREAT FALLS, MT	
scale:	1" = 20'	date: 05/2018
drawn by:	KV	checked by:
		revision:
		drawing #:
		001549

GENERAL LANDSCAPE NOTES:

1. SITE CONTRACTOR TO PROVIDE ROUGH GRADE TO WITHIN 1/10TH OF 1 FOOT OF FINISH GRADE.
2. LANDSCAPE CONTRACTOR TO FINISH GRADE TO ALLOW 3" TO INSTALL ROCK MULCH IN ALL SHRUB BEDS AND 1" BELOW CURB OR SIDEWALK.
3. ALL SHRUBS, TREES, AND PERENNIALS SHALL MEET OR EXCEED ANSI Z601 AMERICAN STANDARD FOR NURSERY STOCK.
4. NO SUBSTITUTIONS FOR NURSERY STOCK WILL BE MADE WITHOUT APPROVAL OF SUPERVISING ENGINEER.
5. ALL TREES PLANTED WITHIN LAWN AREAS ARE TO RECEIVE A 9" DIAMETER CIRCLE OF CLEAN DARK MULCH. THE MULCH IS TO BE PLACED AT 3" DEPTH AND KEPT 2" FROM TRUNK OF TREE.
6. TREES ARE TO BE STAKED WITH 6" METAL TEE POSTS, DEWITT TREE SLINGS, AND 14 GA. WIRE.
7. TYPAR 3501 WEED BARRIER IS TO BE INSTALLED THROUGHOUT ALL SHRUB BED AREAS.
8. SHRUB BEDS ARE TO RECEIVE A MINIMUM OF 3" OF 1/2" WASHED GRAVEL.
9. FINAL GRADE FOR SOD IS TO BE PROVIDED BY LANDSCAPE CONTRACTOR. ALL MATERIAL OVER THE SIZE OF 1" IN DIAMETER IS TO BE REMOVED TO PROVIDE SMOOTH SURFACE FOR SOD INSTALLATION.
10. SOD IS TO BE INSTALLED AS PER DRAWING U.O. SEED MIX IS TO BE AS PER LOCAL SOD GROWER.
11. IRRIGATION FOR SHRUBS AND TREES IS TO BE COORDINATED BY LANDSCAPE CONTRACTOR WITH IRRIGATION CONTRACTOR. IRRIGATION IS BE AVAILABLE AT THE TIME OF PLANT AND SOD INSTALLATION.

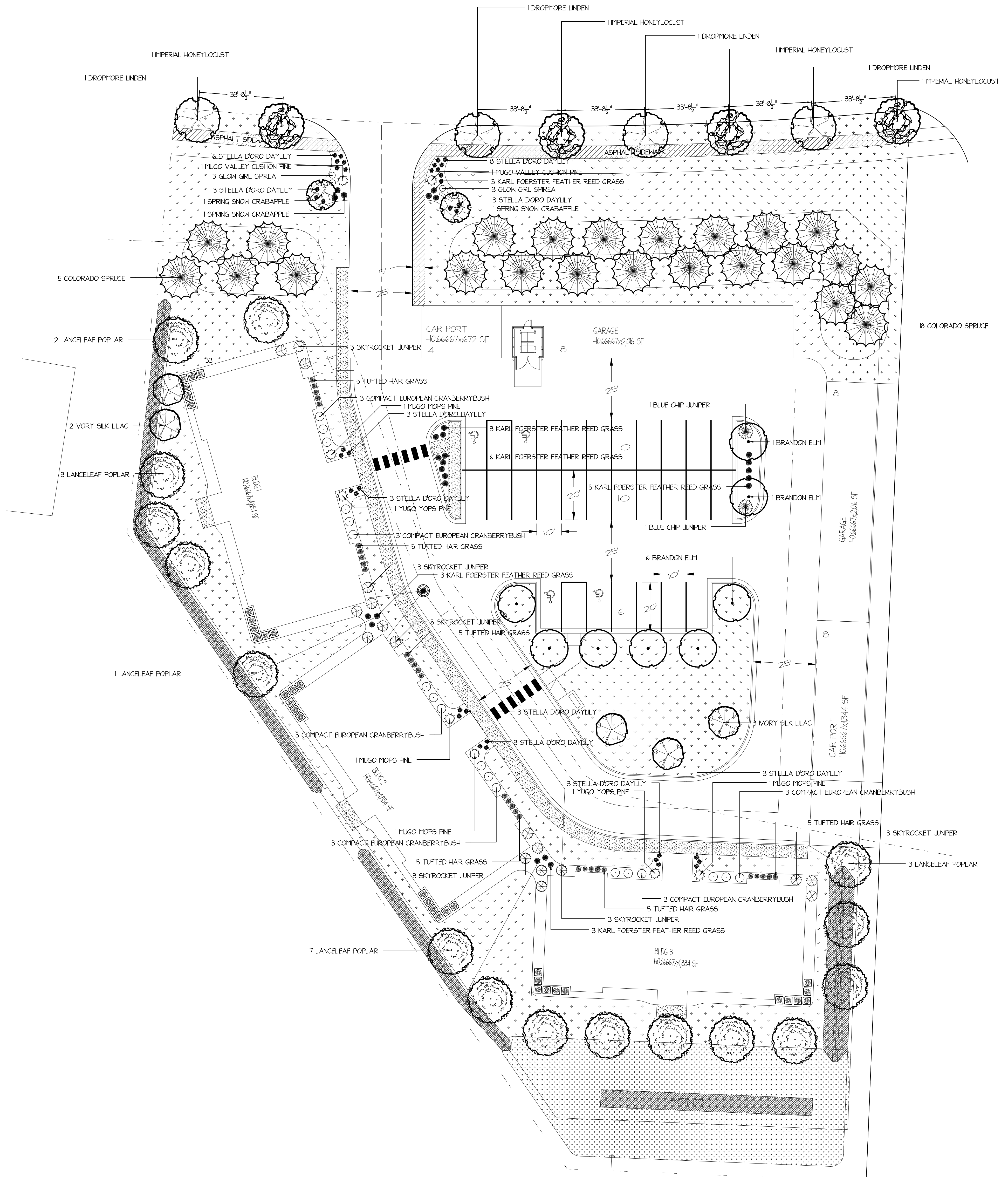
Qty	Common Name	Size/Condition
Trees		
8	BRANDON ELM	125"
23	COLORADO SPRUCE	5BB
4	DROPMORE LINDEN	15"HB
4	IMPERIAL HONEYLOCUST	15"HB
5	IVORY SILK LILAC	15CG
16	LANCELEAF POPLAR	125"CG
2	SPRING SNOW CRABAPPLE	125"CG
Shrubs		
2	BLUE CHIP JUNPER	2CG
18	COMPACT EUROPEAN CRANBERRYBUSH	2CG
6	GLOW GIRL SPREA	2G
6	MUGO MOPS PINE	3CG
2	MUGO VALLEY CUSHION PNE	3CG
18	SKYROCKET JUNPER	5CG
Ornamental Grasses		
23	KARL FOERSTER FEATHER REED GRASS	1CG
30	TUFTED HAIR GRASS	1CG
Perennials and Annuals		
38	STELLA DORO DAYLILY	1CG

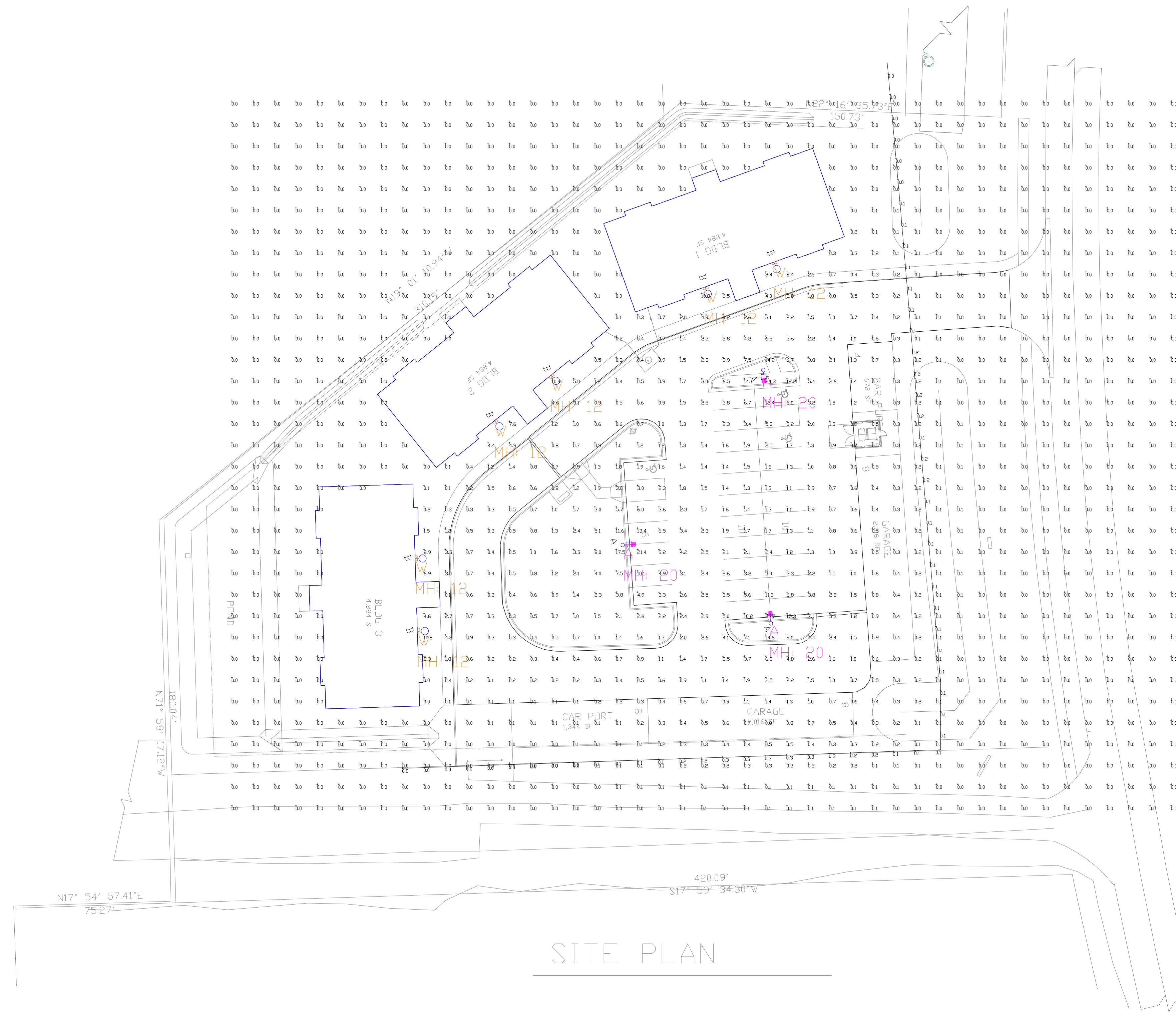
SEED SCHEDULE
DRYLAND TURF MIX
25 PERCENT HARD FESCUE
20 PERCENT SHEEP FESCUE
20 PERCENT FAIRWAY CRESTED WHEATGRASS
20 PERCENT TURF TYPE TALL FESCUE
10 PERCENT SODAR STREAMBANK WHEAT GRASS
5 PERCENT CANADA BLUEGRASS

WETLAND POND MIX
25 PERCENT GARRISON FOXTAIL
25 PERCENT CLIMAX TIMOTHY
15 PERCENT REED CANARY GRASS
15 PERCENT STREAKER REDTOP
10 PERCENT ALSKA CLOVER
10 PERCENT TUFTED HAIR GRASS

SEEDING NOTES:
1. PROVIDE FRESH, CLEAN, AND DRY NEW SEED WITH NOT LESS THAN 80 PERCENT GERMINATION, NOT LESS THAN 95 PERCENT PURE SEED, AND NOT MORE THAN 5 PERCENT WEED SEED.
2. APPLY DRYLAND TURF SEED AT A RATE OF 1-2 LBS/500 SQ. FT.
3. APPLY WETLAND SEED AT A RATE OF 1 LB/1000 SQ. FT.
4. RESEED ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY WHERE SOD IS NOT SPECIFIED, TYP.

SITE REQUIREMENTS:	
PROPERTY AREA	
TOTAL OVERALL AREA	99,422 SF
BUILDING AREA:	20,700 SF
NET LOT AREA:	78,722 SF
BUILDING AREA:	
BUILDING 1-3	14,652 SF
CARPORT 1-2	206 SF
GARAGE 1-2	4032 SF
TOTAL =	20,700 SF
LANDSCAPE REQUIREMENTS:	
GREEN SPACE REQD	
50 PERCENT X 78,722 SF =	39,361 SF
PROVIDED ONSITE =	49,969 SF
BOLLEVAARD LANDSCAPING TREES:	
STREET FRONTAGE = 240 LF - 25 LF (Entry/Exit)	
= 275 LF, 275/25 = 11 TREES	11 TREES REQD
PROVIDED ONSITE =	11 TREES
PLANTING REQUIREMENTS:	
RATE: 1 TREE PER 500 SF OF NET LOT AREA:	
REQD 78,722 SF / 500 SF = 157 TREES	157 TREES
INTERIOR TREES PROVIDED:	54 TREES
25% X 8 BOLLEVAARD TREES:	2 TREES
TOTAL INTERIOR TREES PROVIDED:	56
TOTAL INTERIOR SHRUBS PROVIDED:	SHRUB QTY AND LOCATION ARE TO BE DETERMINED BY OWNER.





SITE PLAN



Click image to open Product Page

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL POINTS AT GRADE 10'X10'	Illuminance	Fc	0.71	24.3	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	0.11	0.3	0.0	N.A.	N.A.
PARKING SUMMARY	Illuminance	Fc	2.35	24.3	0.0	N.A.	N.A.

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	3	A	SINGLE	XLCM-S-LED-HD-CW-SINGLE-20'MH	0.900	N.A.	31142	276.4
	6	W	SINGLE	WPSLS-40-45-12'MH	0.900	N.A.	3936	38.33

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts_1
Total Watts = 105918



LIGHTING PROPOSAL LO-143364
SILVERSTONE SITE
GREAT FALLS, MT

BY:GEF DATE:6/28/2018 REV: SHEET 1 OF 1

SCALE: 1"=30'



TALUS
RESERVED
C-4

TALUS
RESERVED
C-3

MONTANA 02 20
2-17818B

Color Palette



- Color Palette (To match image above)
- Siding: James Hardie Color: Timber Bark
- Soffit/Fascia/Trim: Rollex Norwegian Wood
- Shingles: Malarkey 30yr same as picture above
- Stone: Custom color to match picture above from Legend Stone here in Great Falls

