

# DESIGN REVIEW BOARD

January 23, 2017

**Owner/Applicant**

G. K. Development

**Representative**

Dean Williams

**Property Location**

1200 10th Avenue South,  
in the vicinity of  
Herberger's, Starbucks  
and Verizon Wireless

**Requested Action**

Design Review for renovation of existing building façade, new landscaping and associated site work.

**Recommendation**

Approve the submitted design with conditions

**Project Planner**

Erin Borland

## HOLIDAY VILLAGE SHOPPING CENTER - EXISTING SEARS REMODEL - HOBBY LOBBY



### Project Description

The applicant is proposing interior and exterior renovation of the existing Sears building at the Holiday Village Shopping Center. This project also consists of new building lighting, additional accessible parking spaces and landscaped islands in the parking lot.

### Background

- Legal Description: Lots A1 & E1, Block 3, Great Falls Fifteenth Addition, Section 13, Township 20 North, Range 3 East, Cascade County, Montana
- Property Zoning: C-2 General Commercial
- Existing Sears Building Area: ± 75,056 square feet
- Proposed Hobby Lobby Building Area: ± 47,534.7 square feet
- Proposed PetSmart Building Area: ± 19,133.9 square feet
- Proposed Future Tenant Building Area: ± 5,391.74 square feet

### **Renovation: Exhibit 28-1 Standards and Guidelines for specified projects and buildings**

Review of the submitted materials show the proposal is in compliance with the guidelines in Exhibit 28-1. The applicant is proposing to divide the existing Sears building into three spaces internally: 1) the north main entrance will be occupied by Hobby Lobby, 2) the service area will be converted into retail space for a PetSmart, which was approved by the Design Review Board on December 12, 2016, and 3) a future tenant will be located in the vacant space created off the southwest portion of the building. The new façade for Hobby Lobby shown on the initial plan submittal meet the guidelines in Exhibit 28-1. These guidelines are important to consider because of the way the existing building currently functions as one continuous anchor building with the same finishes on all sides.

The new Hobby Lobby façade will consist of renovation to the main entrance to remove the existing white columns and install an aluminum double entrance storefront system with clear glazing. New EIFS will be constructed to match the adjacent finishes and colors and the existing finishes are to remain as seen in the main entrance elevation included in the Development Plans. Also general maintenance will be done to the existing structure during construction.

### **Conformance with Title 17 - Land Development Code**

The proposed project is located in an existing building and is therefore reviewed for initial compliance with the relevant requirements of Title 17 - Land Development Code, of the Official Code of the City of Great Falls (OCCGF), including landscaping, outdoor lighting, and parking and pedestrian connectivity to and within the site.

The current parking lot layout will remain the same; however, it will be updated to include landscaped islands at both ends of each row of parking, and additional ADA accessible parking spaces. The existing parking lots immediately to the north and west of the building provide a total of 246 parking spaces. For the proposed uses of the three new spaces, 212 spaces are required. There is existing bicycle parking located near the entrance, Staff requires that the existing bicycle parking remain as there are residential neighborhoods immediately to the west and southwest of the site.

The applicant has provided an outdoor lighting plan which requires modification in order to meet the intent of the OCCGF. Specifications of the proposed wall packs on the building are not permitted because they are not downcast, full cutoff fixtures, which are required by OCCGF Chapter 40 - Outdoor Lighting. Staff recommends matching the wall sconces that were approved for the PetSmart project to keep consistency throughout the whole project. The photometric plan that was submitted needs to be updated to show the foot-candles for all building mounted fixtures, and new lighting specifications for those fixtures are required to be submitted. Both of these items are required to be addressed per Title 17.

The subject property is nonconforming with regards to OCCGF Chapter 44 – Landscaping, it is required that it come into compliance to the maximum extent possible. As aforementioned, the applicant is updating the parking lot to include landscaped islands on both ends of each row of parking. The landscape plan submitted also shows existing landscaping along the north of the building. Staff requires that the existing landscaping remain and any damage to the existing landscaping during construction be replaced.

The applicant has shown proposed signage in the rendered elevations. This signage will be submitted under a separate application and will be reviewed at that time.

### **Title 17 Deficiencies to be Addressed Prior to Building Permit Issuance**

- ◆ The applicant shall revise the photometric plan to show the updated building mounted lighting fixtures and revise the luminaire schedule and statistics. This includes providing fixture cut sheets to Staff to review for compliance with OCCGF Chapter 40 - Outdoor Lighting.

### **Recommendation**

Staff supports this application with the recommendation that the Design Review Board approve the submitted design with conditions.

**Suggested Motion**

Board Member moves:

“I move that the Design Review Board (approve/approve with conditions/deny) the Design Review Application for the proposed Hobby Lobby, located at 1200 10th Avenue South, as shown in the conceptual development plans contained within this report and provided by the applicant, subject to the following conditions:

- A. The proposed project shall be developed consistent with the conditions in this staff report, all codes and ordinances of the City of Great Falls, the State of Montana, and all other applicable regulatory agencies.
- B. If after the approval of the concept development plan as amended by this Board, the owner proposes to expand or modify the conceptual development plans, the Director of the Planning and Community Development Department shall determine in writing if such proposed change would alter the concept for one or more review criteria. If such proposed change would alter the plan, the proposal shall be resubmitted for review as a new application.

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- 2. Chairman calls for a second, discussion, inquiries from the public, and calls the vote.

Cc: Dave Dobbs, City Engineering  
Patty Cadwell, Neighborhood Council Coordinator  
Todd Seymanski, City Forester  
Dean Williams, G.K. Development, [Dean@GKDevelopment.com](mailto:Dean@GKDevelopment.com)

# EXHIBIT A - APPLICATION

Date Stamp:

CITY OF GREAT FALLS  
PLANNING & COMMUNITY DEVELOPMENT DEPT.  
P.O. BOX 5021, GREAT FALLS, MT. 59403-5021  
406.455.8430 • WWW.GREATFALLSMT.NET

## DESIGN REVIEW BOARD APPLICATION

Hobby Lobby (Holiday Village mall) - Remodel of portion of Sears store

Name of Project / Proposed Use:

GK Development - Dean Williams - Contact

Owner Name:

257 E. Main Street, Barrington, IL 60010

Mailing Address:

(847) 277-9930

Phone:

Dean@GKDevelopment.com

Email:

Treva Keel - Hobby Lobby Stores, Inc.

Representative Name:

7707 SW 44th Street, Oklahoma City, OK 73179

Mailing Address:

(405)745-5276

Phone:

treva.keel @hobbylobby.com

Email:

### PROJECT LOCATION:

Existing Sears Building - 1200 10th Ave. South, Great Falls, MT 59405

Site Address:

75,056 overall / 47,586 Hobby Lobby

Property Square Footage:

Structure Square Footage:

### LEGAL DESCRIPTION:

Great Falls Fifteenth Addition, 513, T20N, R03E, Block003, Lot A-1, AM PL

Mark/Lot:

Section:

Township/Block:

Range/Addition:

I (We), the undersigned, attest that the above information is true and correct to the best of my (our) knowledge. Further, I (We) owner of said property authorize the above listed representative to act as my agent in this application.

Dean A. Williams

Property Owner's Signature:

12/15/16

Date:

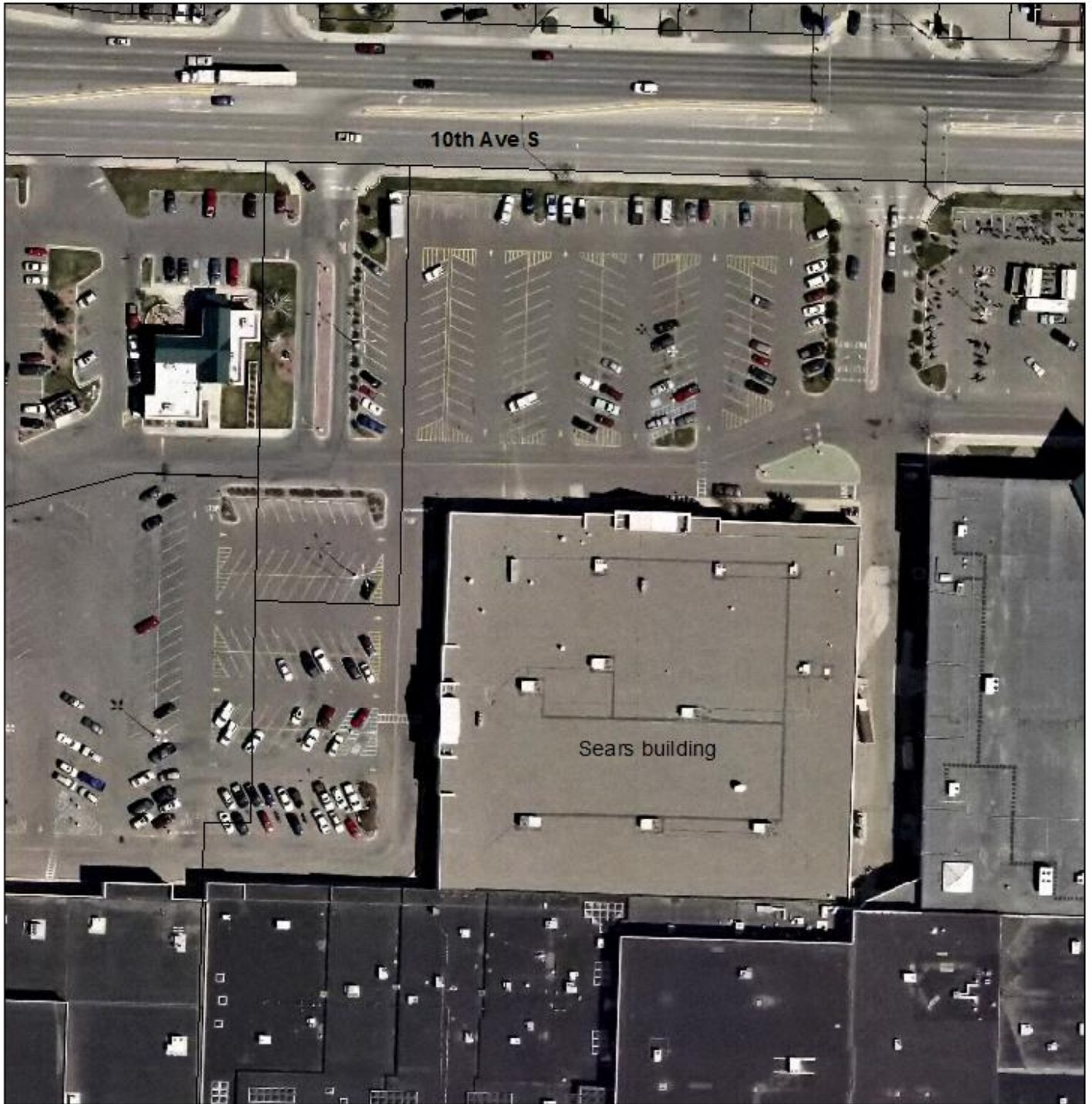
Treva J. Keel

Representative's Signature:

12/12/16

Date:

# EXHIBIT B - AERIAL MAP



----- City Limits

Tracts of Land

90 45 0 90 Feet



# EXHIBIT C - SITE PHOTOS (GOOGLE STREET VIEW)

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## DEVELOPMENT PLANS:

MAIN ENTRANCE ELEVATION

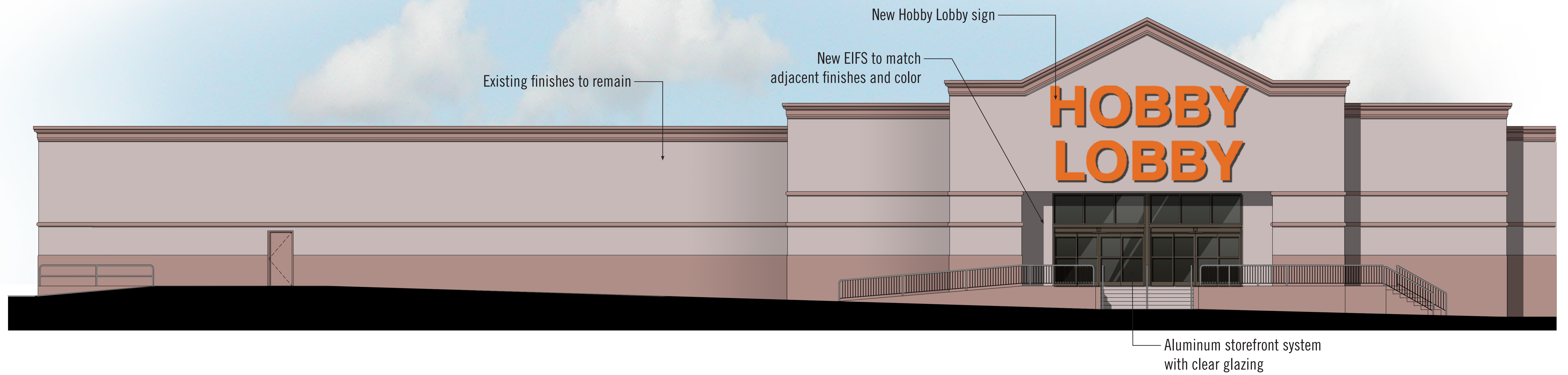
EXTERIOR ELEVATIONS (SHEET A3.1)

FLOOR PLAN (SHEET A1.1)

LANDSCAPE PLAN

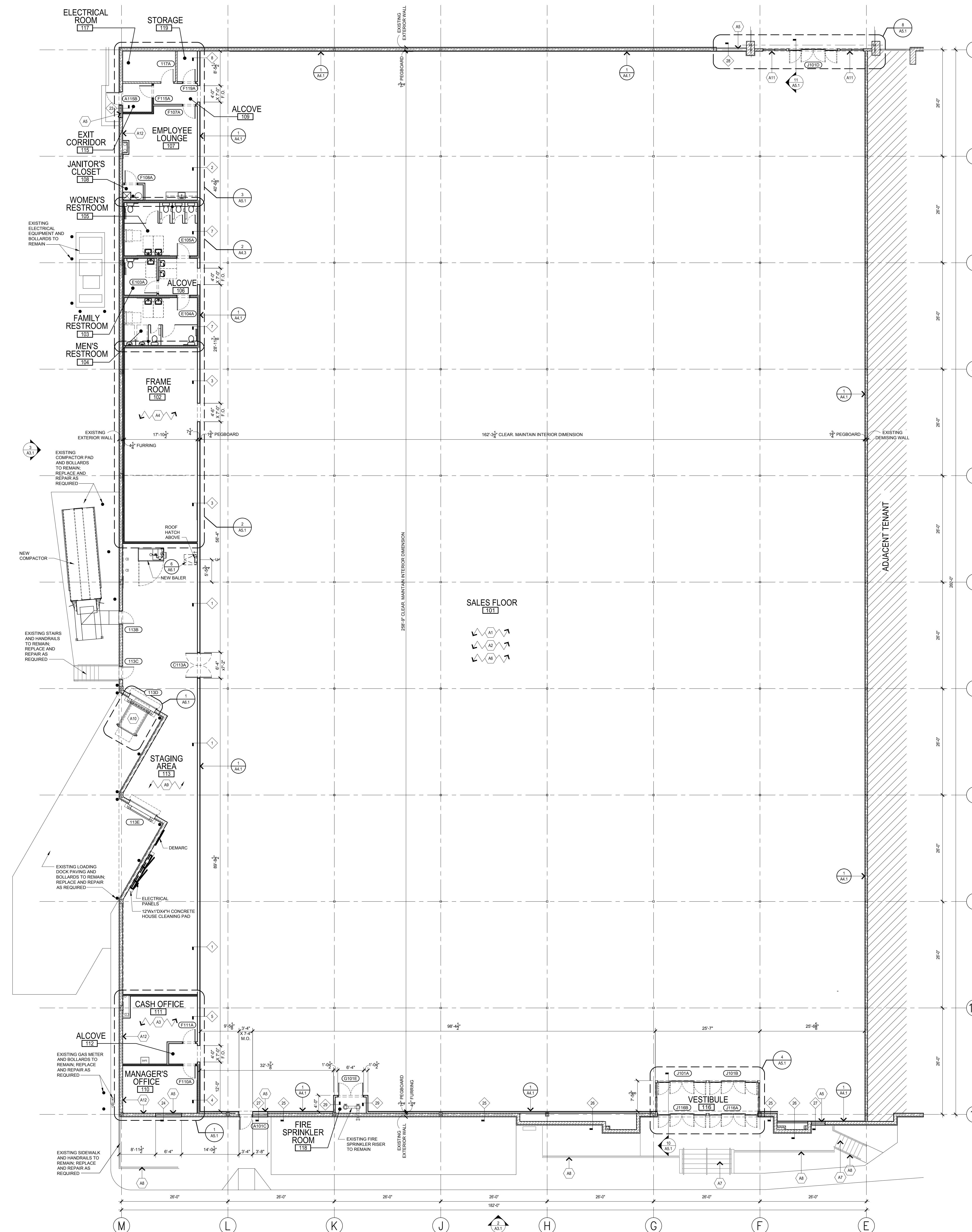
PARKING LOT TOPOGRAPHY (SHEET SV1.0)

SITE LIGHTING PHOTOMETRIC PLAN









**ARCHITECTURAL NOTES**

- A1 FIELD VERIFY CONDITION OF EXISTING DOORS TO REMAIN. IF NECESSARY, REPLACE WITH HOBBY LOBBY APPROVED DOORS.
- A2 ALL NEW FLOOR TILE THROUGHOUT ENTIRE HOBBY LOBBY SHALL BE INSTALLED SQUARE TO PERIMETER WALLS. REF. SHEET F1.1 AND SPECIFICATIONS.
- A3 INSTALL A NEW 22 GAUGE GALVANIZED TIN DECK OVER CASH OFFICE AT 12'-0" AFF. FASTEN TIN ONTO STRUCTURAL 18 GAUGE METAL STUDS RUNNING ACROSS OFFICES. CEILING SHALL TIE INTO NEW STUDS.
- A4 INSTALL PLYWOOD BLOCKING AT WALL MOUNTED EQUIPMENT.
- A5 INFILL EXISTING OPENING WITH METAL STUDS TO MATCH EXISTING ADJACENT WALL CONSTRUCTION. PROVIDE A SMOOTH LEVEL TRANSITION.
- A6 ALL WALLS IN SALES AREA SHALL BE FLUSH AND SMOOTH.
- A7 EXISTING STAIRS TO REMAIN. PATCH AND REPAIR AS REQUIRED.
- A8 EXISTING RAILING TO REMAIN. REPAIR AND REPAINT TO MATCH EXISTING.
- A9 4"x8" O.S.B. INSTALLED END TO END AT STAGING AREA. PAINT TOE KICK GREEN.
- A10 NEW BAILE LIFT REF. 1A6.1
- A11 G.C. TO COORDINATE WITH LANDLORD TO PROVIDE TRANSITION FROM HOBBY LOBBY FLOOR INTO EXISTING MALL FLOORING.
- A12 PATCH AND REPAIR EXISTING GYP. BOARD WALLS AS REQUIRED.

**ARCHITECTURAL LEGEND**

SYMBOL	DESCRIPTION
	DOOR TAG (COORDINATE WITH DOOR SCHEDULE) FIRST LETTER IS DOOR TYPE. THE NUMBER IS THE ROOM NUMBER AND THE LAST LETTER IS THE DOOR IDENTIFICATION FOR THE IDENTIFIED ROOM.
	WALL SCHEDULE KEY. SEE SHEET A6.2.
	DETAIL TAG.
	KEY ARCHITECTURAL NOTES.
	PLUMBING NUMBER. SEE SHEET P1.0 FOR SCHEDULE.
	SECTION OR ELEVATION MARKER.

EACH SUBCONTRACTOR SHALL TURN IN A SET OF AS-BUILTS FOR THEIR WORK FOR THE SUPERINTENDENT TO TURN IN TO CONSTRUCTION DESIGN AND DEVELOPMENT DEPARTMENT.

**GENERAL NOTES**

1. DIMENSIONS SHOWN FOR EXTERIOR DOORS AND WINDOWS ARE ROUGH OPENINGS UNLESS OTHERWISE NOTED.
2. INTERIOR WALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH UNLESS NOTED OTHERWISE.
3. UNLESS NOTED OTHERWISE, ALL INTERIOR DOORS SHALL BE INSTALLED WITH FACE OF FRAME 4" OFF FACE OF WALL.
4. PROVIDE CONTROL JOINTS EQUAL TO USG NO. 393 A MINIMUM OF TWO IN EACH PARTY WALL AND AT ALL PARTITIONS EXCEEDING 64 LINEAR FEET AND AT ALL CORNERS OF ALL DOOR FRAMES AND AT CORNERS OF GLAZING. REFER TO DETAILS 9 AND 10A6.1 FOR EXPANSION CONTROL JOINT DETAILS AT DOOR AND WINDOW JAMBS.
5. PROVIDE DOUBLE STUDS IN ALL DRYWALL PARTITIONS AT DOOR JAMB CONDITIONS.
6. PROVIDE FIRE TREATED WOOD BLOCKING BETWEEN STUDS TO REINFORCE GYPSUM BOARD FOR THE FOLLOWING LOCATIONS:
  - A. BEHIND ALL DOORS RECEIVING WALL MOUNTED DOOR BUMPERS INDICATED AS SWINGING AGAINST ADJACENT WALLS
  - B. ALONG PARTITIONS SCHEDULED TO RECEIVE WALL HUNG SHELVING
  - C. IN TOILETS RECEIVING WALL MOUNTED GRAB BARS AND ACCESSORIES
  - D. BEHIND AREAS TO RECEIVE WALL MOUNTED CABINETS
7. ALL THROUGH WALL OPENINGS AND PENETRATIONS IN INDICATED FIRE RATED PARTITIONS SHALL BE PROPERLY FIRE SEALED IN ACCORDANCE WITH THE LOCAL AUTHORITY HAVING JURISDICTION.
8. RO INDICATES ROUGH OPENING. FO INDICATES FINISHED OPENING.
9. PAINT ALL EXTERIOR HW DOORS AND FRAMES (INCLUDING EXISTING). PROVIDE NEW ROD AND SEALANT ON ALL EXISTING DOOR FRAMES (PERIMETER) WHERE DEFECTIVE.
10. PREPARE THE EXISTING FLOOR SUBSTRATE TO RECEIVE NEW FLOOR FINISH IN ACCORDANCE WITH THE NEW FLOOR FINISH MANUFACTURER'S SPECIFICATIONS AND TOLERANCES. PROVIDE A SMOOTH, CONSISTENT, UNIFORM LEVEL SURFACE. FLUSH WITH THE SALES FLOOR FINISH FLOOR ELEVATION. THE FLOOR LEVELING COMPOUND PRODUCT SHALL BE AS RECOMMENDED BY THE CERAMIC TILE, OR VINYL COMPOSITION TILE MANUFACTURER FOR THE SPECIFIC APPLICATION FOR WHICH THE FINISH MATERIAL IS SCHEDULED TO BE INSTALLED UPON.
11. INSTALL NEW ROD AND SEALANT AT ALL EXTERIOR EIFS, CMU, BRICK, AND/OR CONCRETE TILT WALL JOINTS THAT ARE DEFECTIVE OR MISSING.
12. ON ALL NEW CONCRETE FLOOR INFILL SLABS, DOWEL INTO EXIST. SLAB @ 2'-0" OC W/ #4 DOWEL - EPOXY SET. SLAB SHALL BE SMOOTH AND FLUSH W/ ADJACENT FINISH FLOOR. REF. STRUCT.
13. ALL PIPING AND CONDUITS THAT PROTRUDE ABOVE FINISH FLOOR SHALL BE REMOVED, LOWERED AND COVERED OR BECOME CLEAN OUTS (WASTE LINES). REFER TO MEP DRAWINGS FOR ADDITIONAL REQUIREMENTS.
14. FIELD VERIFY THE EXACT EXTENT OF ALL AREAS THAT REQUIRE INFILL SLABS, CEMENT UNDERLAYMENT AND/OR FLOOR SEALING COMPOUND. FOUR NEW SLABS. INSTALL CEMENT UNDERLAYMENT AND SELF-LEVELING IN ALL AREAS WHERE REQUIRED.
15. REMOVE MOLD, MILDEW, RUST, STAINS AND OTHER CONTAMINANTS ON THE EXTERIOR SURFACES PRIOR TO ANY PAINTING OPERATIONS. CONFIRM METHODS AND OBTAIN APPROVAL FROM HOBBY LOBBY.
16. CONTRACTOR TO VERIFY STUD WALL HEIGHTS AND BRACING ARE TO COMPLY WITH NATIONAL GYPSUM ASSOCIATION STANDARDS.
17. HORIZONTALLY BRACE (STIFFEN) ALL STUD SYSTEMS AS REQUIRED AND BRACE TOPS OF ALL PARTITIONS TO STRUCTURE ABOVE.

**WALL TYPE LEGEND**

SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN
	NEW WALL CONSTRUCTION
	STUD WALL WITH INSULATION, RE. WALL TYPES



**REVISION HISTORY**

DATE	NO.	DESCRIPTION



**SGA Design Group, P.C.**  
 1437 South Boulder, Suite 550  
 Tulsa, Oklahoma 74119-3609  
 P: 918.587.8600  
 F: 918.587.8601  
 www.sgadesigngroup.com

**STIPULATION FOR REUSE**  
 THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT GREAT FALLS, MT. CONTEMPORANEOUSLY WITH ITS ISSUE DATE ON 09/01/16 AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND IS CONTRARY TO THE LAW.

**HOBBY LOBBY**  
 STORE PLANNING AND CONSTRUCTION  
 7707 SW 44th ST.  
 OKLAHOMA CITY, OK 73179

**HOBBY LOBBY OF GREAT FALLS, MT**  
 1200 10TH AVE. S.

PROJ # : 1654013  
 ISSUE DATE : 09/01/16

PROJ ARCH : MRG  
 DRAWN BY : JS  
 CHECKED BY : MRG

**FLOOR PLAN**  
 A1.1

# HOLIDAY VILLAGE MALL

1200 10TH AVE SOUTH  
GREAT FALLS, MT



client:		
scale	1/20" = 10'	date
date	11/2016	revision
drawn by	KV	checked by
		drawing #
		0001529

## GENERAL LANDSCAPE NOTES:

1. SITE CONTRACTOR TO PROVIDE ROUGH GRADE TO WITHIN 1/10TH OF 1 FOOT OF FINISH GRADE.
2. LANDSCAPE CONTRACTOR TO FINISH GRADE TO ALLOW 3" TO INSTALL ROCK MULCH IN ALL SHRUB BEDS AND 1" BELOW CURB OR SIDEWALK.
3. ALL SHRUBS, TREES, AND PERENNIALS SHALL MEET OR EXCEED ANSI Z601 AMERICAN STANDARD FOR NURSERY STOCK.
4. NO SUBSTITUTIONS FOR NURSERY STOCK WILL BE MADE WITHOUT APPROVAL OF PROJECT MANAGER.
5. TREES ARE TO BE STAKED WITH 6" METAL TEE POSTS, DEWITT TREE SLINGS, AND 1/4 GAUGE GALVANIZED WIRE.
6. TYPAR 3301 WEED BARRIER IS TO BE INSTALLED THROUGHOUT ALL SHRUB BED AREAS.
7. SHRUB BEDS ARE TO RECEIVE A MINIMUM OF 3" OF 15" SCORIA GRAVEL.
8. CONCRETE CURB IS TO BE INSTALLED AROUND EACH NEWLY CONSTRUCTED LANDSCAPE ISLAND.



Lilac, Ivory Silk



Juniper, Medora



Juniper, Blue Chip



Grass, Karl Foerster Feather Reed



Cotoneaster, Hedge



Daylily, Pardon Me

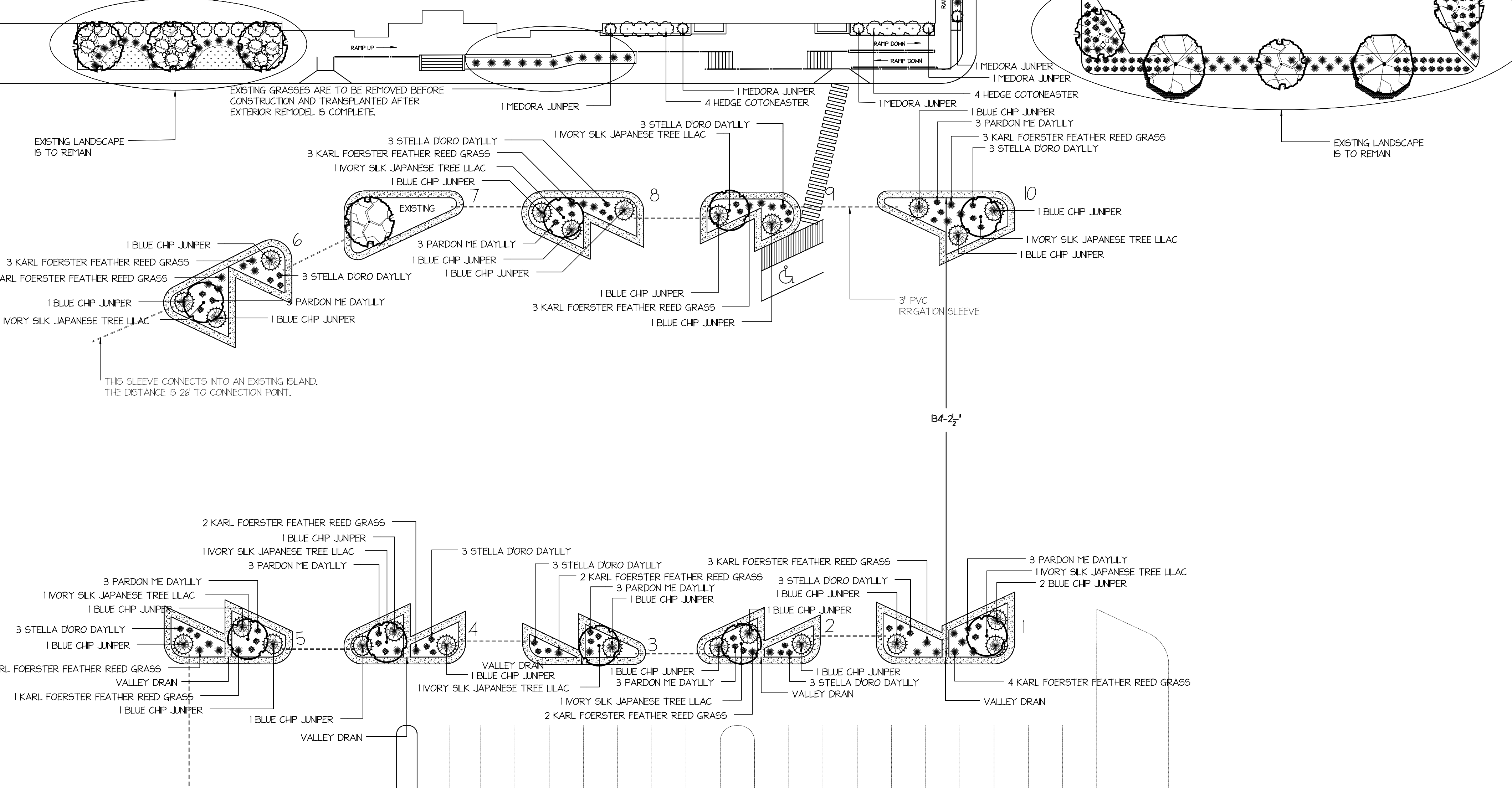
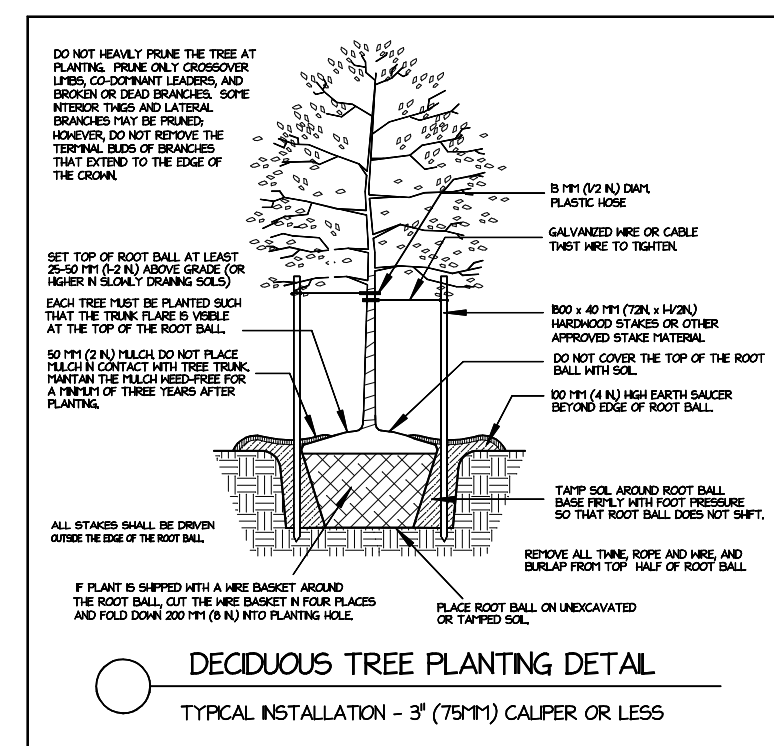
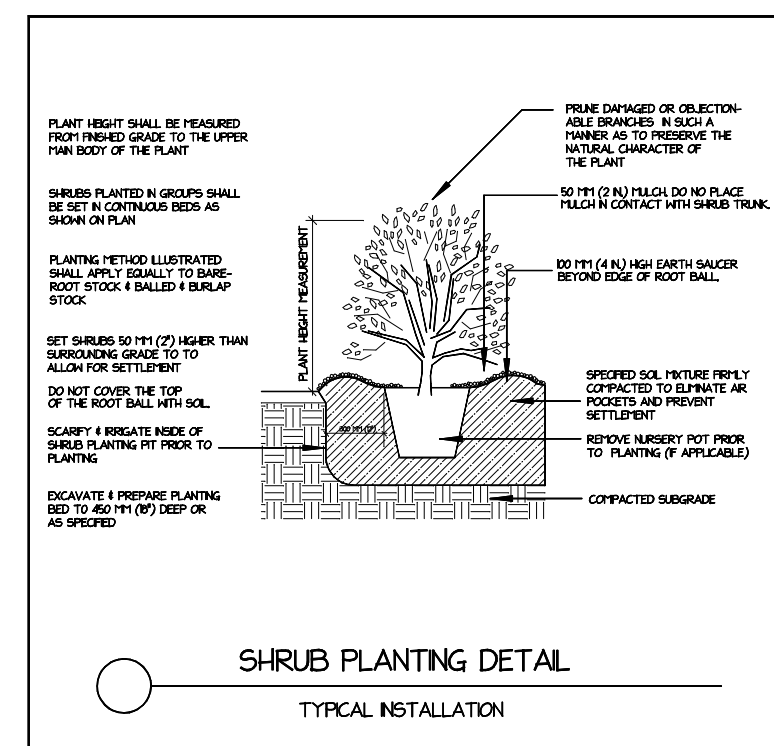


Daylily, Stella De Oro

Qty	Common Name	Size/Condition
<b>Trees</b>		
15	IVORY SILK JAPANESE TREE LLAC	2"BB
<b>Shrubs</b>		
8	HEDGE COTONEASTER	2CGF
38	BLUE CHIP JUNIPER	5CG
6	MEDORA JUNIPER	5CG
<b>Ornamental Grasses</b>		
44	KARL FOERSTER FEATHER REED GRASS	2CG
<b>Perennials and Annuals</b>		
48	PARDON ME DAYLILY	2CG
45	STELLA D'ORO DAYLILY	2CG

### CONCRETE CURB AND GUTTER (STANDARD DESIGN)

3" PVC IRRIGATION SLEEVE

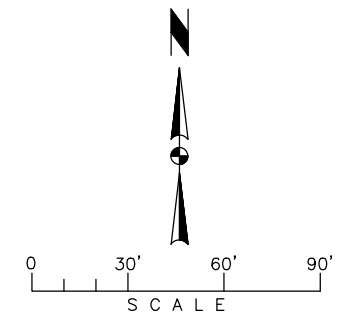


J:\2016\16-120 Holiday Village Mall - Former Sears Building\CADD\CIVIL\16-120-BASEMAP.dwg, 5/24/2016 1:05:30 PM, MMJ

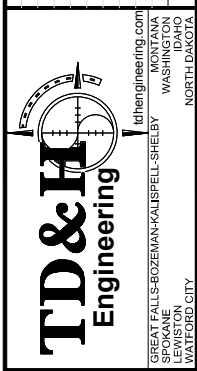


**LEGEND**

EXISTING	DESCRIPTION
○	BARRIER POST
▨	BUILDING
⊙	CLEANOUT
▤	CONCRETE
- - - 3415 - - -	CONTOUR
⊕	CONTROL POINT
△	CURB BOX
▬▬▬	CURB & GUTTER
- - -	EDGE OF GRAVEL
□	ELECTRICAL BOX
⊕	FIRE HYDRANT
— G —	GAS
▬▬▬	INLET
⋆	LIGHT POLE
⊙	MANHOLE
— E —	OVERHEAD ELECTRIC
●	PROPERTY PIN
— S —	SANITARY SEWER
— SD —	STORM DRAIN
⊕	TRAFFIC SIGN
⊕	TREE - DECIDUOUS
- { * } -	TREE LINE
— E —	UNDERGROUND ELECTRIC
— FIBER —	UNDERGROUND FIBER-OPTIC
⊕	VALVE
— W —	WATERLINE



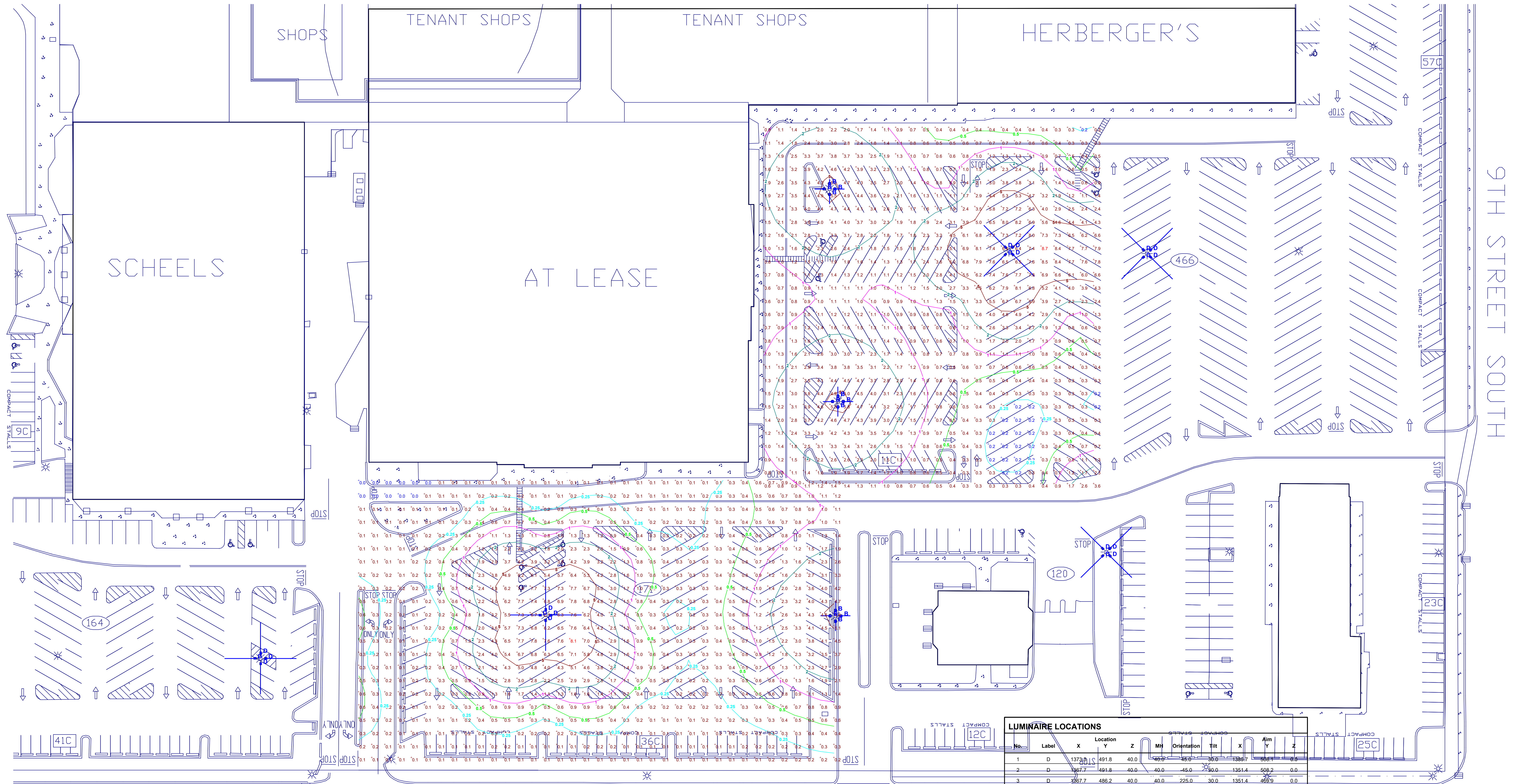
HORIZONTAL COORDINATES ARE GROUND, INTERNATIONAL FEET. COORDINATES WERE DETERMINE BY AN OPUS SOLUTION ON CONTROL POINT #1, THEY CAN BE RETURNED TO MONTANA STATE PLANE COORDINATES ZONE 2500 USING A COMBINED SCALE FACTOR OF 0.99926871 ABOUT AN ORIGIN OF (0,0)  
 ELEVATION WAS DETERMINED BY THE SAME OPUS SOLUTION AND IS NAVD 88 DATUM U.S. SURVEY FEET.



DRAWN BY: MMJ  
 DESIGNED BY:  
 QUALITY CHECK:  
 DATE: 5/24/16  
 JOB NO. 16-120  
 FIELDBOOK

HOLIDAY VILLAGE MALL  
 GREAT FALLS, MONTANA  
 PARKING LOT TOPOGRAPHIC SURVEY  
 NEAR PREVIOUS SEARS BUILDING

REV	DATE	REVISION



10TH AVENUE SOUTH

**STATISTICS**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
North side	+	1.2 fc	8.1 fc	0.0 fc	N/A	N/A
West side	+	2.2 fc	8.7 fc	0.2 fc	43.5:1	11.0:1

**LUMINAIRE SCHEDULE**

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
■	A	0	GPF40SX76	400W HPS 7H X 6V FLOOD	400W CL HPS E-18	Cooper 400w HPS Flood - GPF40SX761 ies.txt	40000	0.43	400
○	B	12	OVX40SW3EU14	OVX COBRAHEAD HID ROADWAY FIXTURE WITH PRISMATIC GLASS DROP LENS, HYDROFORMED REFLECTOR AND SOCKET IN POSITION SWS	MOGUL BASE E18 CLEAR HIGH PRESSURE SODIUM LAMP	Cooper Cobra Head - OVX40SX3EG ies.txt	40000	0.48	400
■	C	0	PF400HP00XNX	PREDATOR	400W CLEAR HPS	Holophane PF400HP00XNX - 0X.txt	40000	0.65	444
■	D	20	PF400HP00XNXA	PREDATOR	400W CLEAR HPS	Holophane PF400HP00XNXA - 0X.txt	40000	0.65	444

**LUMINAIRE LOCATIONS**

No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	D	1373.8	491.8	40.0	40.0	-45.0	30.0	1389.7	469.9	0.0
2	D	1467.7	491.8	40.0	40.0	-45.0	30.0	1351.4	508.2	0.0
3	D	1467.7	486.2	40.0	40.0	225.0	30.0	1351.4	469.9	0.0
4	D	1373.3	486.2	40.0	40.0	135.0	30.0	1389.7	469.9	0.0
5	D	1472.3	489.7	40.0	40.0	-45.0	30.0	1455.9	506.1	0.0
6	D	1477.9	489.7	40.0	40.0	45.0	30.0	1494.2	506.1	0.0
7	D	1472.2	484.1	40.0	40.0	225.0	30.0	1455.9	467.8	0.0
8	D	1477.9	484.1	40.0	40.0	135.0	30.0	1494.2	467.8	0.0
9	D	1441.4	263.4	40.0	40.0	-45.0	30.0	1425.1	279.7	0.0
10	D	1447.0	263.4	40.0	40.0	45.0	30.0	1463.3	279.7	0.0
11	D	1441.4	257.8	40.0	40.0	225.0	30.0	1425.1	241.5	0.0
12	D	1447.0	257.8	40.0	40.0	135.0	30.0	1463.3	241.4	0.0
13	D	1015.4	213.0	40.0	40.0	-90.0	30.0	992.3	213.0	0.0
14	D	1019.4	216.9	40.0	40.0	0.0	30.0	1019.4	240.0	0.0
15	D	1019.4	209.0	40.0	40.0	180.0	30.0	1019.4	185.9	0.0
16	D	1023.4	212.9	40.0	40.0	90.0	30.0	1046.5	212.9	0.0
17	D	799.5	180.1	40.0	40.0	270.0	30.0	776.4	180.1	0.0
18	D	803.4	184.1	40.0	40.0	0.0	30.0	803.4	207.2	0.0
19	D	803.4	176.1	40.0	40.0	180.0	30.0	803.4	153.0	0.0
20	D	807.4	180.1	40.0	40.0	90.0	30.0	830.5	180.1	0.0
21	B	1239.0	216.4	40.0	40.0	0.0	10.0	1239.0	223.4	0.0
22	B	1234.9	212.3	40.0	40.0	-90.0	10.0	1227.8	212.3	0.0
23	B	1239.0	208.2	40.0	40.0	180.0	10.0	1239.0	201.1	0.0
24	B	1243.1	212.3	40.0	40.0	90.0	10.0	1250.1	212.3	0.0
25	B	1240.9	378.9	40.0	40.0	0.0	10.0	1240.9	385.9	0.0
26	B	1236.7	374.7	40.0	40.0	-90.0	10.0	1229.7	374.7	0.0
27	B	1240.9	370.6	40.0	40.0	180.0	10.0	1240.9	363.6	0.0
28	B	1245.0	374.7	40.0	40.0	90.0	10.0	1252.1	374.7	0.0
29	B	1234.5	540.0	40.0	40.0	0.0	10.0	1234.5	547.0	0.0
30	B	1230.4	535.9	40.0	40.0	-90.0	10.0	1223.4	535.9	0.0
31	B	1234.5	531.8	40.0	40.0	180.0	10.0	1234.5	524.7	0.0
32	B	1238.6	535.9	40.0	40.0	90.0	10.0	1245.7	535.9	0.0

Plan View  
Scale: 1" = 30'