

DESIGN REVIEW BOARD

April 24, 2017

Owner/Applicant

Jerald Yoneji

Representative

Dale Nelson - Nelson Architects

Property Location

900 10th Ave NW

Requested Action

Design Review for the expansion and remodel of an existing building, new landscaping and associated site work.

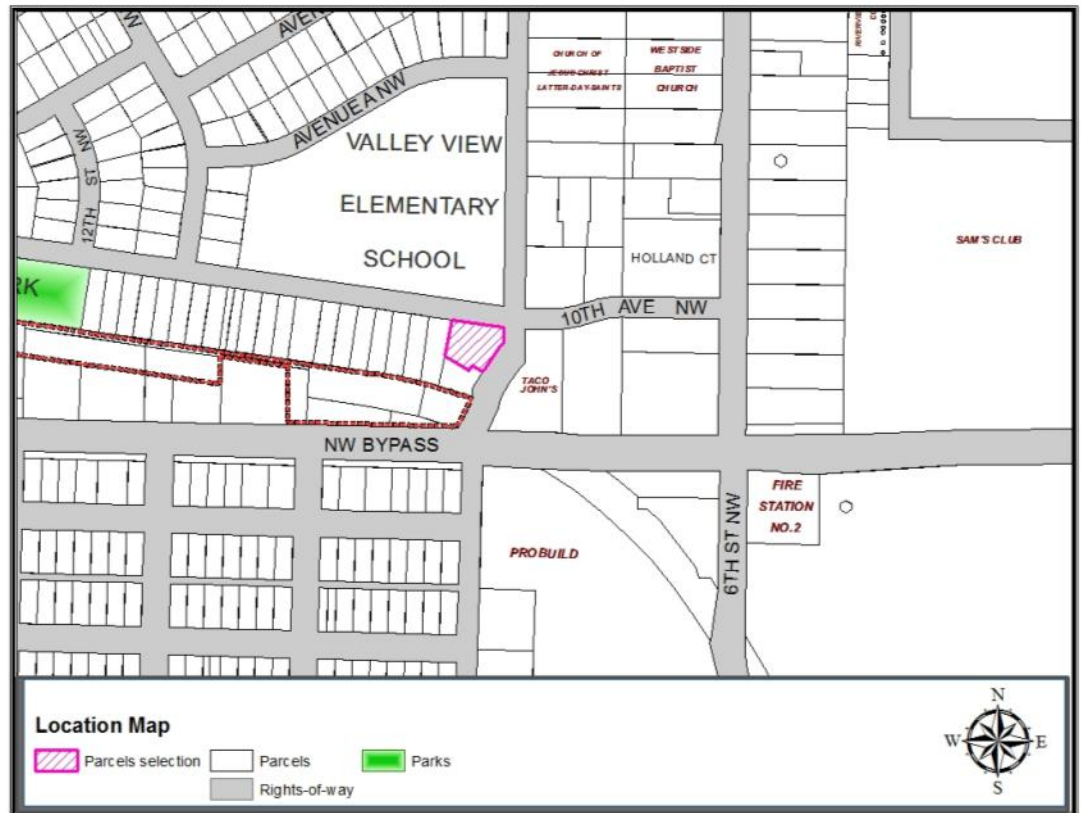
Recommendation

Approve the submitted design with conditions

Project Planner

Erin Borland

WESTSIDE FAMILY DENTAL ADDITION/REMODEL



Project Description

The applicant is proposing an expansion and interior remodel of the existing Westside Family Dental office. The expansion and remodel will provide additional operatory rooms, office space, a break room for staff and existing door and window replacements with some alterations to the existing interior walls.

Background

- Legal Description: Lots 6A, Block B, Valley View Homes Tracts, Section 03, Township 20 North, Range 3 East, P.M. MT
- Property Zoning: C-2 General Commercial
- Property Area: ± 17,969 square feet
- Existing Building Area: ± 2,000 square feet
- Proposed Building Expansion Area: ± 732 square feet

Expansion: Exhibit 28-1 Standards and Guidelines for specified projects and buildings

Review of the submitted materials show the proposal is in compliance with the guidelines in Exhibit 28-1. The applicant is proposing a 732 square foot expansion to the existing 2000 square foot building. The expansion will add two additional operatory rooms, a staff break room and additional office space. The applicant is also proposing renovations to the existing interior. The addition will consist of hardiplank siding that will match the existing siding with four feet of cultured stone in an ashlar pattern. The cultured stone will also match the existing colors of the building with some warm colors for variation.

Applicable Sections: Title 17 Land Development Code

The proposed expansion of the building and site improvements were reviewed for conformance with the applicable sections of Title 17 - Land Development Code, of the Official Code of the City of Great Falls (OCCGF), including but not limited to setbacks, parking requirements, and landscaping.

The OCCGF requires 1 parking space per 250 square feet of gross floor area for medical and dental laboratories and clinics. With the expansion, the required parking for the site is 11 spaces. The existing site has 12 parking spaces including 1 ADA accessible space. The current handicap signage does not meet the height requirements per ANSI standards and will be addressed during building permit review.

The existing site is softened by landscaping including sod and several shrubs and trees. Due to the expansion of the building, the planting bed along the east side of the building will be removed and four new trees have been proposed to address the need for landscaping replacement. The applicant is also required to remove the existing rock mulch that is currently in the boulevard between the two driveways and replace the mulch with sod.

All other applicable sections of Title 17 are in conformance including the setbacks.

Deficiencies to be Addressed Prior to Building Permit Issuance

- ◆ The applicant shall work with the building division to install new handicap signage at the required height.

Recommendation

Staff supports this application with the recommendation that the Design Review Board approve the submitted design with conditions.

Suggested Motion

Board Member moves:

“I move that the Design Review Board (approve/approve with conditions/deny) the Design Review Application for the proposed expansion to Westside Family Dental, located at 900 10th Avenue NW, as shown in the conceptual development plans contained within this report and provided by the applicant, subject to the following conditions:

- A. The proposed project shall be developed consistent with the conditions in this staff report, all codes and ordinances of the City of Great Falls, the State of Montana, and all other applicable regulatory agencies.
- B. If after the approval of the concept development plan as amended by this Board, the owner proposes to expand or modify the conceptual development plans, the Director of the Planning and Community Development Department shall determine in writing if such proposed change would alter the concept for one or more review criteria. If such proposed change would alter the plan, the proposal shall be resubmitted for review as a new application.

2. Chairman calls for a second, discussion, inquiries from the public, and calls the vote.

Cc: Dave Dobbs, City Engineering
Patty Cadwell, Neighborhood Council Coordinator
Todd Seymanski, City Forester
Dale Nelson, dale@nelsonarchitects.com

EXHIBIT A - APPLICATION

Date Stamp:



CITY OF GREAT FALLS
 PLANNING & COMMUNITY DEVELOPMENT DEPT.
 P.O. Box 5021, GREAT FALLS, MT, 59403-5021
 406.455.8430 • WWW.GREATFALLSMT.NET

DESIGN REVIEW BOARD APPLICATION

Westside Family Dental Addition/Remodel
 Name of Project / Proposed Use:

Jerald Yoneji
 Owner Name:

900 10th Ave. NW Great Falls, MT 59401
 Mailing Address:

(406) 761-1365 Email:
 Phone:

Dale Nelson
 Representative Name:

621 2nd Avenue North Great Falls, MT 59401
 Mailing Address:

(406) 727-3286 Dale@NelsonArchitects.com
 Phone: Email:

PROJECT LOCATION:

900 10th Ave. NW Great Falls, MT 59404
 Site Address:

17,969 Existing: ~ 2,000 ft² Addition: 732 ft²
 Property Square Footage: Structure Square Footage:

LEGAL DESCRIPTION:

Lot 06-A S03 T20 N R03 E
 Mark/Lot: Section: Township/Block: Range/Addition:

I (We), the undersigned, attest that the above information is true and correct to the best of my (our) knowledge. Further, I (We) owner of said property authorize the above listed representative to act as my agent in this application.

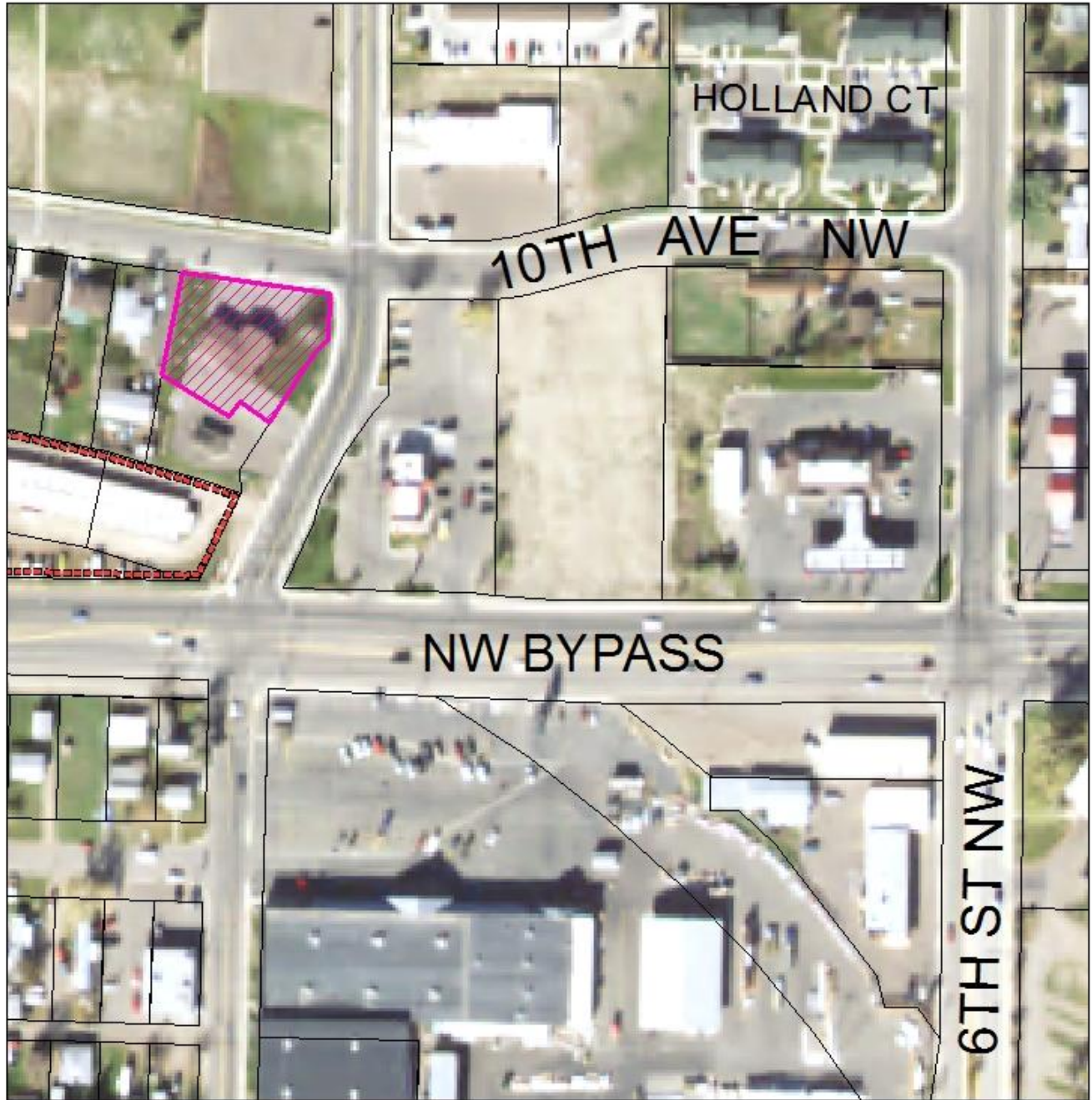
Property Owner's Signature: Date:
[Signature] 3/29/17
 Representative's Signature: Date:

EXHIBIT B - NARRATIVE

Narrative of Westside Family Dental Addition/Remodel

Westside Family Dental wishes to incorporate an eighteen foot deep by forty foot, eight inches wide space within the existing dental practice. This space will add two additional operatory rooms, additional office space, a staff break room, and enlarge the existing waiting room. Several office renovations are also intended, including the addition of a couple of new windows to the existing practice, existing door and window replacements, and alterations to and the removal of some interior walls. The addition will match the existing practice's aesthetic and provide necessary practice and office space.

EXHIBIT C - AERIAL MAP



-  Westside Dental
-  City Limits
-  Tracts of Land



EXHIBIT D - SITE PHOTOS (APRIL 2017)



DEVELOPMENT PLANS:

ARCHITECTURAL SITE PLAN (SP1.1)
EXTERIOR ELEVATIONS (SHEET A6.1)
MAIN FLOOR PLAN (SHEET A1.2)
EXPANSION RENDERING

**WESTSIDE FAMILY DENTAL
 ADDITION/REMODEL**

900 10TH AVE NW
 GREAT FALLS, MT 59404

#	DESCRIPTION	DATE

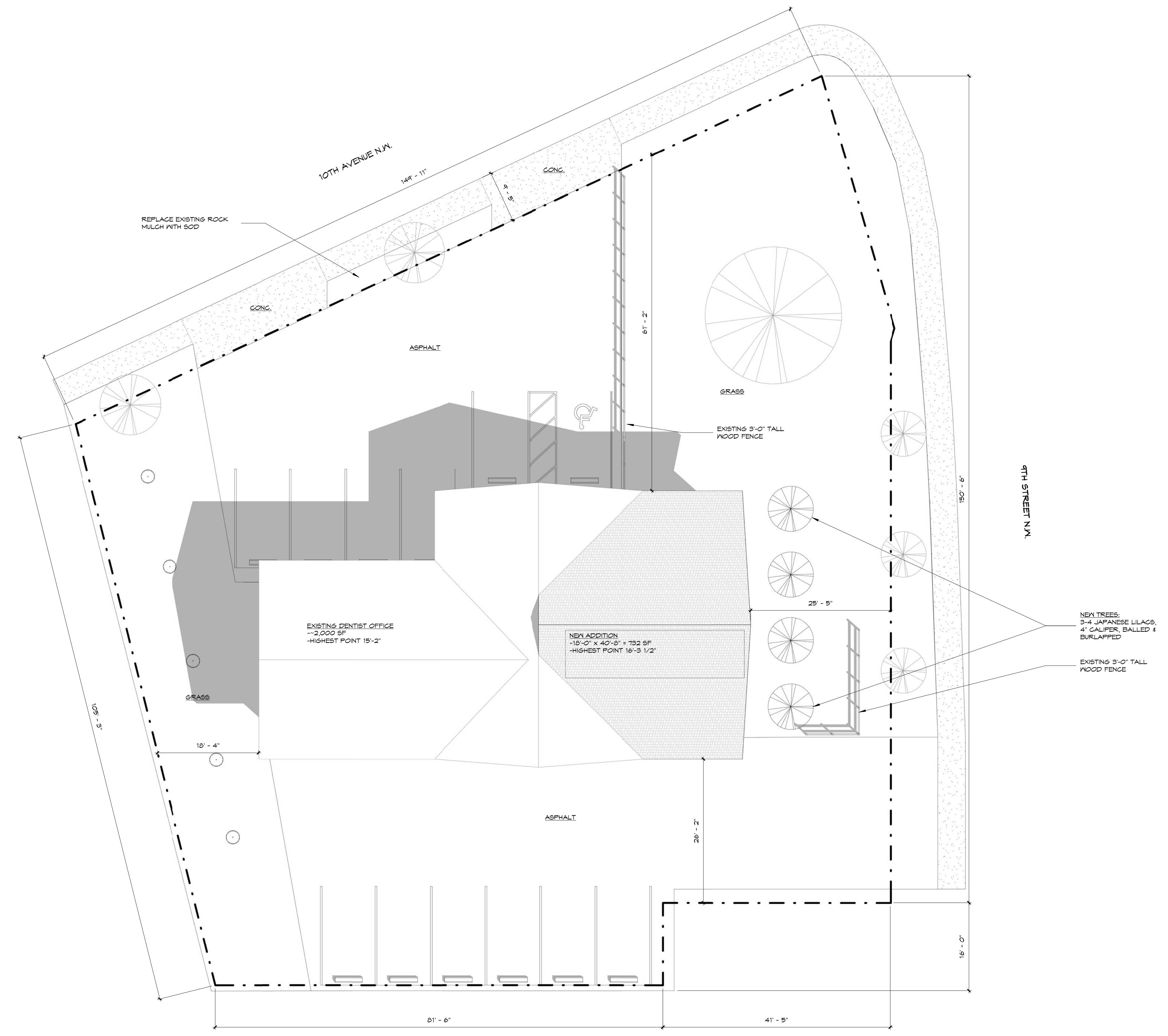
**ARCHITECTURAL
 SITE PLAN**

ISSUED FOR:

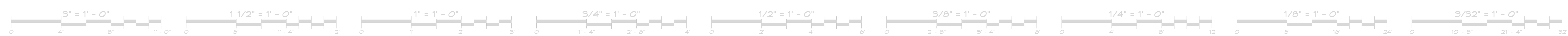
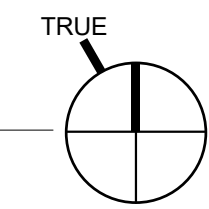
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<input type="checkbox"/> SCHEMATIC DESIGN	<input type="checkbox"/> BEDDING
<input type="checkbox"/> DESIGN DEVELOPMENT	<input checked="" type="checkbox"/> PERMIT
<input type="checkbox"/> CONSTR. DOCUMENTS	<input type="checkbox"/> CONSTRUCTION

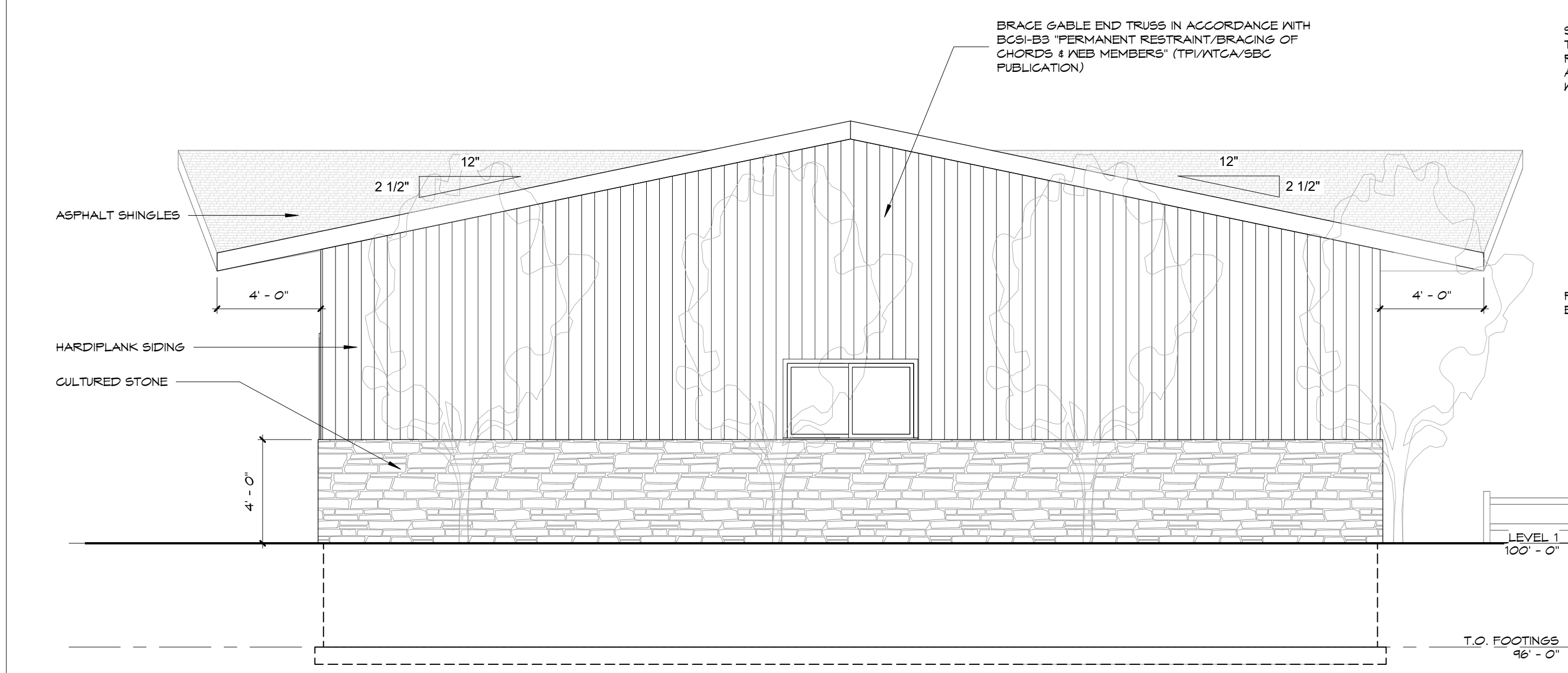
Project	17-007
Date	3.29.17
Drawn by	MMB/CAL
Checked by	DEN

SP 1.1

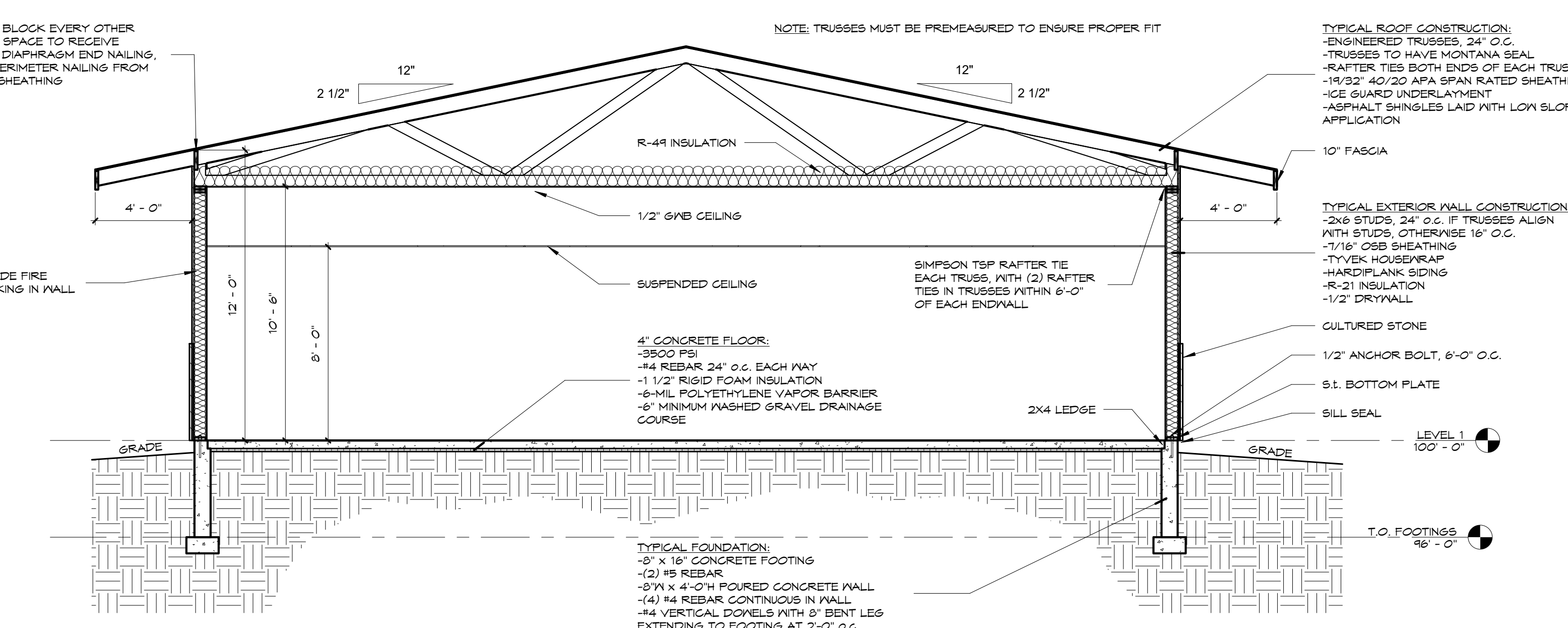


1 ARCHITECTURAL SITE PLAN
 1" = 10'-0"

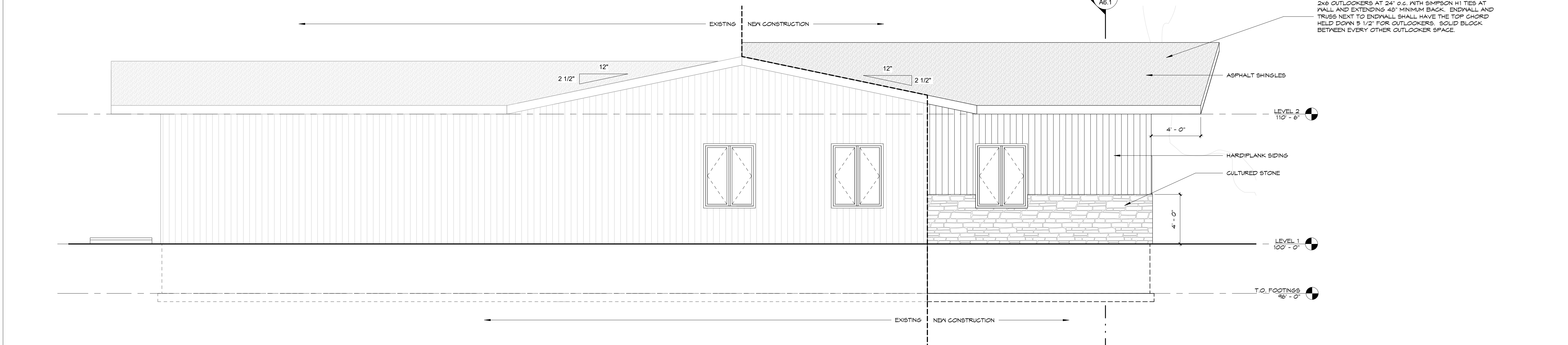




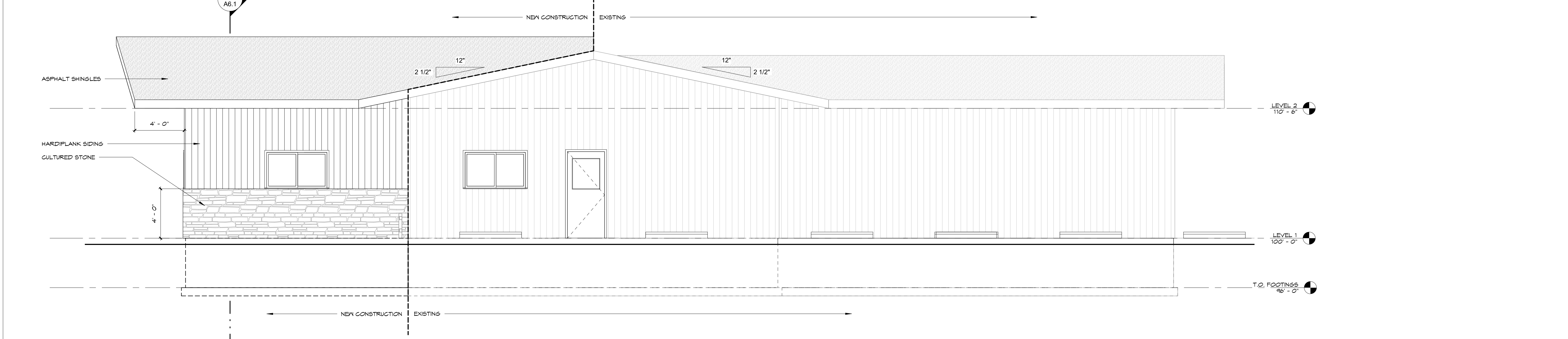
3 SOUTHEAST ELEVATION
1/4" = 1'-0"



4 TRANSVERSE SECTION
1/4" = 1'-0"



2 SOUTHWEST ELEVATION
1/4" = 1'-0"



1 NORTHEAST ELEVATION
1/4" = 1'-0"



△ REVISION SCHEDULE

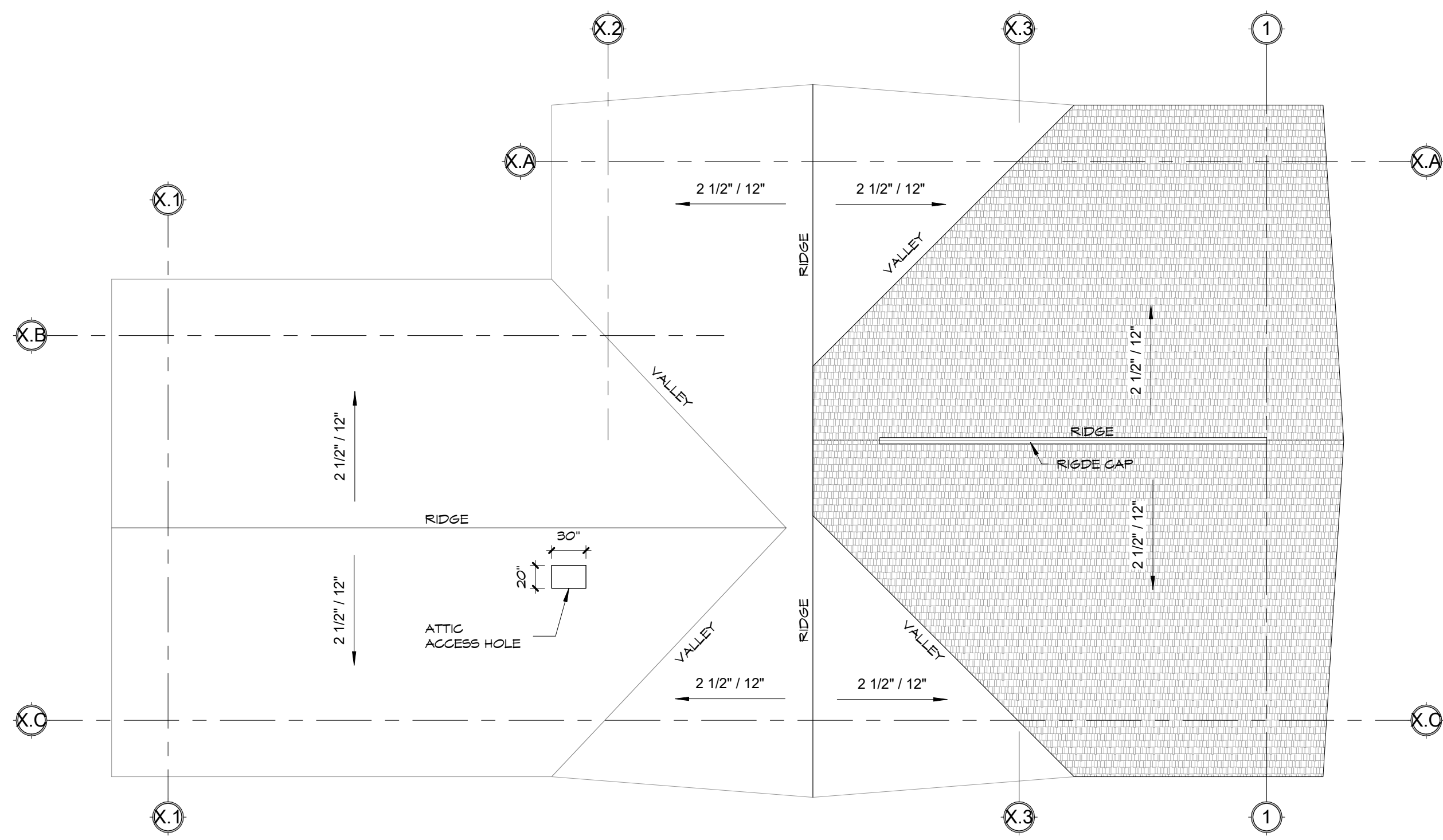
#	DESCRIPTION	DATE

ISSUED FOR

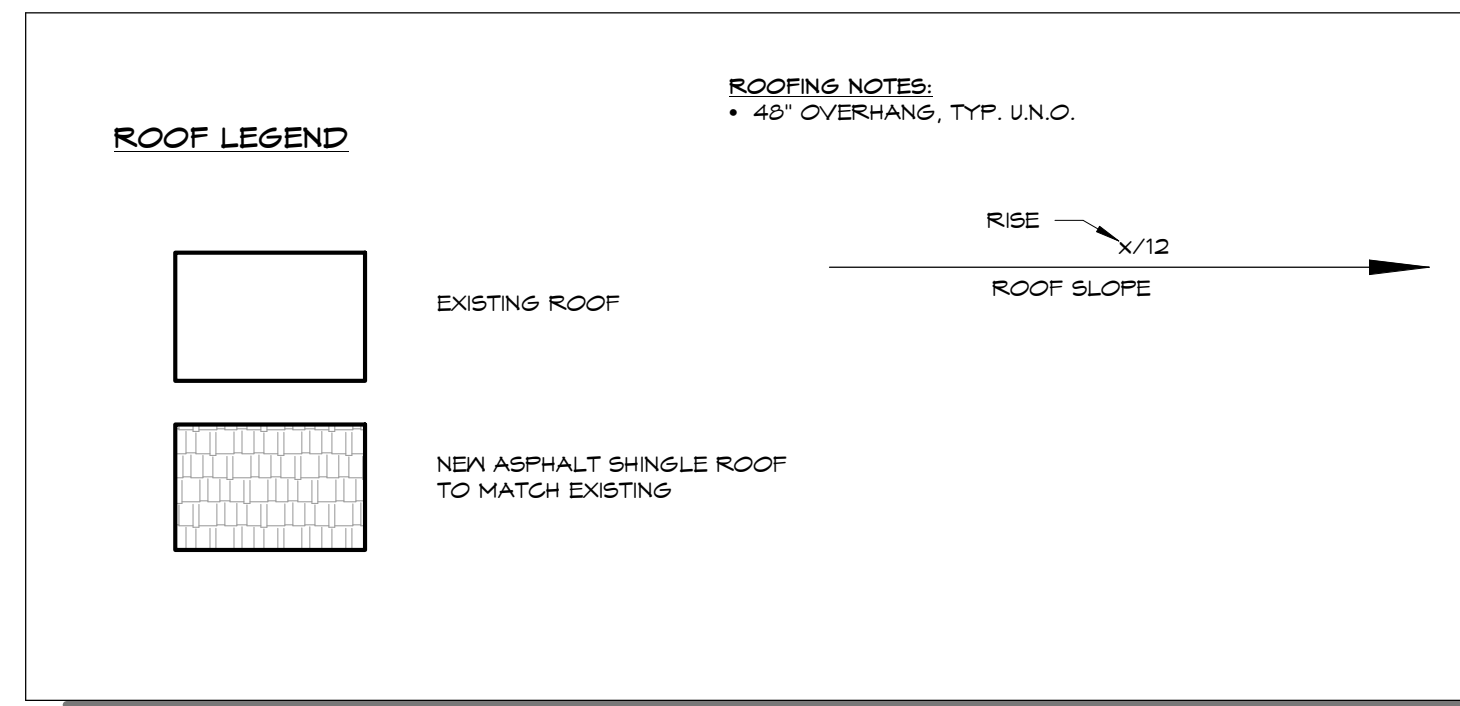
REVIEW		% COMPLETE
SCHEMATIC DESIGN		BIDDING
DESIGN DEVELOPMENT		PERMIT
CONSTR. DOCUMENTS		CONSTRUCTION

Project: 17-007
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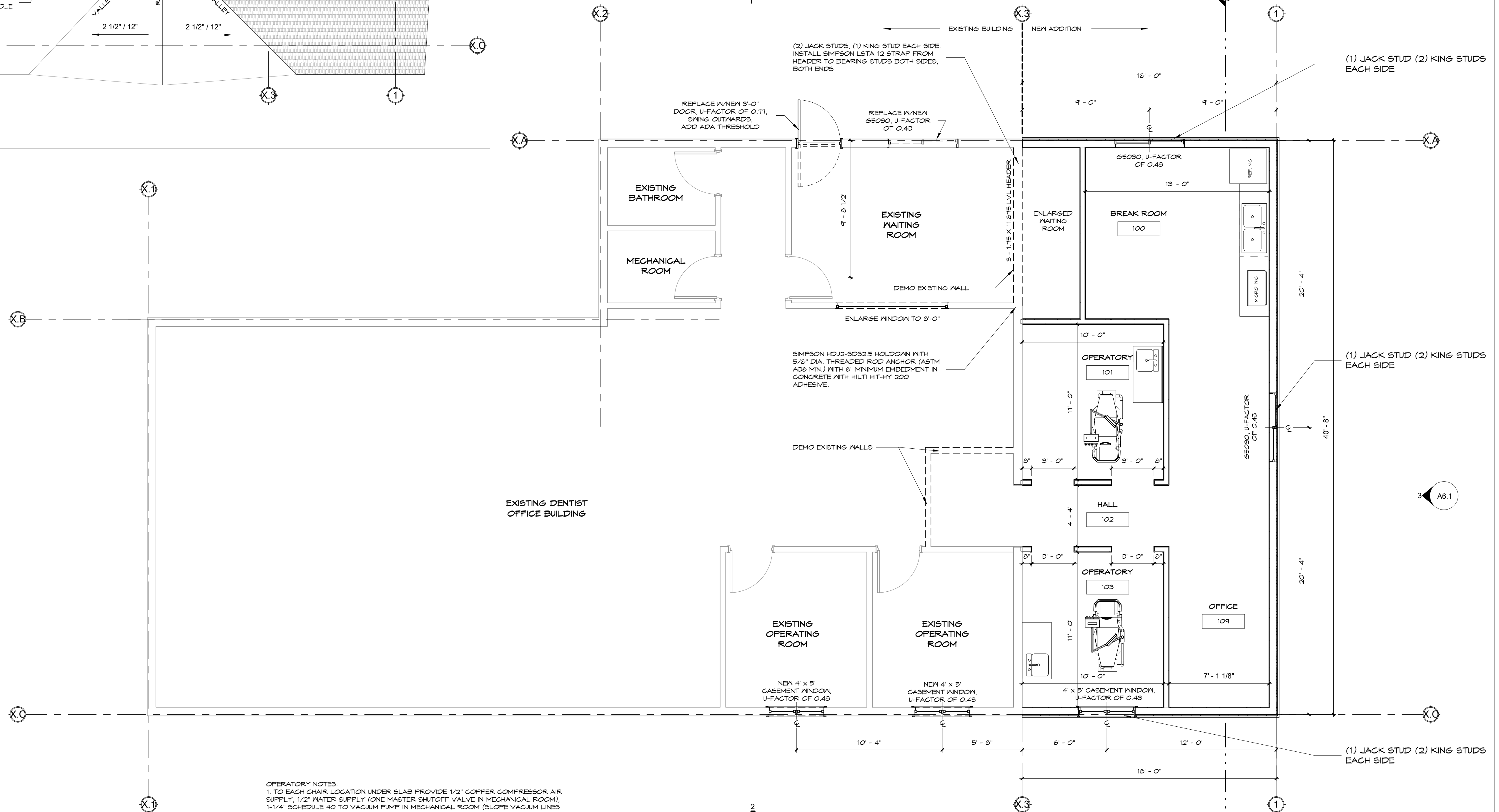
A6.1



2 ROOF PLAN
1/8" = 1'-0"

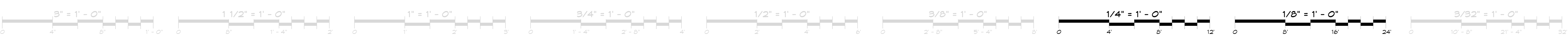


ROOF PLAN LEGEND
1/4" = 1'-0"



1 MAIN FLOOR PLAN
1/4" = 1'-0"

OPERATORY NOTES:
 1. TO EACH CHAIR LOCATION UNDER SLAB PROVIDE 1/2" COPPER COMPRESSOR AIR SUPPLY, 1/2" WATER SUPPLY (ONE MASTER SHUTOFF VALVE IN MECHANICAL ROOM), 1-1/4" SCHEDULE 40 TO VACUUM PUMP IN MECHANICAL ROOM (SLOPE VACUUM LINES TOWARD VACUUM PUMP LOCATION 1/20", USE LONG RADIUS SWEEP FITTINGS) AND 4 GANG 120V POKER ON (1) 20 AMP CIRCUIT PER CHAIR.
 2. AT X-RAY ARM IN EACH OPERATORY PROVIDE (1) 120V 20 AMP CIRCUIT WITH DEDICATED GROUND AND PROVIDE CONDUIT FROM ARM TO SWITCH IN CORRIDOR WITH 3 CONDUCTOR THERMOSTAT WIRE.
 3. PROVIDE NEW LINE FROM NEW COMPRESSOR TO EXISTING COMPRESSOR LINE IN EXISTING MECHANICAL ROOM AND REMOVE EXISTING COMPRESSOR.
 4. COORDINATE OPERATORY CHAIR AND X-RAY PROVISIONS, VACUUM PUMP AND COMPRESSOR (MECHANICAL AND ELECTRICAL) WITH MANUFACTURER'S REPRESENTATIVE.



#	DESCRIPTION	DATE

MAIN FLOOR PLAN

ISSUED FOR:	% COMPLETE
REVIEW	<input type="checkbox"/> COMPLETE
SCHEMATIC DESIGN	<input type="checkbox"/> BIDDING
DESIGN DEVELOPMENT	<input checked="" type="checkbox"/> PERMIT
CONSTR. DOCUMENTS	<input type="checkbox"/> CONSTRUCTION

Project	17-007
Date	3.29.17
Drawn by	MMB/CAL
Checked by	DEN



Cultured Stone, Ashlar Pattern - Match existing siding coloration and add in some warm colors for variation